

OZER TWIN SINGLES

Project number

2411

Client Name

Project Address

MUNICIPAL ADDRESS:
4214 - 16 STREET S. W
4216 - 16 STREET S. W
CALGARY, ALBERTA

Project Status

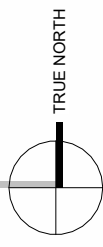
Development Permit

Date

August 02, 2024

DRAWING INDEX	
SHEET NUMBER	SHEET NAME
DP 00	COVER
DP 1.0	CODE REQ & CONTEXTUAL ELEVATION
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DP 1.2	SURVEY / BLOCK PLAN (EXISTING)
DP 1.3	PROPOSED SUBDIVISION PLAN
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SITE INFORMATION

MUNICIPAL ADDRESS:
4216 - 16 STREET S.W
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOT 7 & 8 BLOCK A
PLAN 1835 AH

LAND USE DESIGNATION
R-CG

UN DIVIDED SITE AREA 578.0 m²

SUBDIVIDED AREA (LOT 7)	289.0 m ²	SUBDIVIDED AREA (LOT 8)	289.0 m ²
BUILDING COVERAGE (LOT 7)	128.9m ²	BUILDING COVERAGE (LOT 8)	128.9m ²
PARCEL COVERAGE (LOT 7)	44.6%	PARCEL COVERAGE (LOT 8)	44.6%

LEGEND

- PROPOSED BUILDING
- PROPOSED CANTILEVER
- VIEW/IMAGE LOCATOR



IMG 01



IMG 02



IMG 03



IMG 04



IMG 05



IMG 06

OZER TWIN SINGLES

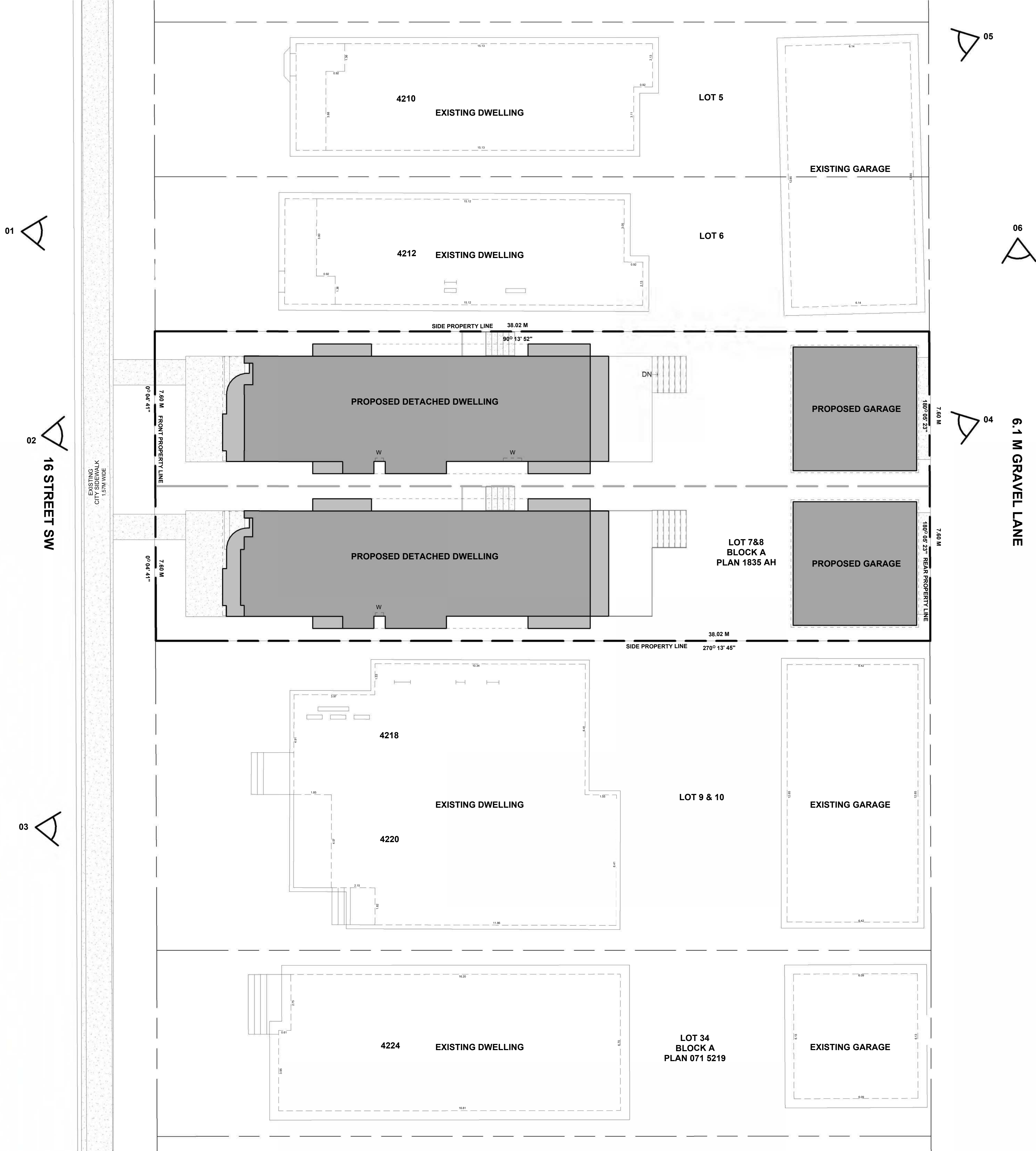
MUNICIPAL ADDRESS:
4214 - 16 STREET S. W
4216 - 16 STREET S. W
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOT 7 & 8 BLOCK A
PLAN 1835 AH

KEY PLAN

DP 1.1

Project number	2411
Date	August 02, 2024
Drawn by	Author
Checked by	Checker
Scale	As indicated



No.	Description	Date
1	DEVELOPMENT PERMIT	2024.09.09

OZER TWIN SINGLES

MUNICIPAL ADDRESS:
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SURVEY / BLOCK PLAN
(EXISTING)

DP 1.2

Project number	2411
Date	August 02, 2024
Drawn by	Author
Checked by	Checker
Scale	

SITE PLAN

MUNICIPAL ADDRESS:
4216 - 16 STREET S.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOT 7 & 8
BLOCK A
PLAN 1835 AH
PREPARED FOR: [REDACTED]

DATE OF SURVEY: June 25th, 2024

SCALE: 1:200

LEGEND:

	Subject Property Line
	Right of Way Line
	Eave Line
	Fence Line
	Sanitary Line
	Storm Line
	Water Line
	Gas Line
	Overhead Wire
	A.G.T. Line
	Door
	Second Floor Window
	Main Floor Window
	Basement Floor Window
	Calculation points
	Power Pole
	Power Anchor
	Light Pole
	Manhole
	Catch Basin
	Water Valve
	Gas Valve
	Sign
	Fire Hydrant
	Tree
	Main Building Hatch
	Detached Garage Hatch
	Shed Hatch
	Concrete and Asphalt Hatch
	Wood Hatch
	Roof Hatch

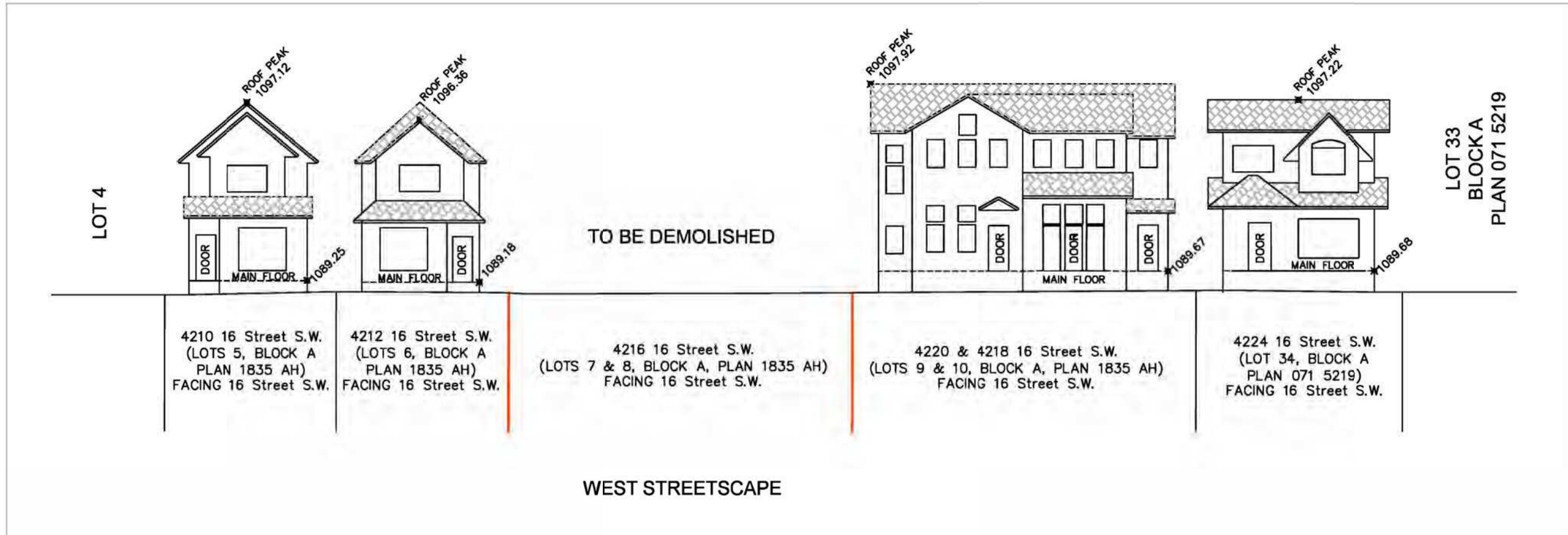
'2F.'--Second Floor	'Enc.'--Encroach(es)	'R/W'--Right of Way
'BC'--Back of Curb	'L'--Length of Arc	'Ret.'--Retaining
'BW'--Back of Walkway	'LG'--Lip of Gutter	'RPE'--Roof Peak Elevation
'Cant.'--Cantilever	'M.F.'--Main Floor	'WB'--Bottom of Wall
'Conc.'--Concrete	'MFE'--Main Floor Elevation	'WT'--Top of Wall
'Elev.'--Elevation	'R'--Radius	

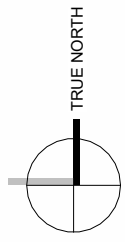
NOTE:

- Distances are on the ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Elevations are derived from ASCM 157990.
- Existing spot elevations are shown thus:
- The Certificate of Title 941 141 275 which was searched on the 20th Day of June, 2024 and includes the following instruments: Mortgage No. 051 352 285
- The utilities information is acquired from 'The City of Calgary Engineering Department' Drawing No. 14, 20, 91 & 278 in Sec.05--Twp.24--Rge.1--W.5M. (Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

TREE SCHEDULE:

Tree No.	Variety	Trunk (±)	Canopy (±)	Height (±)	Location
T1	Bush	—	4.00	4.00	In Adjacent Property
T2	Bush	—	4.00	4.00	In Subject Property
T3	Deciduous	0.60	5.00	4.00	In Subject Property
T4	Deciduous	0.60	5.00	4.00	In Subject Property
T5	Deciduous	1.00	15.00	15.00	In Subject Property
T6	Deciduous	1.00	15.00	15.00	In Subject Property
T7	Deciduous	0.80	7.50	7.50	In Subject Property
T8	Coniferous	0.40	4.00	8.00	In Adjacent Property
T9	Coniferous	0.40	4.00	8.00	In Adjacent Property
T10	Deciduous	0.60	4.00	4.00	In Subject Property
T11	Bush	—	2.00	4.00	On Property Line
T12	Bush	—	3.00	4.00	In City Property
T13	Bush	—	2.00	4.00	In Subject Property
T14	Bush	—	2.00	4.00	In Subject Property
T15	Bush	—	1.50	1.50	In City Property
T16	Deciduous	0.10	2.00	4.00	In City Property
T17	Bush	—	1.50	1.50	In City Property
T18	Deciduous	0.50	7.50	5.00	In Subject Property
T19	Bush	—	1.50	1.50	In City Property
T20	Deciduous	0.30	2.00	4.00	In City Property
T21	Bush	—	1.50	2.00	In Adjacent Property
T22	Bush	—	1.50	2.00	On Property Line
T23	Bush	—	2.00	3.00	In Adjacent Property





THIS DRAWING IS THE PROPERTY OF ALEPH DESIGN + BUILD
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OR IN PART WITHOUT WRITTEN AUTHORIZATION FROM ALEPH
DESIGN + BUILD LAB.

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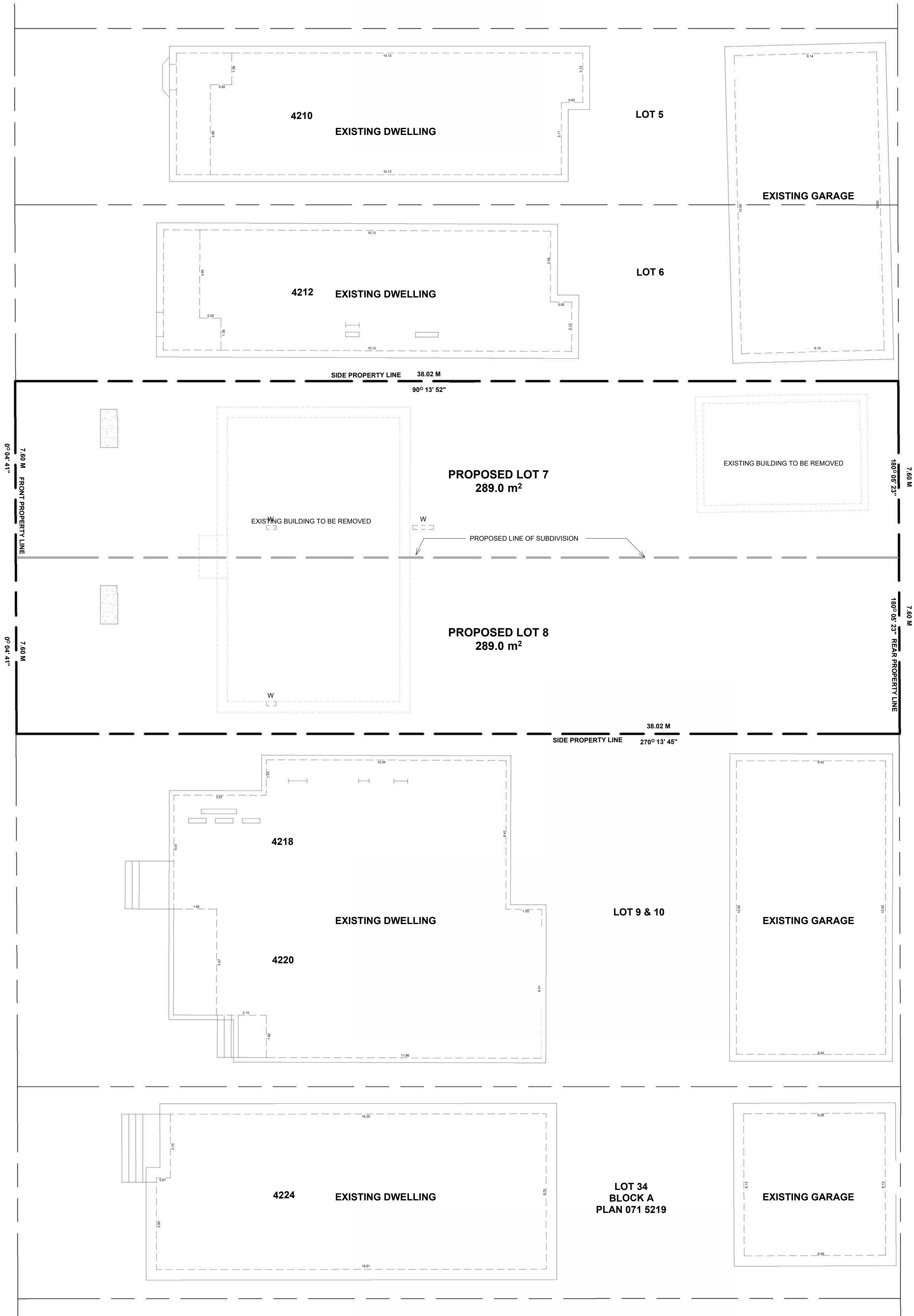
PROPOSED SUBDIVISION PLAN

DP 1.3

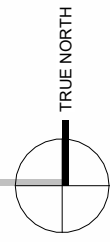
Project number	2411
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Drawn by	Author
Checked by	Checker
Scale	1 : 100

16 STREET SW

30M NE 1
1
EXISTING
CITY PLANS



6.1 M GRAVEL LANE



SITE INFORMATION

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BUILDING COVERAGE (LOT 7)	128.9m ²	BUILDING COVERAGE (LOT 8)	128.9m ²
PARCEL COVERAGE (LOT 7)	44.6%	PARCEL COVERAGE (LOT 8)	44.6%

LEGEND

- PROPOSED BUILDING
- PROPOSED CANTILEVER
- PROPOSED ROOF EAVE LINE
- PROPOSE EXTERIOR WINDOW LOCATION
- PROPOSED EXTERIOR DOOR LOCATION
- GARAGE DOOR
- OVERHEAD DOOR

NOTES

- PROPOSED CONC. DRIVEWAY
- PROPOSED WOODEN STEPS / LANDING
- PROPOSED COVERED ENTRY PORCH
- PROPOSED PRIVATE AMENITY OUTDOOR PATIO
- PROPOSED WINDOW WELL (2'8" X 5'2")
- PROPOSED ROOF EAVE LINE
- PROPOSED PROJECTIONS

No.	Description	Date
1	DEVELOPMENT PERMIT	2024.09.09

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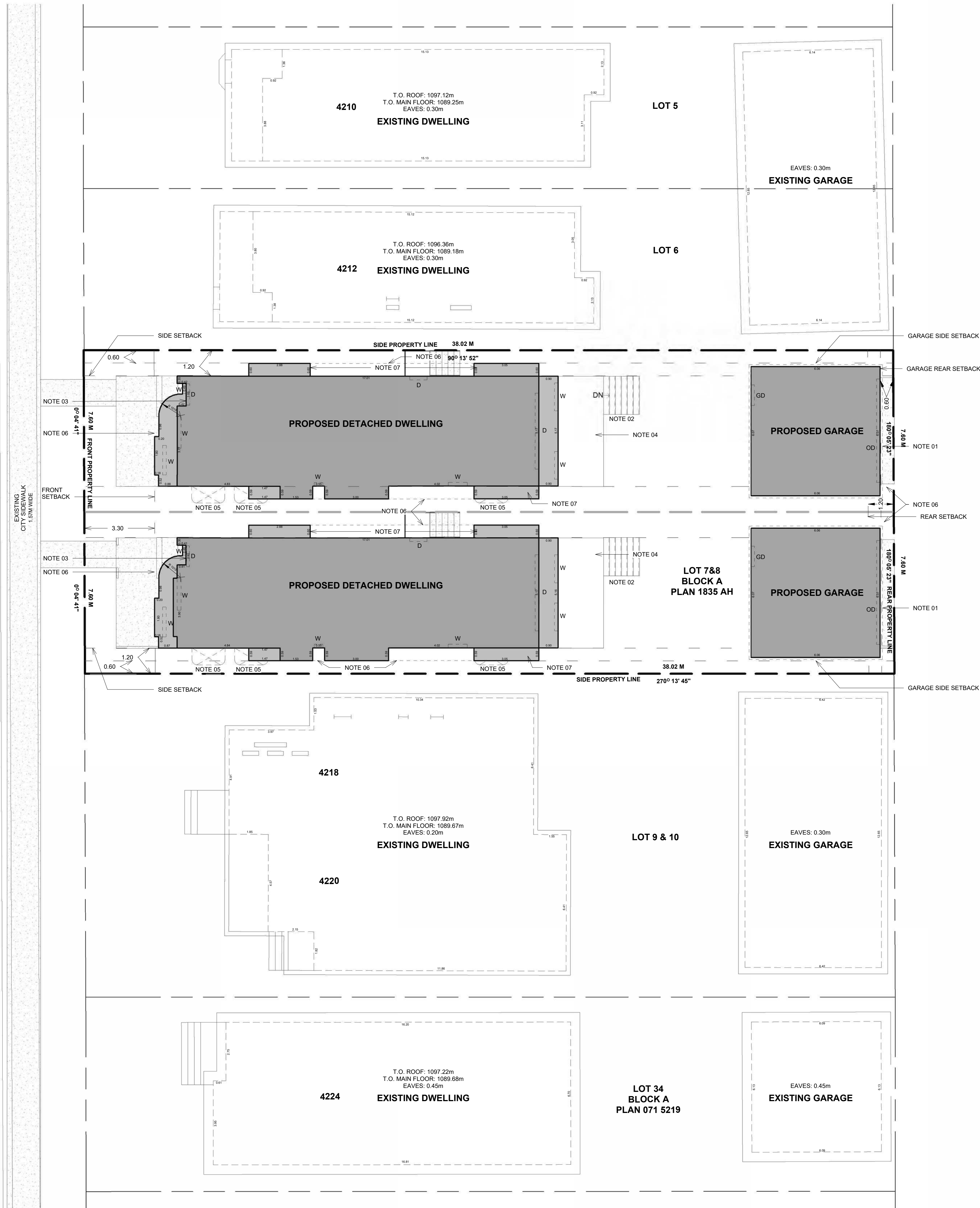
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BLOCK PLAN (PROPOSED)

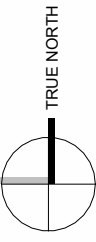
DP 1.4

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16 STREET SW



6.1 M GRAVEL LANE



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PLAN 1835 AH

LAND USE DESIGNATION
R-CG

UN DIVIDED SITE AREA	578.0 m ²		
SUBDIVIDED AREA (LOT 7)	289.0 m ²	SUBDIVIDED AREA (LOT 8)	289.0 m ²
BUILDING COVERAGE (LOT 7)	128.9m ²	BUILDING COVERAGE (LOT 8)	128.9m ²
PARCEL COVERAGE (LOT 7)	44.6%	PARCEL COVERAGE (LOT 8)	44.6%

SITE PLAN NOTES

1. PROPOSED CONC. DRIVEWAY
2. PROPOSED WOODEN STEPS / LANDING
3. PROPOSED UNENCLOSED ENTRY PORCH
4. PROPOSED PRIVATE AMENITY OUTDOOR PATIO
5. PROPOSED WINDOW WELL (2'8" X 5'2")
6. PROPOSED ROOF EAVE LINE
7. PROPOSED PROJECTIONS
8. PROPOSED RAILING (3/4" HIGH)
9. PROPOSED ENTRY CANOPY OUTLINE

SITE PLAN LEGEND

- PROPOSED BUILDING
- PROPOSED CANTILEVER
- PROPOSED ROOF EAVE LINE
- PROPOSED MAIN ENTRY DOOR
- PROPOSE GARAGE DOOR
- PROPOSED EXTERIOR DOORS
- PROPOSE EXTERIOR WINDOW LOCATION
- PROPOSED EXTERIOR DOOR LOCATION
- GARAGE DOOR
- OVERHEAD DOOR
- EXISTING OVERHEAD ELECTRIC POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING FIRE HYDRANT
- MANHOLE
- CATCH BASIN
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO REMAIN
- EXISTING BUSH TO BE REMOVED
- OVERHEAD ELECTRIC LINE
- 250MM SANITARY LINE
- 150MM WATER LINE
- 50MM GAS LINE
- 525MM STORM LINE
- 101.23 EXISTING GRADE
- 101.23 PROPOSED GRADE

TREE SCHEDULE

Tree No.	Variety	Trunk (Ø2)	Canopy (Ø2)	Height (±)	Location
T1	Bush	-	4.00	4.00	In Adjacent Property
T2	Bush	-	4.00	4.00	In Subject Property
T3	Deciduous	0.60	5.00	4.00	In Subject Property
T4	Deciduous	0.60	5.00	4.00	In Subject Property
T5	Deciduous	1.00	15.00	15.00	In Subject Property
T6	Deciduous	1.00	15.00	15.00	In Subject Property
T7	Deciduous	0.80	6.00	7.50	In Subject Property
T8	Coniferous	0.40	4.00	9.00	In Adjacent Property
T9	Coniferous	0.40	4.00	9.00	In Adjacent Property
T10	Deciduous	0.60	4.00	8.00	In Subject Property
T11	Bush	-	2.00	4.00	On Property Line
T12	Bush	-	3.00	4.00	In City Property
T13	Bush	-	2.00	4.00	In Subject Property
T14	Bush	-	2.00	4.00	In Subject Property
T15	Bush	-	1.50	1.50	In City Property
T16	Deciduous	0.10	2.00	4.00	In City Property
T17	Bush	-	1.50	1.50	In City Property
T18	Deciduous	0.50	7.50	5.00	In Subject Property
T19	Bush	-	1.50	1.50	In City Property
T20	Deciduous	0.30	2.00	4.00	In City Property
T21	Bush	-	1.50	2.00	In Adjacent Property
T22	Bush	-	1.50	2.00	On Property Line
T23	Bush	-	2.00	3.00	In Adjacent Property

OZER TWIN SINGLES

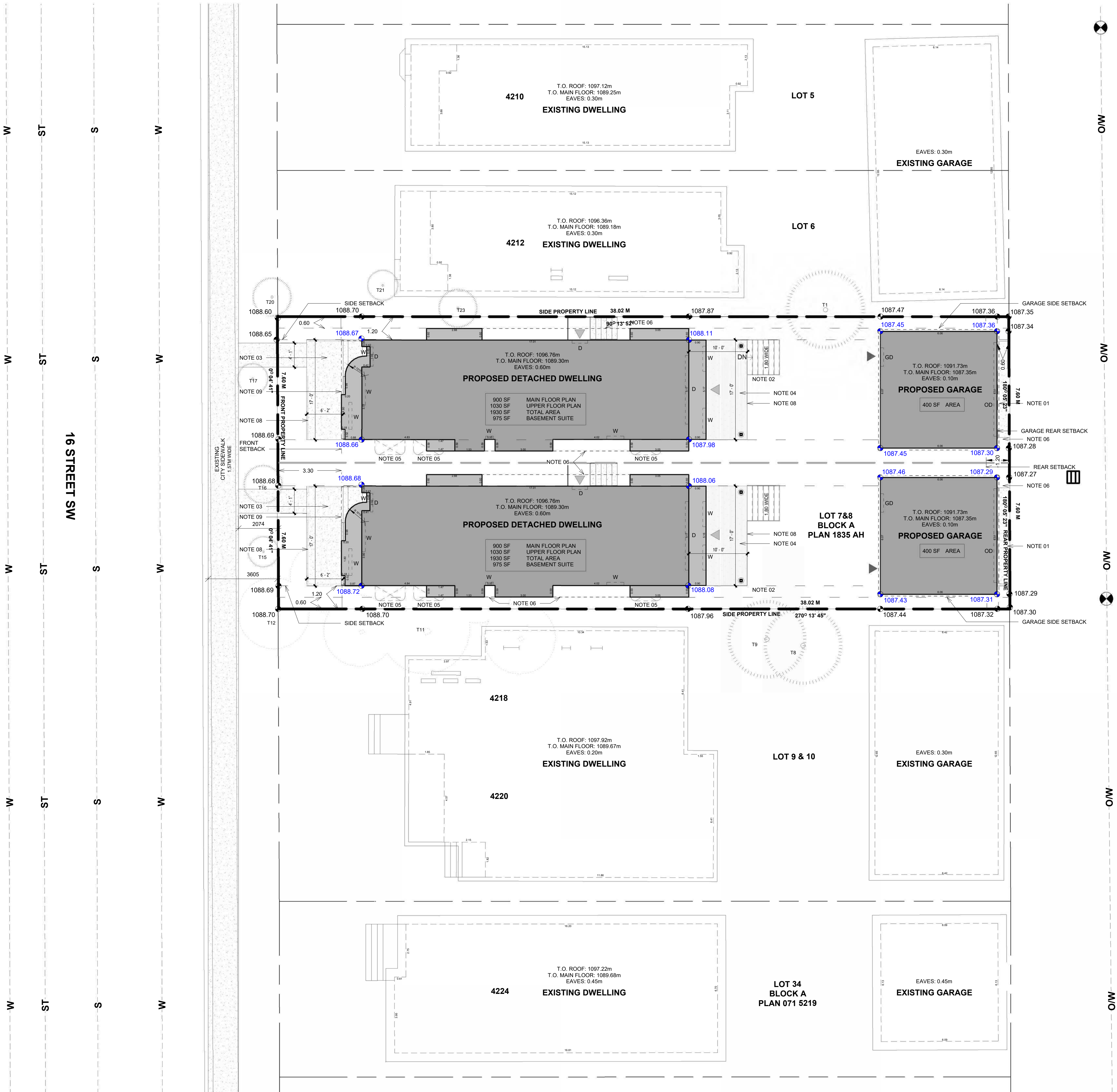
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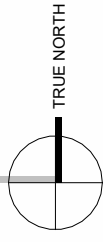
LEGAL DESCRIPTION:
LOT 7 & 8 BLOCK A
PLAN 1835 AH

SITE PLAN

DP 1.5

Project number	2411
Date	August 02, 2024
Drawn by	Author
Checked by	Checker
Scale	As indicated





LANDSCAPE STAT

SEE DP1.0 FOR PROPOSED TREE & SHRUB PLANTING SPEC.
SEE DP1.0 FOR LANDSCAPE CALCULATION / STAT

LANDSCAPE PLAN NOTES

1. PROPOSED CONC. DRIVEWAY (0.6M DEEP x 5M WIDE, 2% SLOPE)
2. PROPOSED WOODEN STEPS / LANDING
3. PROPOSED COVERED ENTRY PORCH
4. PROPOSED PRIVATE AMENITY OUTDOOR PATIO
5. PROPOSED WINDOW WELL (2'6" X 4'11")
6. PROPOSED ROOF EAVE LINE
7. PROPOSED PROJECTIONS
8. PROPOSED RAILING (3'4" HIGH)
9. PROPOSED UNENCLOSED ENTRY PORCH
10. PROPOSED LANDSCAPE CONCRETE WALKWAY

LEGEND

- PROPOSED BUILDING
- SOD (SOFTSCAPE)
- CRUSHED GRAVEL MULCH (SOFTSCAPE)
- CONCRETE (HARDSCAPE)
- PERVIOUS PAVEMENT / SIMILAR (SOFTSCAPE)
- WOOD FLOORING
- PROPOSED MAIN ENTRY DOOR
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO REMAIN
- EXISTING BUSH TO BE REMOVED
- PROPOSED SHRUB
- PROPOSED TREE
- EXISTING GRADE
- PROPOSED GRADE

TREE SCHEDULE

Tree No.	Variety	Trunk (DBH)	Canopy (DBH)	Height (ft)	Location
T1	Bush	-	4.00	4.00	In Adjacent Property
T2	Bush	-	4.00	4.00	In Subject Property
T3	Deciduous	0.60	5.00	4.00	In Subject Property
T4	Deciduous	0.60	5.00	4.00	In Subject Property
T5	Deciduous	1.00	15.00	15.00	In Subject Property
T6	Deciduous	1.00	15.00	15.00	In Subject Property
T7	Deciduous	0.80	6.00	7.50	In Subject Property
T8	Coniferous	0.40	4.00	9.00	In Adjacent Property
T9	Coniferous	0.40	4.00	9.00	In Adjacent Property
T10	Deciduous	0.60	4.00	8.00	In Subject Property
T11	Bush	-	2.00	4.00	On Property Line
T12	Bush	-	3.00	4.00	In City Property
T13	Bush	-	2.00	4.00	In Subject Property
T14	Bush	-	2.00	4.00	In Subject Property
T15	Bush	-	1.50	1.50	In City Property
T16	Deciduous	0.10	2.00	4.00	In City Property
T17	Bush	-	1.50	1.50	In City Property
T18	Deciduous	0.50	7.50	5.00	In Subject Property
T19	Bush	-	1.50	1.50	In City Property
T20	Deciduous	0.30	2.00	4.00	In City Property
T21	Bush	-	1.50	2.00	In Adjacent Property
T22	Bush	-	1.50	2.00	On Property Line
T23	Bush	-	2.00	3.00	In Adjacent Property

OZER TWIN SINGLES

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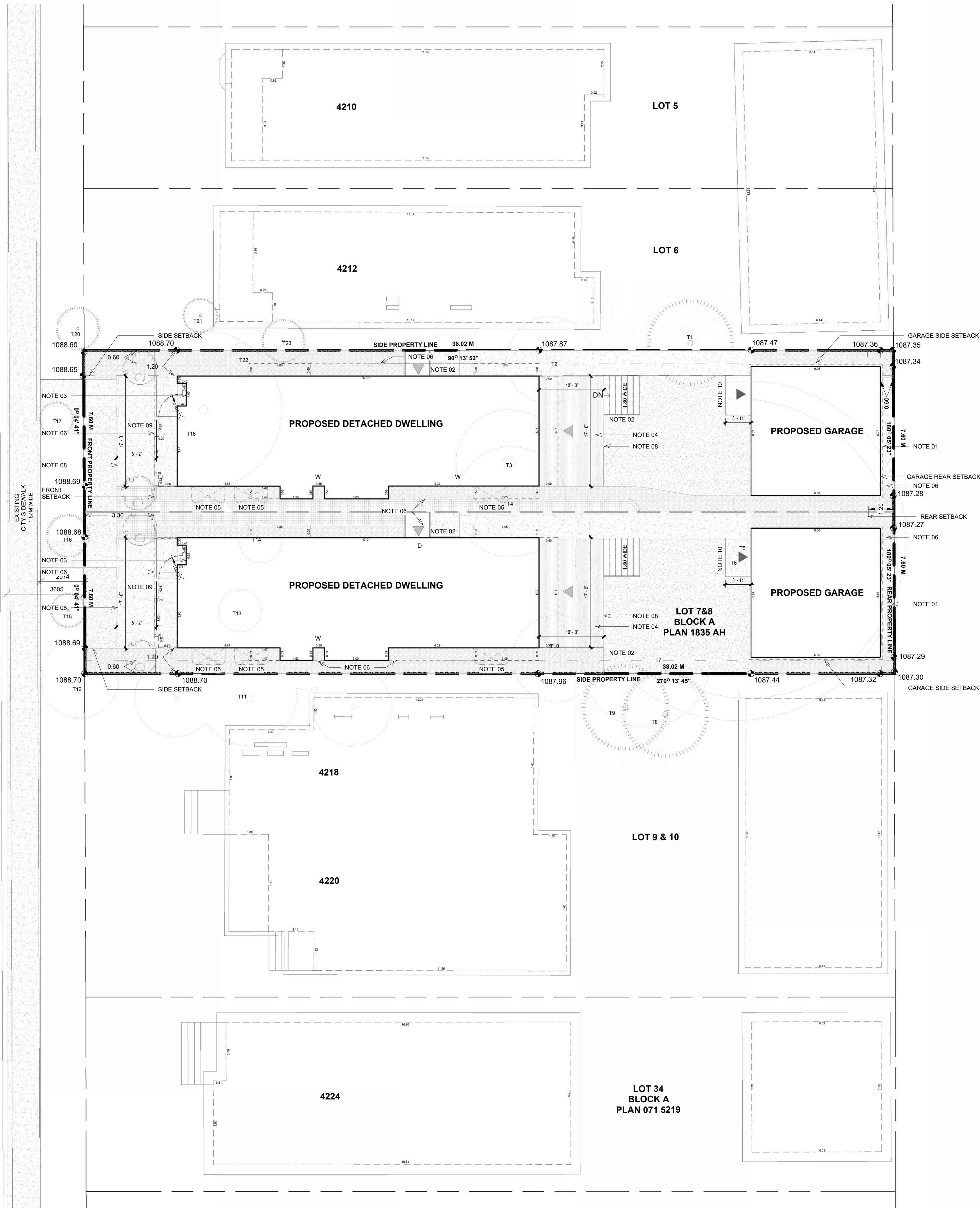
LANDSCAPE PLAN

DP 1.6

Project number	2411
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Drawn by	Author
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Scale	As indicated

16 STREET SW

6.1 M GRAVEL LANE



PROPOSED MATERIAL LEGEND

- ① ASPHALT SHINGLES - DARK GREY
② FLOAT FINISHED ACRYLIC STUCCO OVER
CEMENTITIOUS BASE - LIGHT BEIGE
③ EXTERIOR WINDOWS/DOOR FRAME - BRONZE
④ OCTAGON CABLE KINGS
⑤ GARAGE DOOR

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OZER TWIN
SINGLES

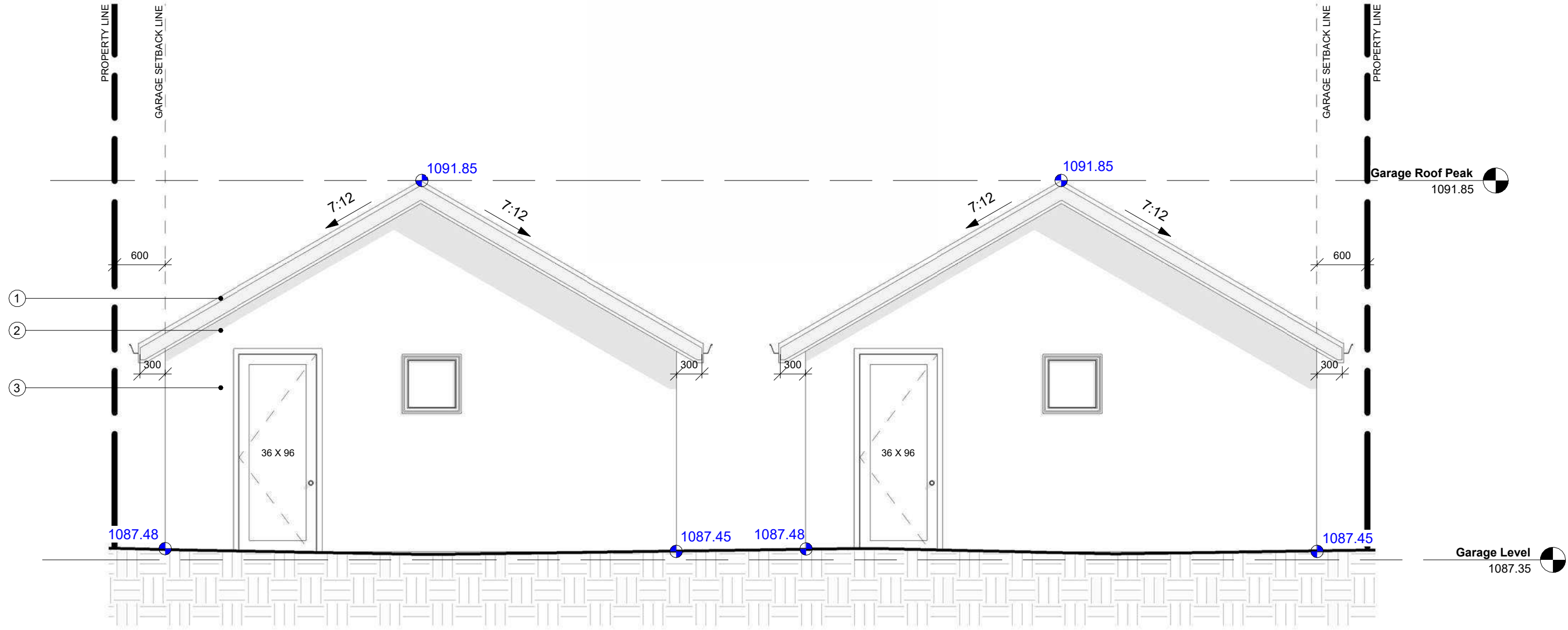
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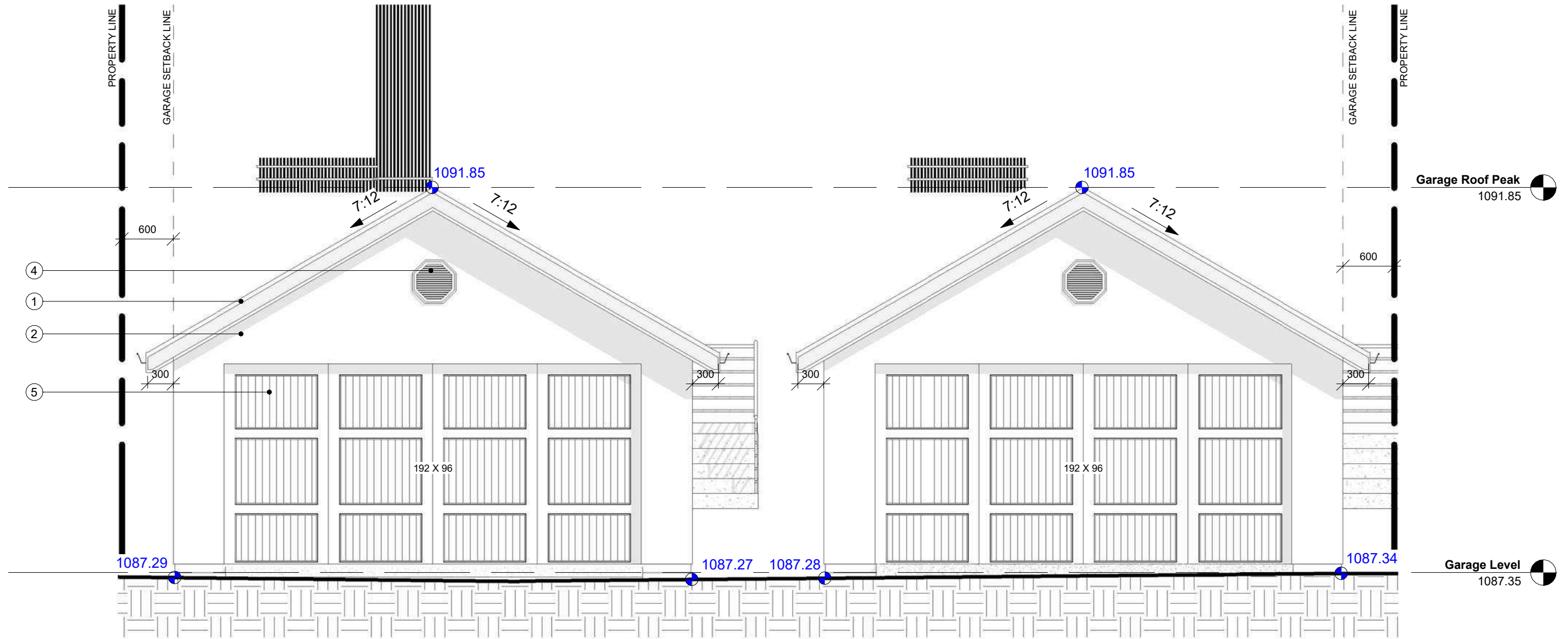
GARAGE

DP 2.4

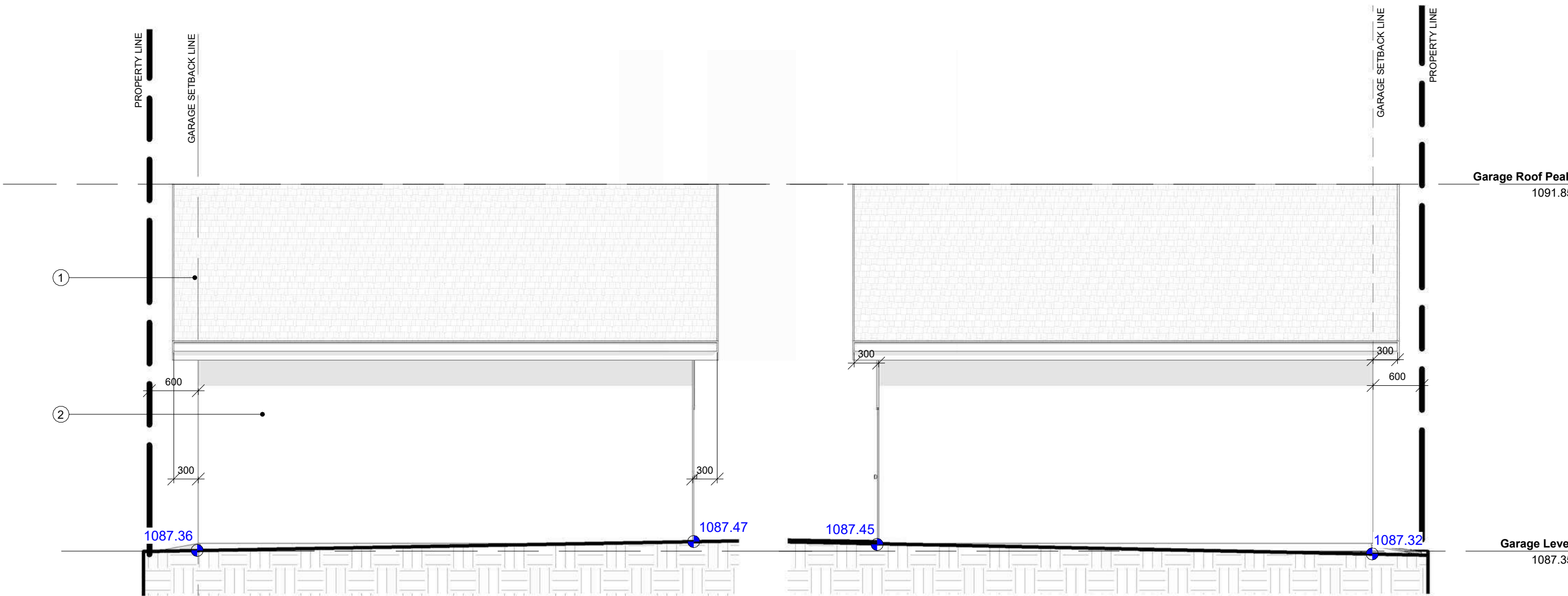
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Scale	1 : 50



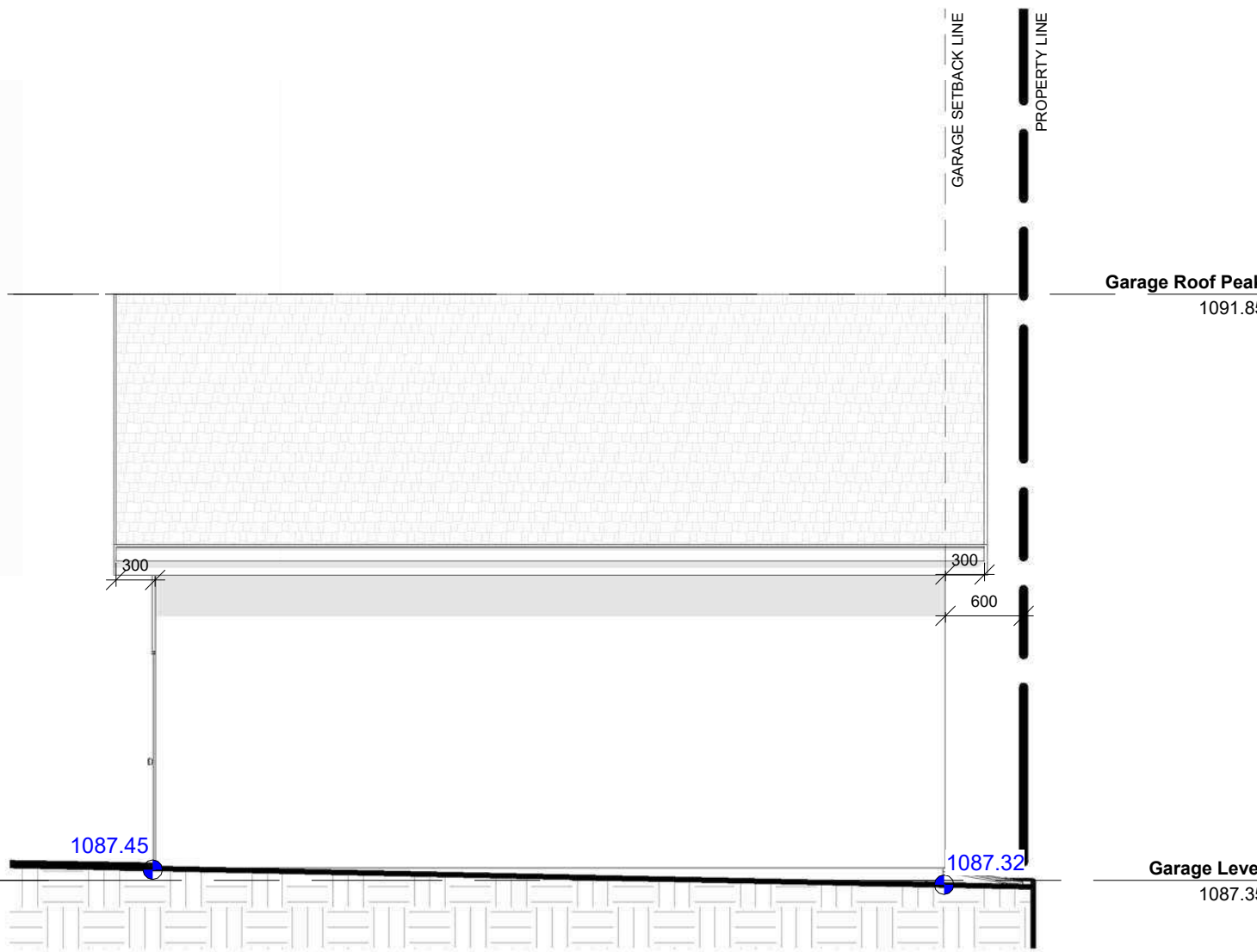
2 PROPOSED GARAGE FRONT
1 : 50



3 PROPOSED GARAGE REAR
1 : 50



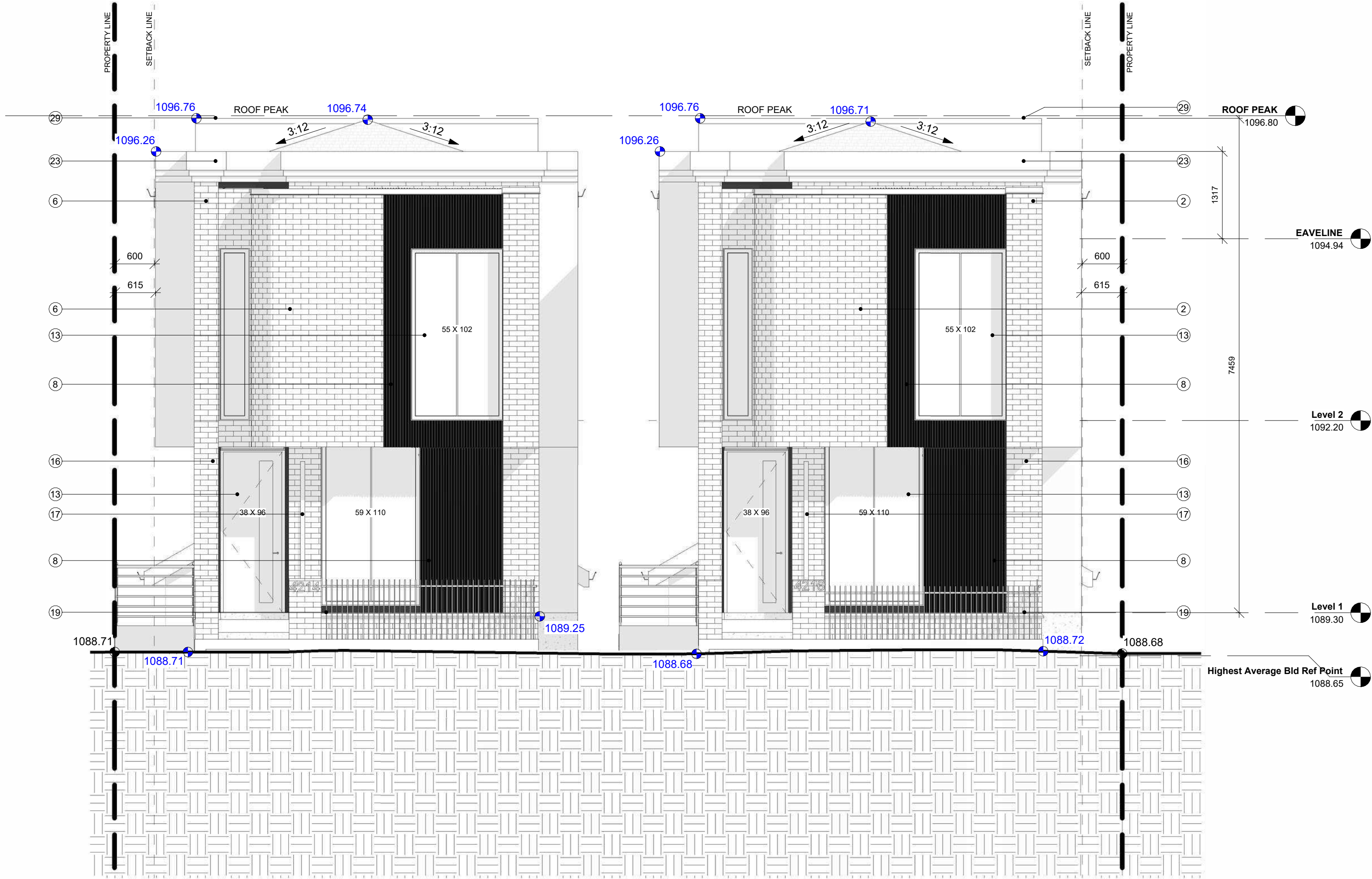
4 PROPOSED GARAGE NORTH SIDE
1 : 50



5 PROPOSED GARGAE SOUTH SIDE
1 : 50

PROPOSED MATERIAL LEGEND

- 1 ASPHALT SHINGLES - DARK GREY
- 2 BRICK VENEER - DARK TONE (BROWN)
- 3 ALLUMINUM SOFFIT & RAINWARE
- 4 4" OVER 8" HARDIE FASCIA - BEIGE
- 5 FLOAT FINISHED ACRYLIC STUCCO OVER CEMENTITIOUS BASE - LIGHT BEIGE
- 6 BRICK VENEER- LIGHT TONE (WHITE)
- 7 HARDIE TRIM BOARD, SMOOTH FINISH - BLACK
- 8 HARDIE TRIM BOARD WITH 1" BATTEN
- 9 4" HARDIE TRIM BOARD, SMOOTH FINISH - DARK GREY
- 10 6" OVER 12" OVER 18" HARDIE TRIM BOARD, SMOOTH FINISH - DARK GREY
- 11 6" OVER 12" OVER 18" HARDIE TRIM BOARD, SMOOTH FINISH - BEIGE
- 12 4" CORNER BOARD, SMOOTH FINISH - DARK GREY
- 13 EXTERIOR WINDOWS/DOOR FRAME - BLACK
- 14 EXTERIOR DOOR FRAME - WOODEN
- 15 PRE-CAST CONCRETE HEADER
- 16 METAL ENTRY CANOPY - OPEN
- 17 EXTERIOR LIGHTING FIXTURE
- 18 PRE-CAST CONCRETE STEPS
- 19 METAL RAILING
- 20 GALVANIZED STEEL BASEMENT WINDOW WELL
- 21 CONCRETE DRIVEWAY
- 22 PARKING
- 23 PRECAST CONCRETE CORNICE
- 24 EXTERIOR SKYLIGHT FRAME - BRONZE
- 25 EXTERIOR WOODEN GARAGE DOOR
- 26 EXTERIOR WOOD FIREPLACE
- 27 OUTDOOR PATIO
- 28 WOODEN STEPLANDING
- 29 METAL FLASHING
- 30 SCUPPER LOCATION



1 PROPOSED ELEVATION - WEST1
1 : 50



2 PROPOSED ELEVATION - EAST1
1 : 50

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SINGLES

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LOT 7 & 8 BLOCK A
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ELEVATIONS 1

DP 3.0

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5 - 800 NORTHMOUNT DR NW | WWW.ALEPHDESIGNLAB.COM
INFO@ALEPHDESIGNLAB.COM | 403.922.7669

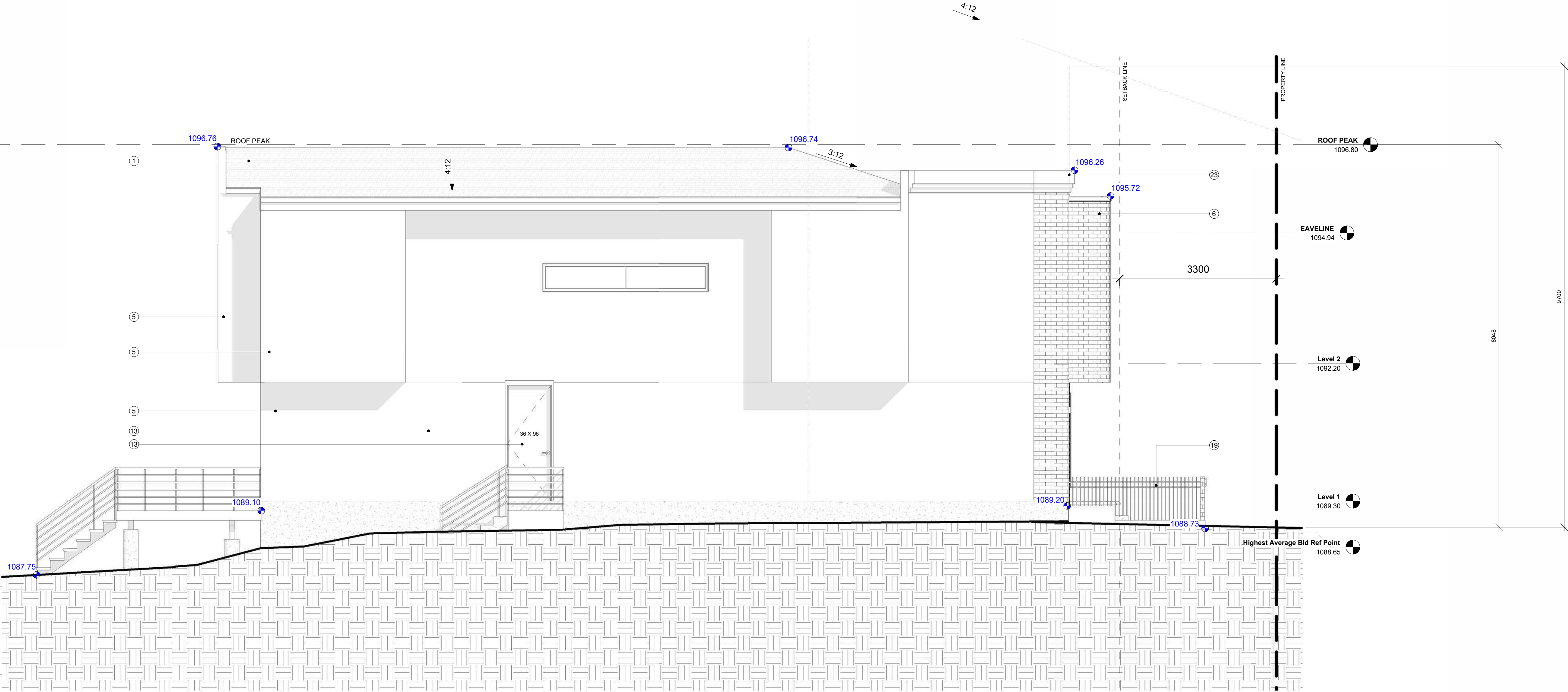
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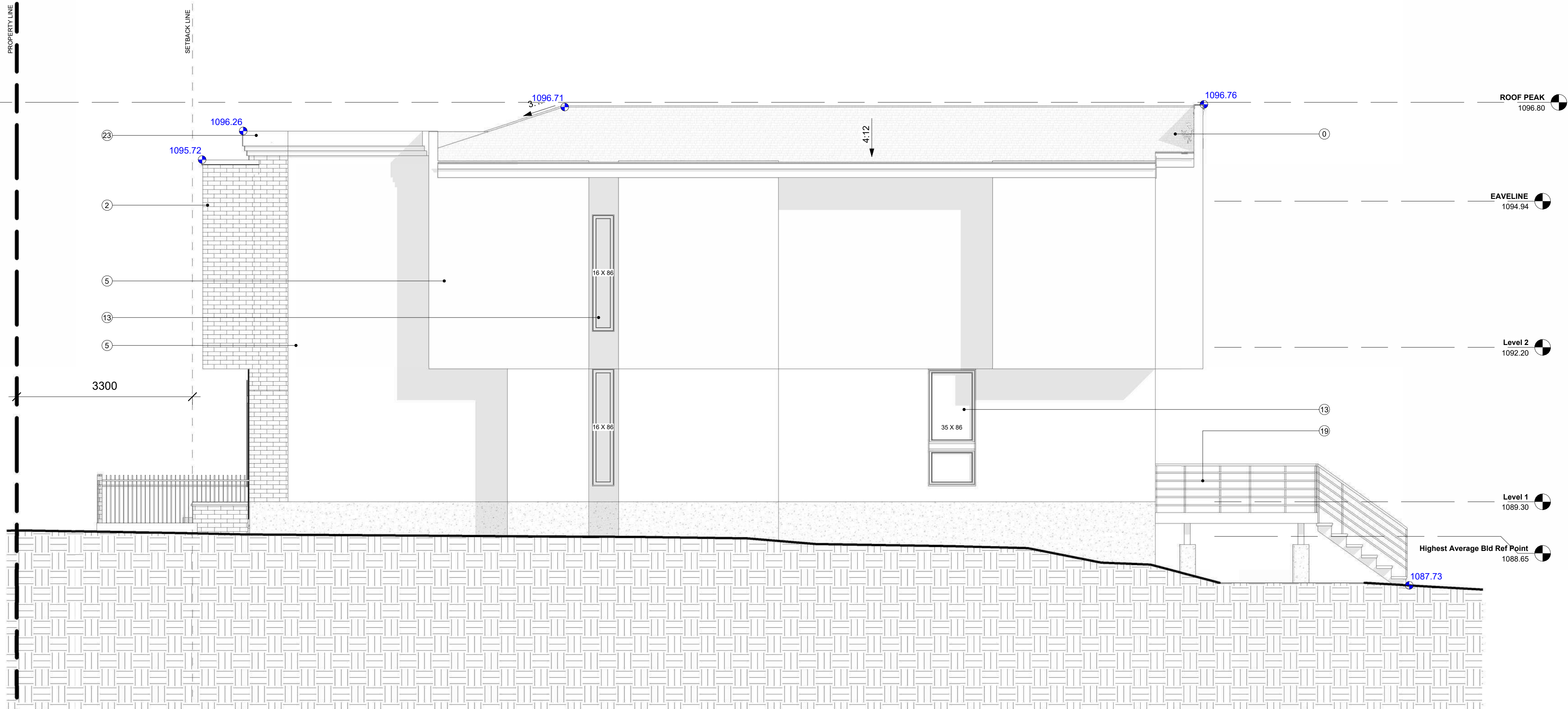
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- 1 ASPHALT SHINGLES - DARK GREY
- 2 BRICK VENEER - DARK TONE (BROWN)
- 3 ALLUMINUM SOFFIT & RAINWARE
- 4 4" OVER 8" HARDIE FASCIA - BEIGE
- 5 FLOAT FINISHED ACRYLIC STUCCO OVER CEMENTITIOUS BASE - LIGHT BEIGE
- 6 BRICK VENEER- LIGHT TONE (WHITE)
- 7 HARDIE TRIM BOARD, SMOOTH FINISH - BLACK
- 8 HARDIE TRIM BOARD WITH 1" BATTEN
- 9 4" HARDIE TRIM BOARD, SMOOTH FINISH - DARK GREY
- 10 6" OVER 12" OVER 18" HARDIE TRIM BOARD, SMOOTH FINISH - DARK GREY
- 11 6" OVER 12" OVER 18" HARDIE TRIM BOARD, SMOOTH FINISH - BEIGE
- 12 4" CORNER BOARD, SMOOTH FINISH - DARK GREY
- 13 EXTERIOR WINDOWS/DOOR FRAME - BLACK
- 14 EXTERIOR DOOR FRAME - WOODEN
- 15 PRE-CAST CONCRETE HEADER
- 16 METAL ENTRY CANOPY - OPEN
- 17 EXTERIOR LIGHTING FIXTURE
- 18 PRE-CAST CONCRETE STEPS
- 19 METAL RAILING
- 20 GALVANIZED STEEL BASEMENT WINDOW WELL
- 21 CONCRETE DRIVEWAY
- 22 PARKING
- 23 PRECAST CONCRETE CORNICE
- 24 EXTERIOR SKYLIGHT FRAME - BRONZE
- 25 EXTERIOR WOODEN GARAGE DOOR
- 26 EXTERIOR WOOD FIREPLACE
- 27 OUTDOOR PATIO
- 28 WOODEN STEPLANDING
- 29 METAL FLASHING
- 30 SCUPPER LOCATION



3 PROPOSED ELEVATION - NORTH1
1 : 50



4 PROPOSED ELEVATION - SOUTH1
1 : 50

No.	Description	Date
1	DEVELOPMENT PERMIT	2024.09.09

OZER TWIN
SINGLES

MUNICIPAL ADDRESS
4216 - 16 STREET S, W
CALGARY, ALBERTA

LEGAL DESCRIPTION
LOT 7 & 8 BLOCK A
PLAN 1835 AH

ELEVATIONS 2

DP 3.1

Project number	2411
Date	2024.12.18
Drawn by	Author
Checked by	Checker
Scale	1 : 50