



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.1	Foundation Plan
A-1.2	Basement Plan
A-1.3	Main Floor Plan
A-1.4	Upper Floor Plan
A-1.5	Roof Plan
A-2.0	Front & Rear Elevation
A-2.1	Left & Right Elevation

FLOOR AREA

BASEMENT	= 1760.08 SQ. FT.
GARAGE	= 750.42 SQ. FT.
MAIN	= 1760.08 SQ. FT.
UPPER	= 1751.99 SQ. FT.
TOTAL	= 3512.07 SQ. FT.



GENERAL NOTES:

MUNICIPAL ADDRESS:
**3151 Upper Place NW
 CALGARY, AB**

PROJECT:
SINGLE DETACHED

PROJECT NUMBER:
#255-26

STATUS:
DP

LEGAL LAND DESCRIPTION:
 LOT: BLOCK: PLAN:
 -- -- --

DO NOT SCALE DRAWINGS.
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
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NO.	DATE(D/M/Y)	DETAIL	BY
01.	20/05/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

FLOOR AREAS:

MAIN FLOOR AREA:	-- SQ.FT.
UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:
 SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-05-25 2:16:19 PM

SCALE:

PAGE: **A-0.0**

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 6" ALUMINUM FASCIA - BLACK
- 3 ALUMINUM SOFFIT - WOOD GRAIN
- 4 STUCCO FINISH
- 5 STONE FINISH AS SPEC'D
- 6 SMARTBOARD FINISH - DARK GREY / BLACK
- 7 CONCRETE PAVING
- 8 CAST-IN-PLACE CONCRETE
- 9 WOOD SLAT FINISH AS SPEC'D. - BLACK
- 10 METAL ROOF

FRONT ELEVATION
SCALE: 1/4" = 1'-0"



VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



GENERAL NOTES:

MUNICIPAL ADDRESS:
 3151 Upper Place NW
 CALGARY, AB

PROJECT:
 SINGLE DETACHED

PROJECT NUMBER:
 #255-26

STATUS:
 DP

LEGAL LAND DISCRPTION:
 LOT: --- BLOCK: --- PLAN: ---

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01.	20/05/2026	DP PLAN	S.W.
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03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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FLOOR AREAS:

MAIN FLOOR AREA:	-- SQ.FT.
UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

SHEET NAME:
 Front & Rear Elevation

DESIGN BY: JT

DRAWN BY: JT

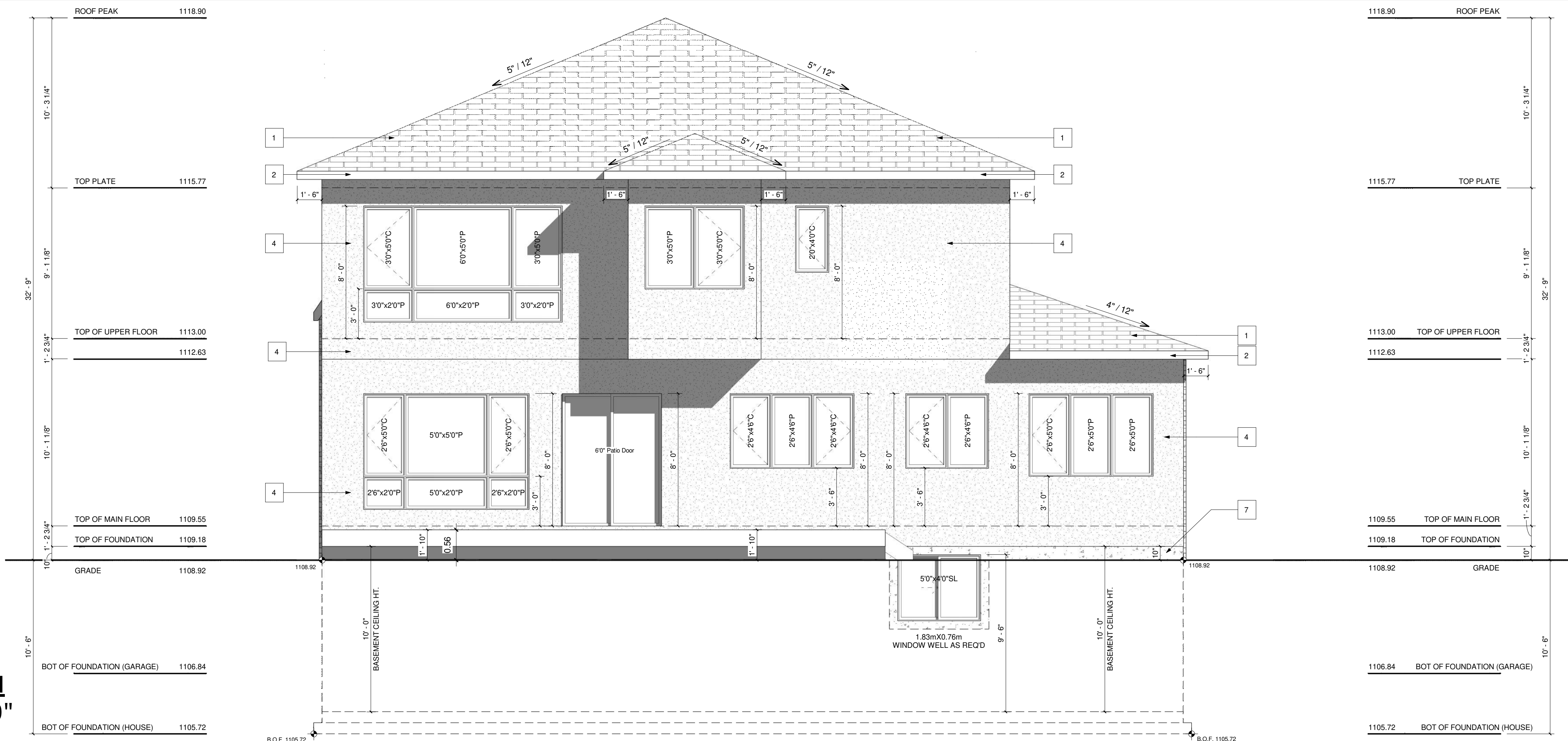
LAST REVISION BY:

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SCALE: 1/4" = 1'-0"

PAGE: **A-2.0**

REAR ELEVATION
SCALE: 1/4" = 1'-0"



VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



GENERAL NOTES:

MUNICIPAL ADDRESS:
**3151 Upper Place NW
 CALGARY, AB**

PROJECT:
SINGLE DETACHED

PROJECT NUMBER:
#255-26

STATUS:
DP

LEGAL LAND DISCRPTION:
 LOT: BLOCK: PLAN:
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01.	20/05/2026	DP PLAN	S.W.
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FLOOR AREAS:

MAIN FLOOR AREA:	-- SQ.FT.
UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

SHEET NAME:
Left & Right Elevation

DESIGN BY: JT

DRAWN BY: JT

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PRINTED: 2026-05-25 2:16:48 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.1**

- EXTERIOR FINISHES:**
- 1 ASPHALT SHINGLES
 - 2 6" ALUMINUM FASCIA - BLACK
 - 3 ALUMINUM SOFFIT - WOOD GRAIN
 - 4 STUCCO FINISH
 - 5 STONE FINISH AS SPEC'D
 - 6 SMARTBOARD FINISH - DARK GREY / BLACK
 - 7 CONCRETE PARGING
 - 8 CAST-IN-PLACE CONCRETE
 - 9 WOOD SLAT FINISH AS SPEC'D. - BLACK
 - 10 METAL ROOF

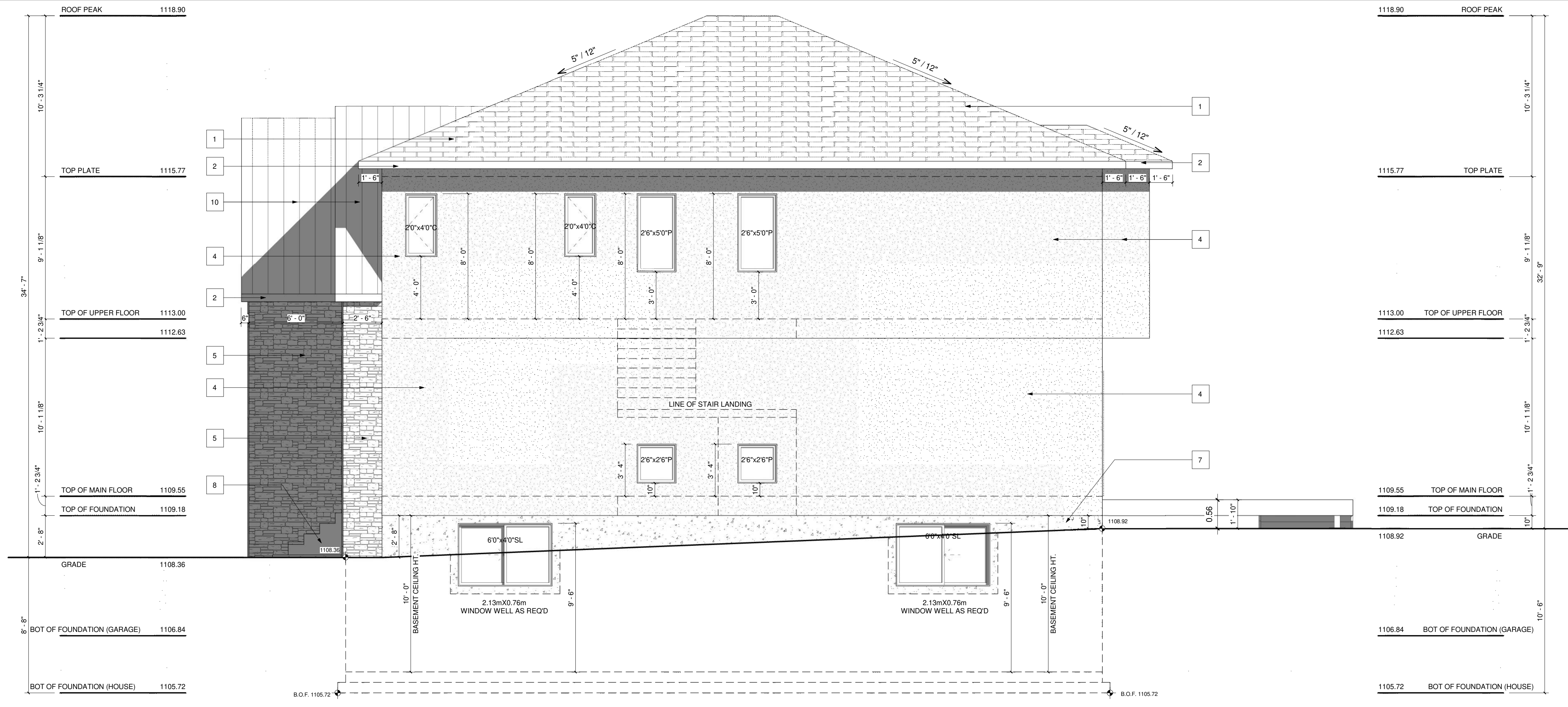
VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION :
 @ 1.37m LIMITING DISTANCE

WALL AREA = 1076.46 SQ. FT.
 WINDOW AREA = 72.90 SQ. FT.
 TOTAL: 72.90 / 1076.46 = 6.77%

LEFT ELEVATION

SCALE: 1/4" = 1'-0"



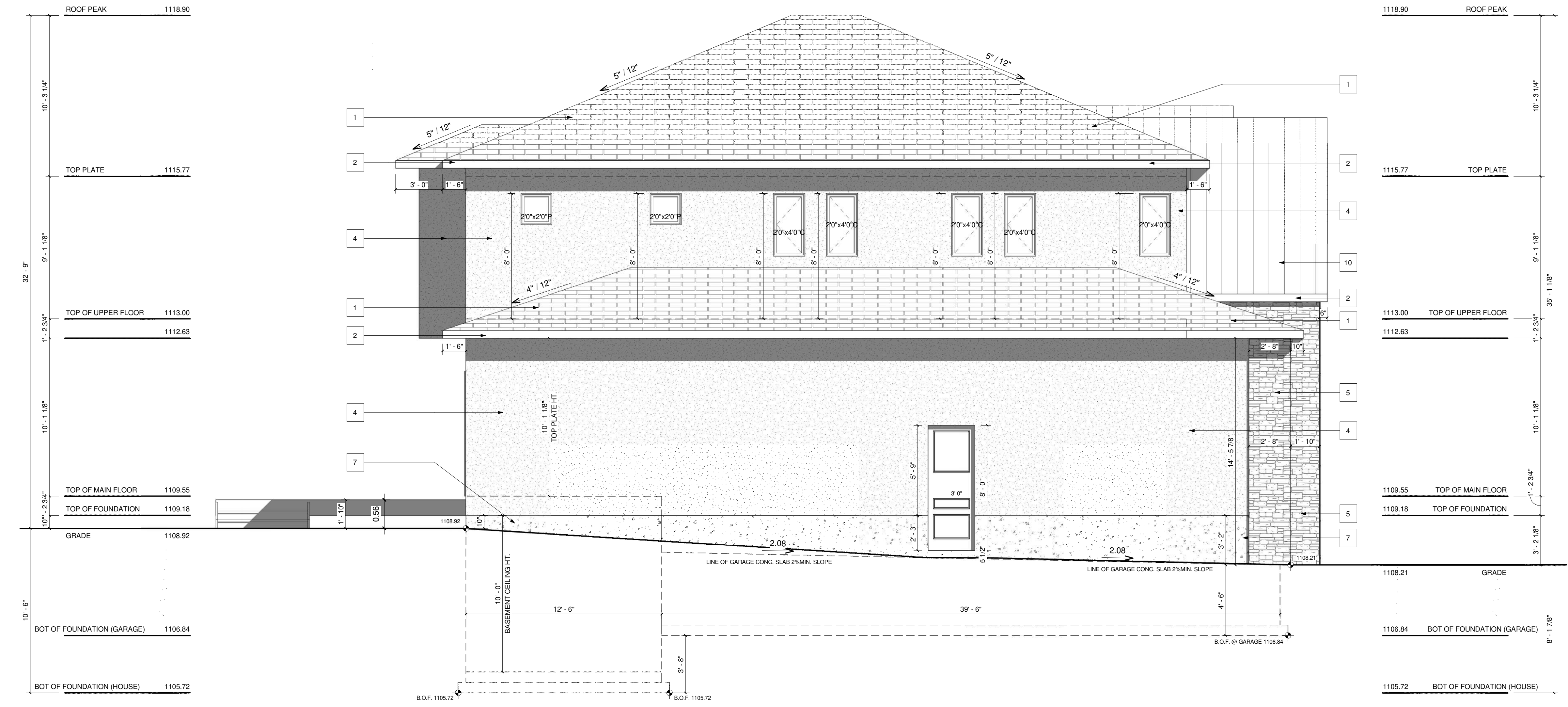
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 (SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION :
 @ 4.46m LIMITING DISTANCE

WALL AREA = 1155.09 SQ. FT.
 WINDOW AREA = 51.22 SQ. FT.
 TOTAL: 51.22 / 1155.09 = 4.43%

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 140368
 ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- ----- denotes Calculation points
- ⊠ ----- denotes Water Valve
- ◇ ----- denotes Gas Valve
- ⊙ ----- denotes Manhole
- ⊕ ----- denotes Tree
- ⊕ ----- denotes Power Pole
- △ ----- denotes Sign
- ☀ ----- denotes Light Standard
- X-X- denotes Fence
- S- denotes Sanitary Line
- ST- denotes Storm Line
- W- denotes Water Line
- G- denotes Gas Line
- E- denotes Electrical Line
- A.G.T- denotes A.G.T Line
- U.R.W.L- denotes Utility Right of Way Line
- P.L- denotes Property Line
- ▭ ----- denotes Door
- ▭ ----- denotes Main Floor Windows
- ▭ ----- denotes Second Floor Windows
- ▭ ----- denotes Basement Floor Windows
- ▨ ----- denotes Shed Hatch
- ▨ ----- denotes Detached Garage Hatch
- ▨ ----- denotes Main Building Hatch
- ▨ ----- denotes Concrete and Asphalt Hatch
- ▨ ----- denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BOW' denotes Bottom of Wall
 'Ret.' denotes Retaining
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warranty or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
 Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:

Lot 72
 Block 3
 Plan 1350JK

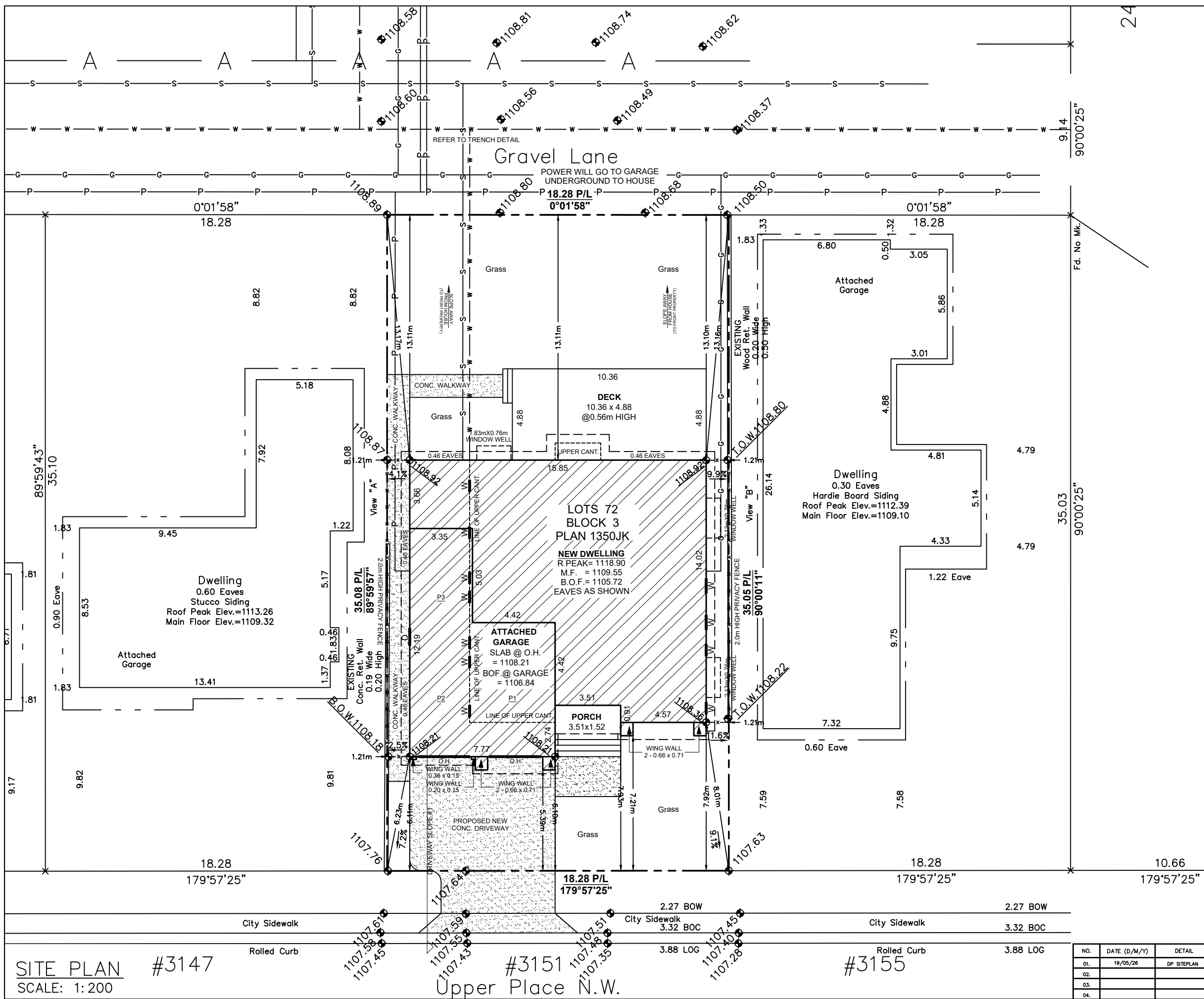
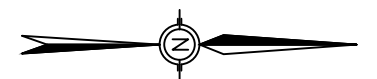
MUNICIPAL ADDRESS:

3151 Upper Place N.W.
 Calgary, Alberta

LOT COVERAGE DETAIL:

(SINGLE LOT AND HOUSE)

LOT SIZE: 640,581 SQ M
 HOUSE SIZE: 160,699 SQ M
 COVERED PORCH: 0,000 SQ M
 CANT.: 0,000 SQ M
 WING WALL: 1,964 SQ M
 ATTACHED GARAGE: 72,534 SQ M
 TOTAL: 235,197/640,581
 = 36.72%

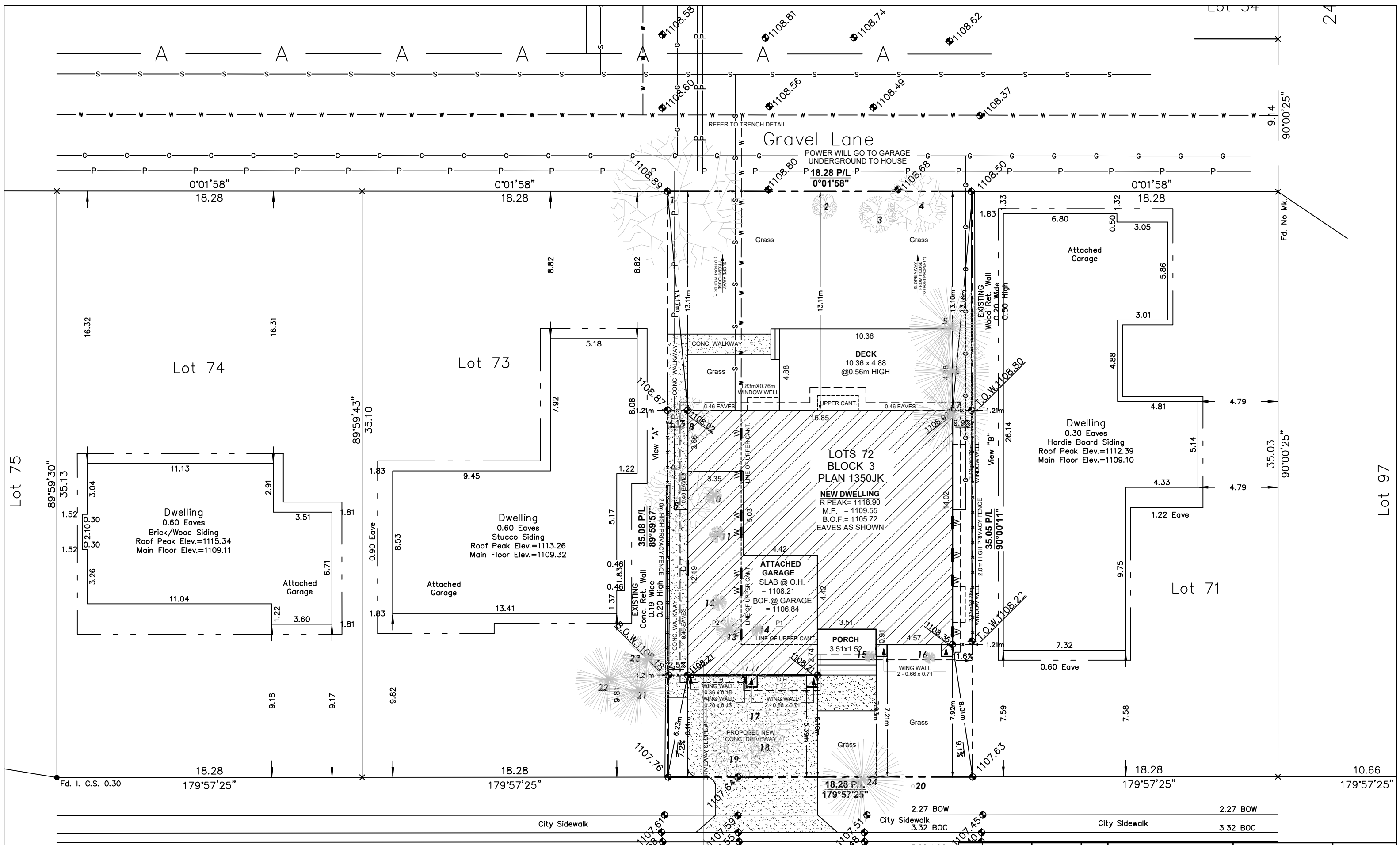


NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	19/05/26	DP SITEPLAN	S.W.	3151 Upper Place N.W. Calgary, Alberta	SEMI DETACHED HOUSE	1: 200
02.				Lots 72 Block 3 Plan 1350JK	DATE: MAY 12, 2026	DIVISION NUMBER: S 01
03.						
04.						

SITE PLAN #3147
 SCALE: 1:200

#3151
 Upper Place N.W.

#3155



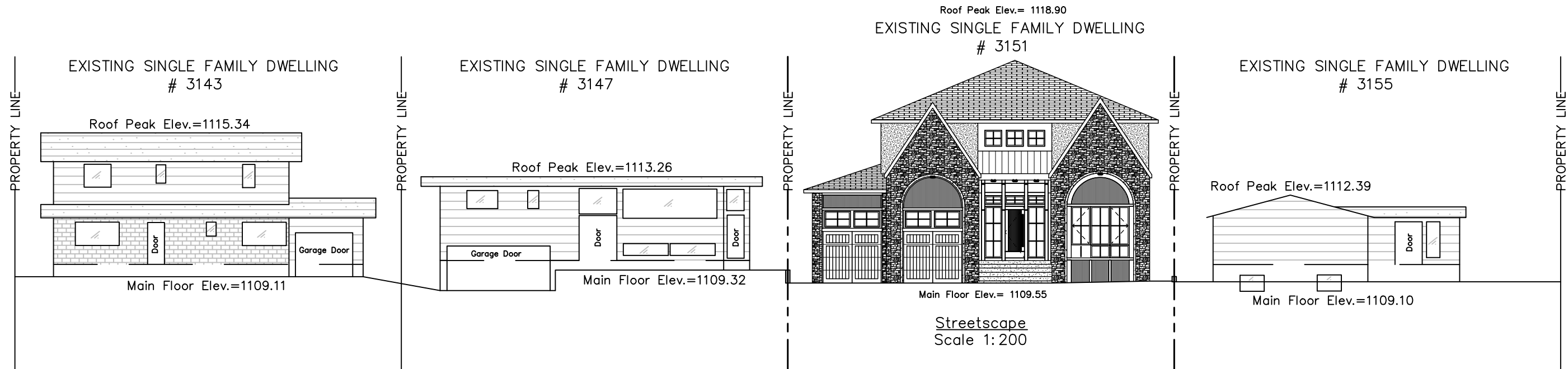
BLOCK PLAN
SCALE: 1:200

#3143

#3147

#3151
Upper Place N.W.

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	19/05/26	DP SITEPLAN	S.W.	3151 Upper Place N.W. Calgary, Alberta	SEMI DETACHED HOUSE	1: 200
02.				Lots 72 Block 3 Plan 1350JK		
03.					DATE: MAY 12, 2026	DIVISION NUMBER: S 03
04.						



STREETSCAPE

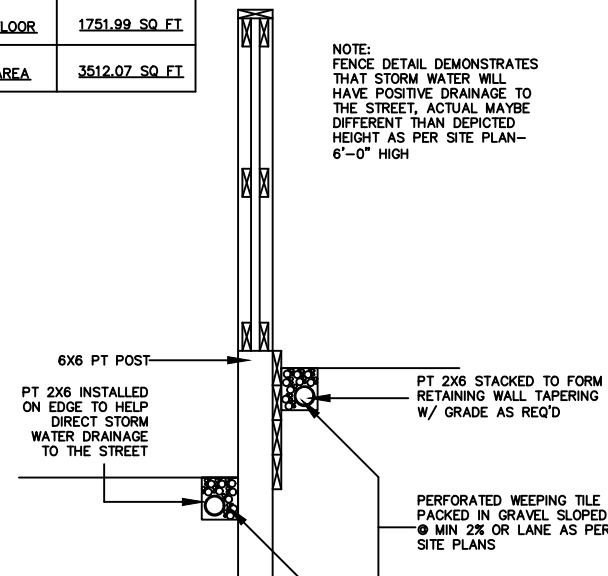
SCALE: 1:200

Tree Schedule

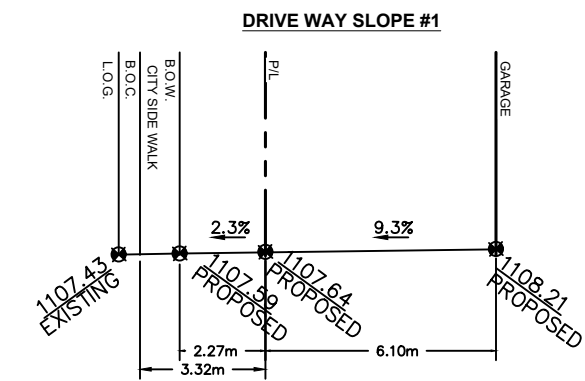
Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height	Disposition
1	Deciduous	0.60	8.00	8.00	To Be Removed
2	Deciduous	0.25	1.50	3.00	To Be Removed
3	Deciduous	0.25	2.20	3.10	To Be Removed
4	Deciduous	0.60	3.50	6.00	To Be Removed
5	Coniferous	0.50	5.00	12.00	To Be Removed
6	Coniferous	0.53	4.50	12.00	To Be Removed
7	Coniferous	0.40	4.50	11.50	To Be Removed
8	Deciduous	0.50	2.75	9.00	To Be Removed
9	Deciduous	0.30	4.00	8.00	To Be Removed
10	Coniferous	0.25	1.00	3.50	To Be Removed
11	Coniferous	0.20	1.00	3.20	To Be Removed
12	Coniferous	0.25	1.00	4.00	To Be Removed
13	Coniferous	0.40	1.50	5.00	To Be Removed
14	Coniferous	0.24	0.75	4.00	To Be Removed
15	Coniferous	0.25	0.70	5.00	To Be Removed
16	Coniferous	0.25	0.70	5.00	To Be Removed
17	Deciduous	0.45	6.00	8.50	To Be Removed
18	Deciduous	0.15	2.00	6.00	To Be Removed
19	Deciduous	0.28	3.00	6.00	To Be Removed
20	Stump	0.10	---	---	To Stay
21	Coniferous	0.50	4.00	12.00	To Stay
22	Coniferous	0.50	4.00	12.00	To Stay
23	Coniferous	0.30	3.00	10.00	To Stay
24	Coniferous	0.60	5.00	4.00	To Stay

NEW HOME SQFT:

	UNIT #1
BASEMENT	1760.08 SQ FT
ATT. GARAGE	750.42 SQ FT
MAIN FLOOR	1760.08 SQ FT
UPPER FLOOR	1751.99 SQ FT
TOTAL AREA	3512.07 SQ FT



FENCE SECTION DETAIL
SCALE: NTS



DRIVEWAY SLOPE DETAIL
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	19/05/26	DP SITEPLAN	S.W.	3151 Upper Place N.W. Calgary, Alberta	SEMI DETACHED HOUSE	AS SHOWN
02.				Lots 72 Block 3 Plan 1350JK		
03.						
04.						
					DATE: MAY 12, 2026	DIVISION NUMBER: S 02