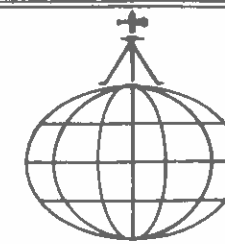


ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT



Global Surveys Corporation
304, 524 - 17th Avenue S.W.
Calgary, Alberta T2S 0B2
Phone (403) 228-7982

DESCRIPTION OF PROPERTY

Lot(s) 5
Block 5
Plan 781/1676

I, William Pang, Alberta Land Surveyor do hereby certify that:

1. The survey represented by this plan is true and correct and was made under my personal supervision.
2. The survey was made in accordance with the manual of good practice.
3. The survey was completed on the 12 day of June A.D. 1991.
4. The improvements as shown on this plan are entirely within the boundaries of the subject property and,
5. No visible encroachments exist onto the subject property from any improvement situated on an adjacent property

Dated this 13 day of June A.D. 1991.

William Pang, A.L.S.

NOTE

1. Title information is based on a title search dated April 30 A.D. 1991. C.of T. no. B11053916
2. Unless otherwise specified the dimensions shown relate to distances from property boundaries to foundation walls only at the date of survey.
3. Distances are in metres and decimals thereof.
4. Concrete drive encroaches into Lot 4 as shown
5. Wood patio encroaches into Utility R/W as shown

Municipal Address
33 Stratford Place, SW
Calgary, Alberta

Client Jones

File No. 25476.50

Date June 13, 1991

Scale 1:200

G.S.L. File No. 9106082



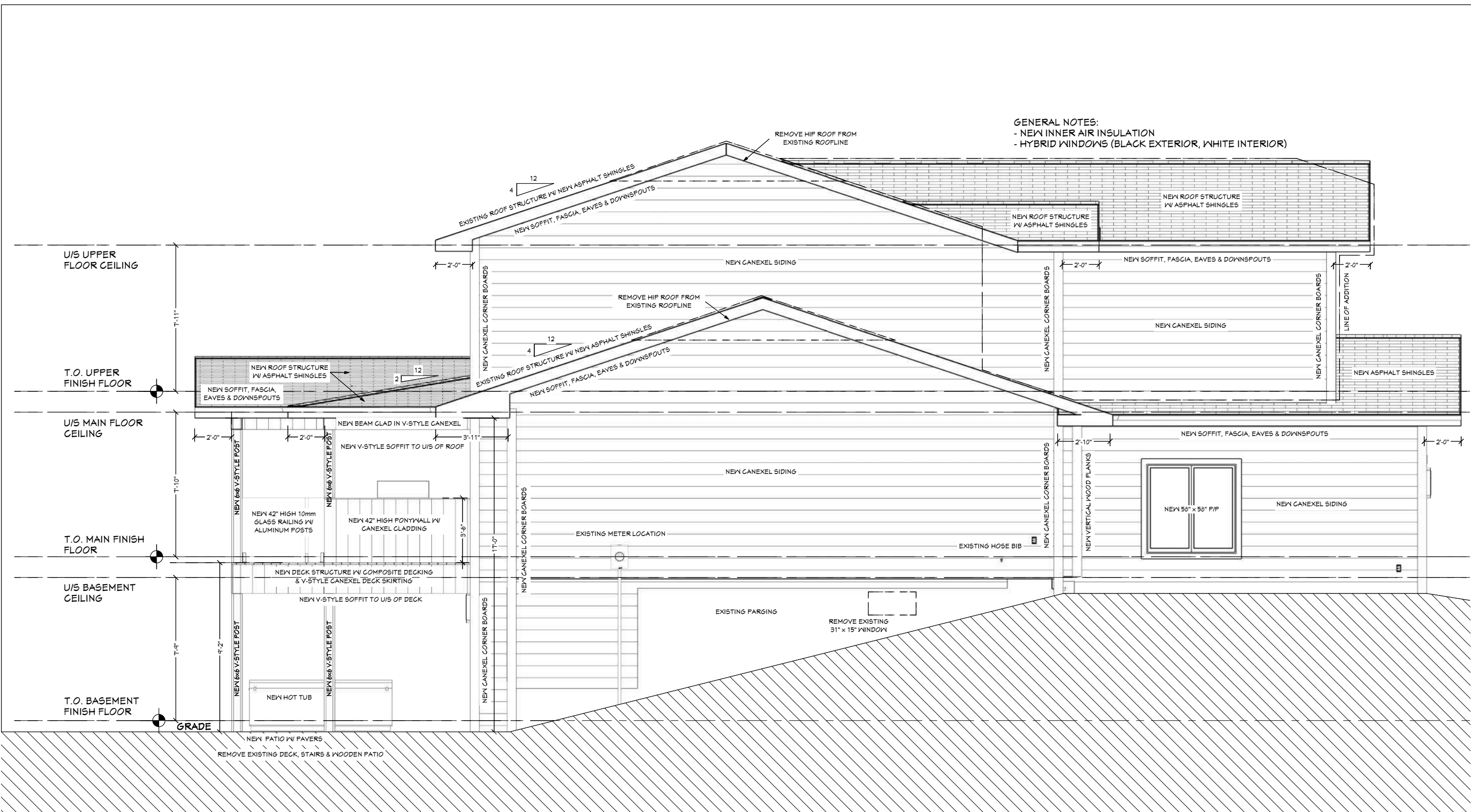
The City of Calgary Planning, Development and Assessment
CERTIFICATE OF COMPLIANCE WITH ADVISORY NOTE
The building shown on this survey plan was constructed prior to April 18 1994. Provided that all of the information shown on this survey plan is accurate, the location of the building as shown on this survey plan is considered lawful even though it does not conform to the requirements of the Land Use Bylaw 1P2007. The Advisory Stamp relates only to the building location requirements of the Land Use Bylaw 1P2007 and does not relate to the requirements of any federal, provincial or other municipal legislation nor to the terms or conditions of any easement, covenant, building scheme, agreement or other document affecting the building or land.
Date: JUL 09 2015
Approving Authority: [Signature]

The City of Calgary Corporate Properties Group Encroachment Advisory

An encroachment(s) has been identified on this Real Property Report. Encroachment into City of Calgary property may require authorization to be permitted. Please contact the City of Calgary Corporate Properties Group at 311 for more information.



6.10 Utility R/W
Reg No 791055323
Plan 7811677



PROPOSED LEFT ELEVATION
SCALE: 3/16" = 1'-0"

ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY ULTIMATE RENOVATIONS AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO ANY OTHER PERSONS OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.



DESIGNER: SJP
STATUS: PROPOSED
LEFT ELEVATION

PROJECT: C26009
33 STRATFORD PLACE SW
CALGARY, AB.

DATE:
8/26/2026

TIME:
12:26:40 PM

SHEET:
A6

GENERAL NOTES:
 - NEW INNER AIR INSULATION
 - HYBRID WINDOWS (BLACK EXTERIOR, WHITE INTERIOR)

NEW ROOF STRUCTURE W/ ASPHALT SHINGLES

NEW SOFFIT, FASCIA, EAVES & DOWNSPOUTS

NEW CANEXEL CORNER BOARDS

NEW CANEXEL SIDING

NEW 24'x44" C

REMOVE FIREPLACE CHIMNEY

NEW CANEXEL SIDING

NEW 48'x50" P

NEW 48'x36" C/P FROSTED

NEW 60'x40" C/P

NEW 6'x6' V-STYLE POST

NEW 2' CANTILEVER ADDITION TO MAIN FLOOR

NEW BUILT-IN BBQ & CABINETS

NEW 42" HIGH 10mm GLASS RAILING W/ ALUMINUM POSTS

NEW DECK STRUCTURE W/ COMPOSITE DECKING & V-STYLE DECK SKIRTING

NEW V-STYLE SOFFIT TO U/S OF DECK

NEW PATIO W/ PAVERS

REMOVE EXISTING DECK, STAIRS & WOODEN PATIO

NEW HOT TUB

EXISTING HOSE BIB

EXISTING AC UNIT

EXISTING GAS RISER

EXISTING CHIMNEY

NEW ROOF STRUCTURE 4:12 SLOPE

EXISTING PAVING

NEW STAIRS TO GRADE

NEW 10mm GLASS RAILING W/ ALUMINUM POSTS & TOP RAIL 15 RISERS

U/S UPPER FLOOR CEILING

T.O. UPPER FINISH FLOOR

U/S MAIN FLOOR CEILING

T.O. MAIN FINISH FLOOR

U/S BASEMENT CEILING

T.O. BASEMENT FINISH FLOOR

GRADE

ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY ULTIMATE RENOVATIONS AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO ANY OTHER PERSONS OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.



DESIGNER: SJP
STATUS: PROPOSED

PROJECT: C26009
333 STRATFORD PLACE SW
CALGARY, AB.

DATE:
8/26/2026

TIME:
12:26:49 PM

SHEET:
A7

PROPOSED RIGHT ELEVATION
SCALE: 3/16" = 1'-0"