



LIST OF DRAWINGS	
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A-1.2	Basement Plan
A-1.3	Main Floor Plan
A-1.4	Upper Floor Plan
A-1.5	Roof Plan
A-2.0	Front & Rear Elevation
A-2.1	Left & Right Elevation

FLOOR AREA

BASEMENT = 1637.08 SQ. FT.
GARAGE = 669.92 SQ. FT.
MAIN = 1717.24 SQ. FT.
UPPER = 1751.99 SQ. FT.
TOTAL = 3469.23 SQ. FT.

MUNICIPAL ADDRESS:
3151 Upper Place NW
CALGARY, AB

PROJECT:
SINGLE DETACHED

PROJECT NUMBER:
#255-26

STATUS:
DP

LEGAL LAND DISCRIPTION:
LOT: BLOCK: PLAN:
-- -- --

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
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NO.	DATE(D/M/Y)	DETAIL	BY
01.	20/05/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:	
MAIN FLOOR AREA:	-- SQ.FT.
UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-06-18 5:32:48 PM

SCALE:

PAGE:

A-0.0

- EXTERIOR FINISHES:
- | | |
|----|---------------------------------------|
| 1 | ASPHALT SHINGLES |
| 2 | 6" ALUMINUM FASCIA - BLACK |
| 3 | ALUMINUM SOFFIT - WOOD GRAIN |
| 4 | STUCCO FINISH |
| 5 | STONE FINISH AS SPEC'D |
| 6 | SMARTBOARD FINISH - DARK GREY / BLACK |
| 7 | CONCRETE PARGING |
| 8 | CAST-IN-PLACE CONCRETE |
| 9 | WOOD SLAT FINISH AS SPEC'D. - BLACK |
| 10 | METAL ROOF |

FRONT ELEVATION
SCALE: 1/4" = 1'-0"



VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



GENERAL NOTES:

MUNICIPAL ADDRESS:
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CALGARY, AB

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06.	--	--	--

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FLOOR AREAS:

MAIN FLOOR AREA:	-- SQ.FT.
UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

SHEET NAME:
Front & Rear Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

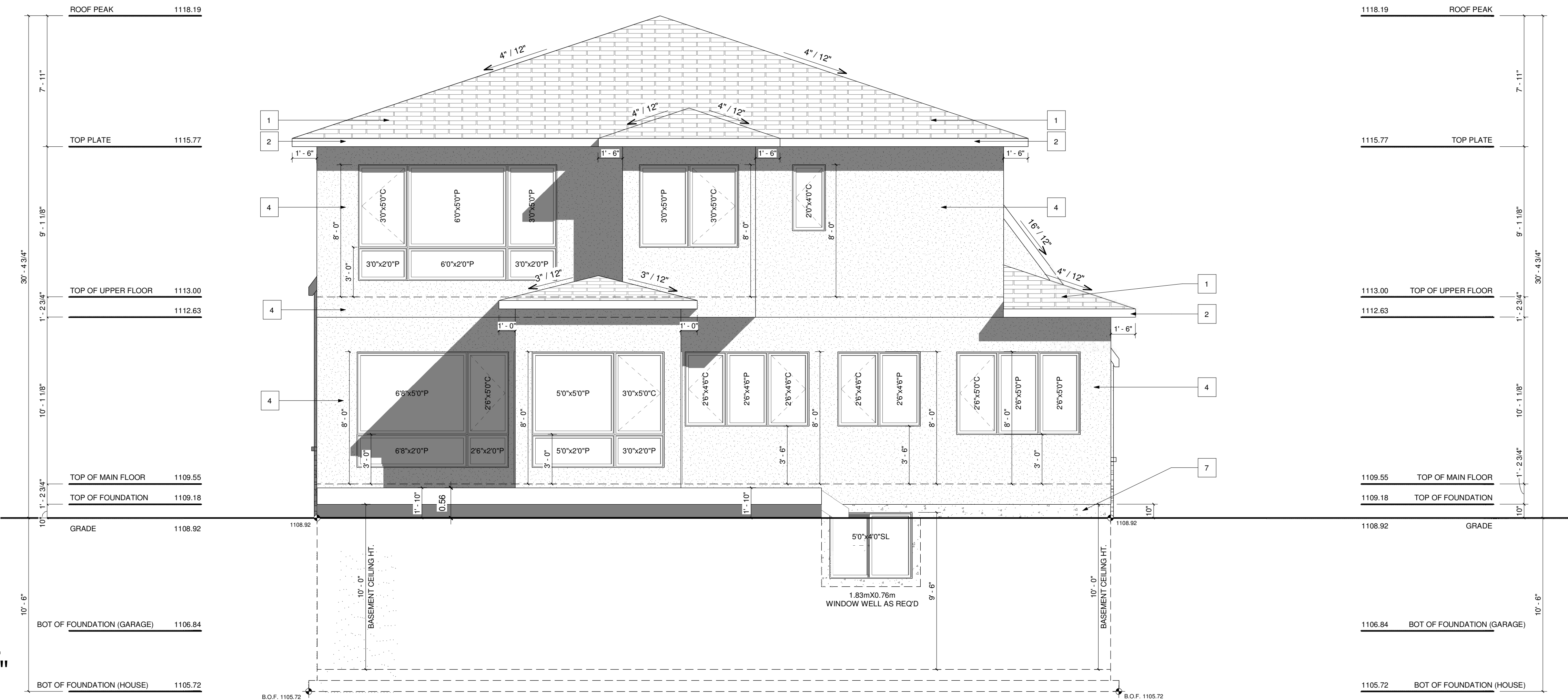
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SCALE: 1/4" = 1'-0"

PAGE:

A-2.0

REAR ELEVATION
SCALE: 1/4" = 1'-0"



VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

- EXTERIOR FINISHES:
- | | |
|----|---------------------------------------|
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| 10 | METAL ROOF |
- VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION :
@ 1.37m LIMITING DISTANCE

WALL AREA = 1076.46 SQ. FT.
WINDOW AREA = 72.90 SQ. FT.
TOTAL: 72.90 / 1076.46 = 6.77%

LEFT ELEVATION

SCALE: 1/4" = 1'-0"

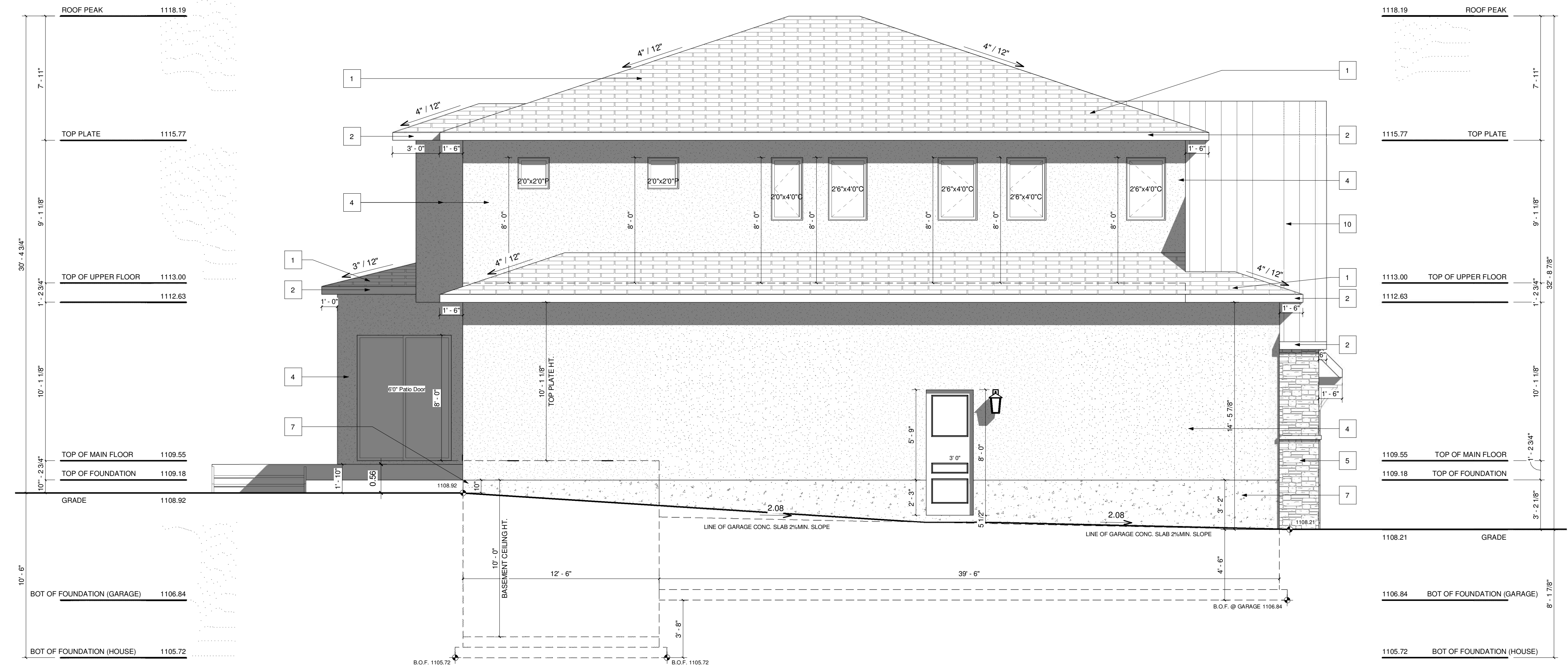
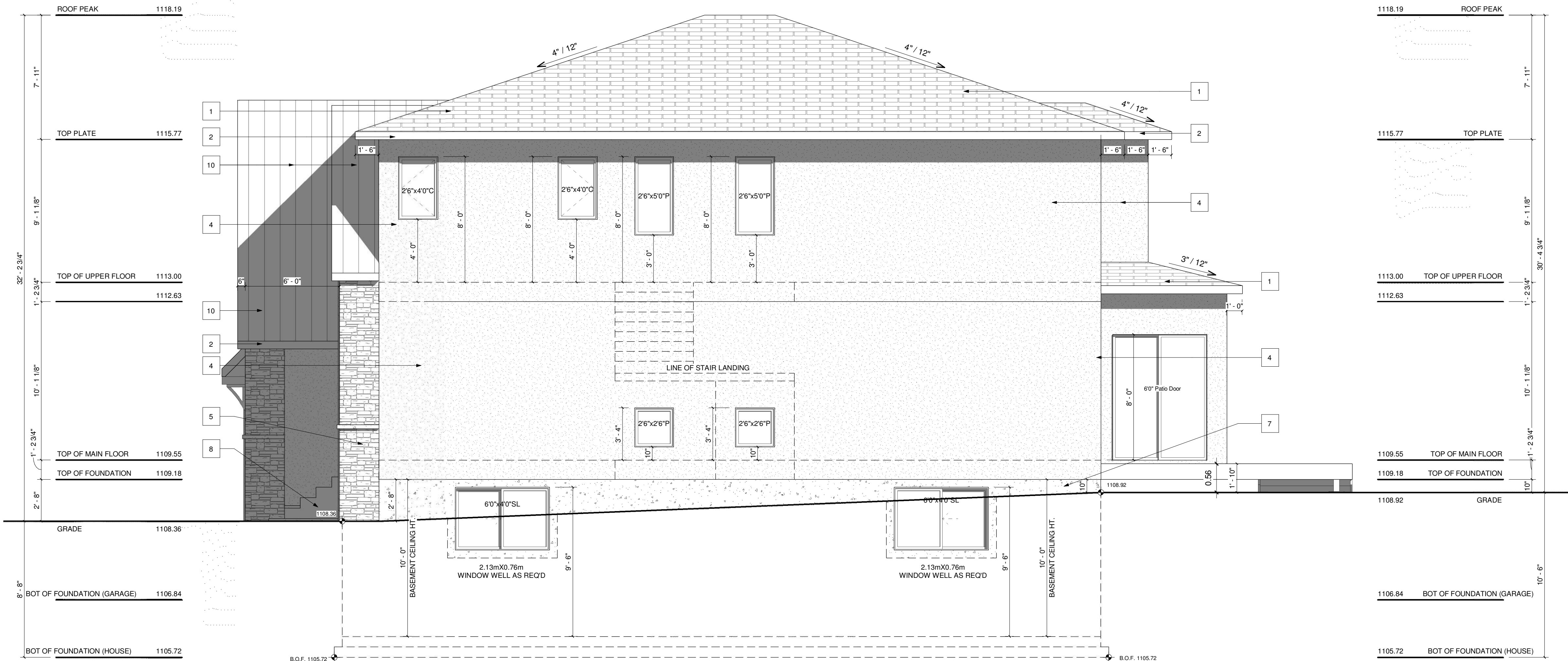
- VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION :
@ 4.46m LIMITING DISTANCE

WALL AREA = 1155.09 SQ. FT.
WINDOW AREA = 51.22 SQ. FT.
TOTAL: 51.22 / 1155.09 = 4.43%

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:

3151 Upper Place NW
CALGARY, AB

PROJECT:

SINGLE DETACHED

PROJECT NUMBER:

#255-26

STATUS:

DP

LEGAL LAND DISCRIPTION:

LOT: BLOCK: PLAN:

-- -- --

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TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:

Left & Right Elevation

DESIGN BY:

JT

DRAWN BY:

JT

LAST REVISION BY:

PRINTED:

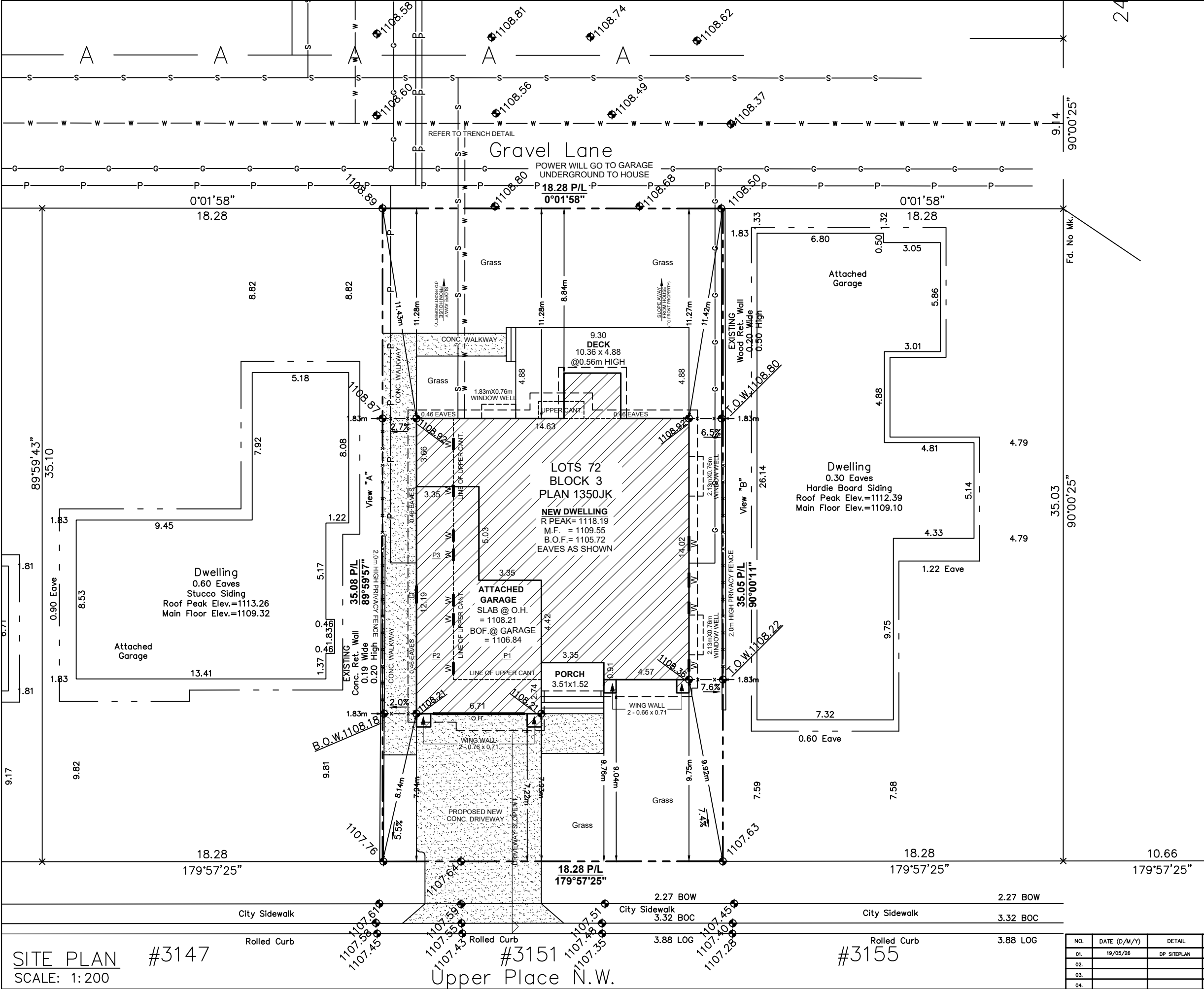
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SCALE:

1/4" = 1'-0"

PAGE:

A-2.1



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 140368
ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- denotes Fence
- denotes Sanitary Line
- denotes Storm Line
- denotes Water Line
- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows

- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

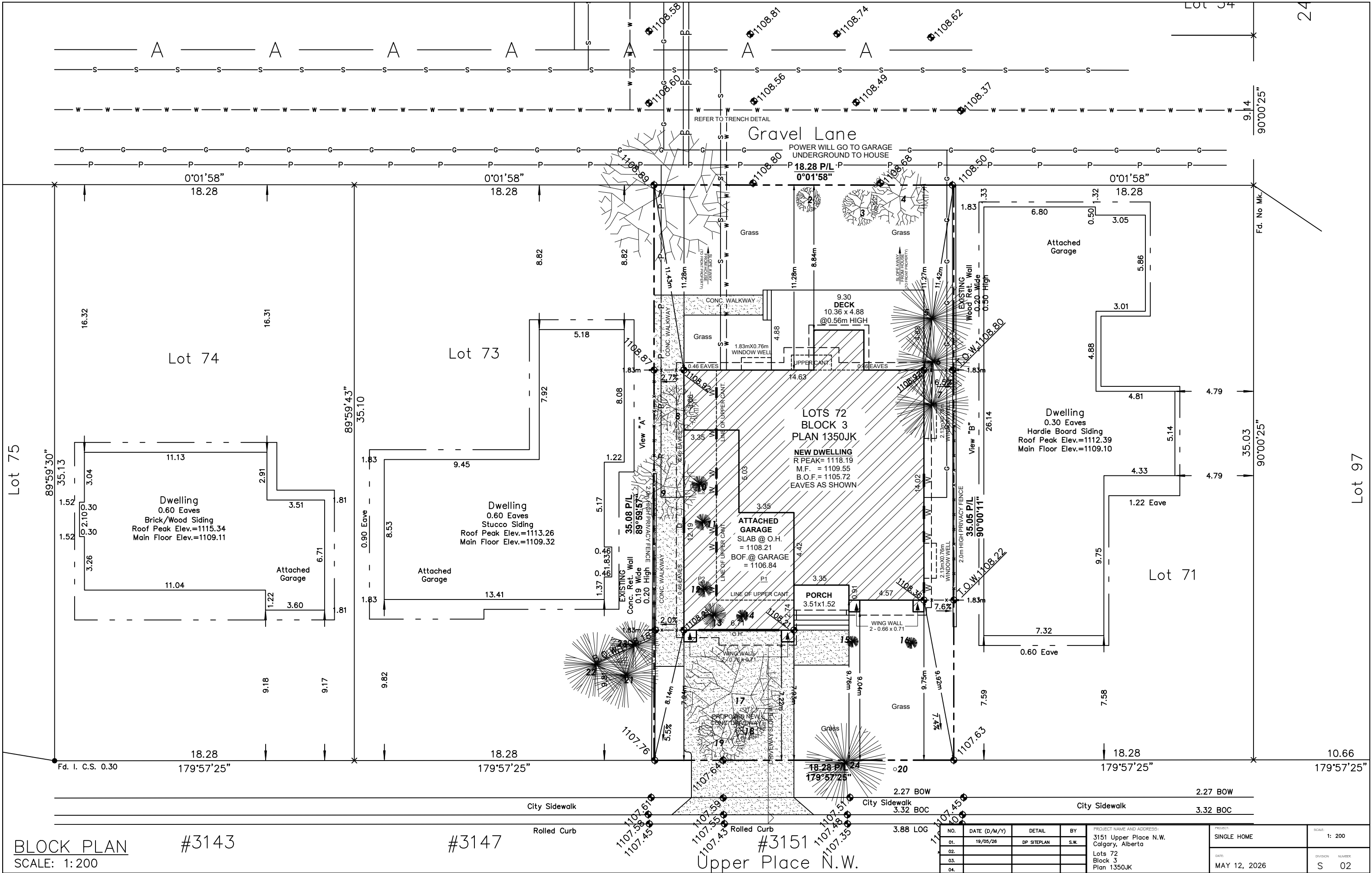
SCALE 1:200

LEGAL DESCRIPTION:
Lot 72
Block 3
Plan 1350JK

MUNICIPAL ADDRESS:
3151 Upper Place N.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)
LOT SIZE: 640.581 SQ M
HOUSE SIZE: 156.871 SQ M
COVERED PORCH: 0.000 SQ M
CANT: 0.000 SQ M
WING WALL: 2.020 SQ M
ATTACHED GARAGE: 64.886 SQ M
TOTAL: 223.777/640.581
= 34.93%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	19/05/26	DP SITEPLAN	S.W.	3151 Upper Place N.W. Calgary, Alberta	SINGLE HOME	1: 200
02.				Lots 72 Block 3 Plan 1350JK	DATE:	DIVISION NUMBER
03.					MAY 12, 2026	S 01
04.						



BLOCK PLAN
SCALE: 1:200

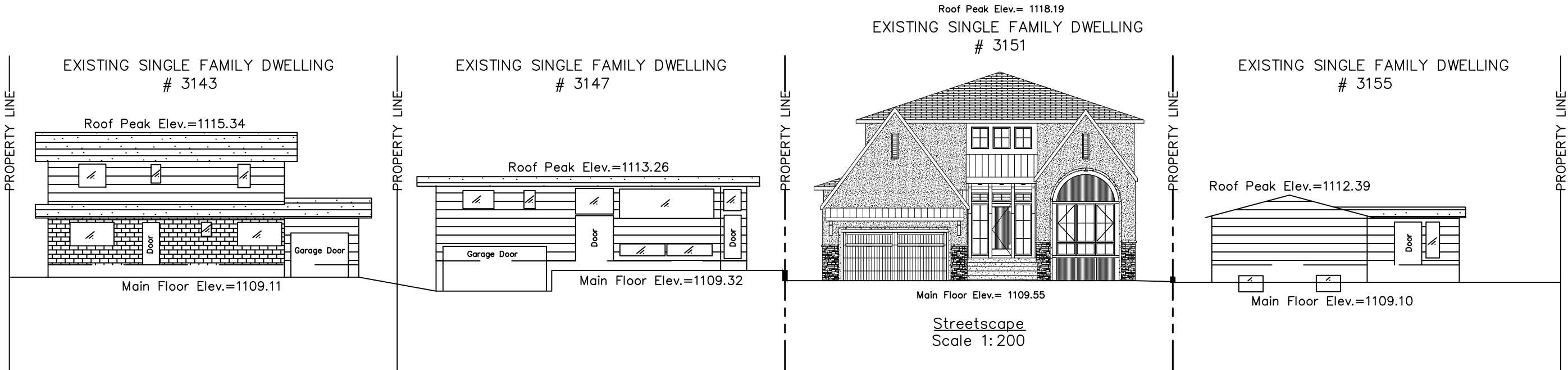
#3143

#3147

#3151
Upper Place N.W.

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	19/05/26	DP SITEPLAN	S.W.	3151 Upper Place N.W. Calgary, Alberta	SINGLE HOME	1: 200
02.				Lots 72 Block 3 Plan 1350JK	DATE:	DIVISION NUMBER
03.					MAY 12, 2026	S 02
04.						

STREETSCAPE
SCALE: 1:200

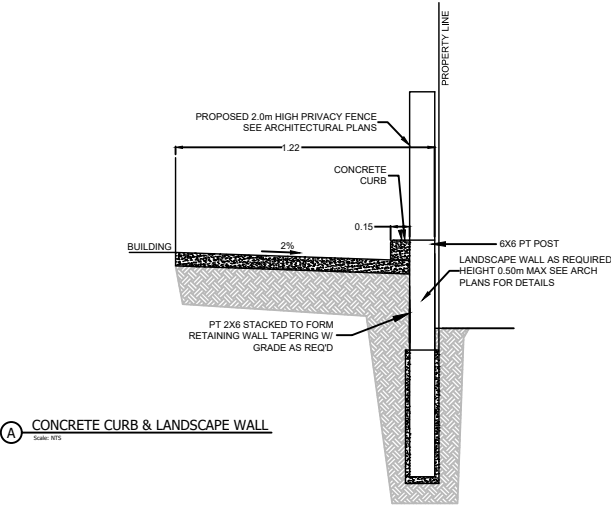


Tree Schedule

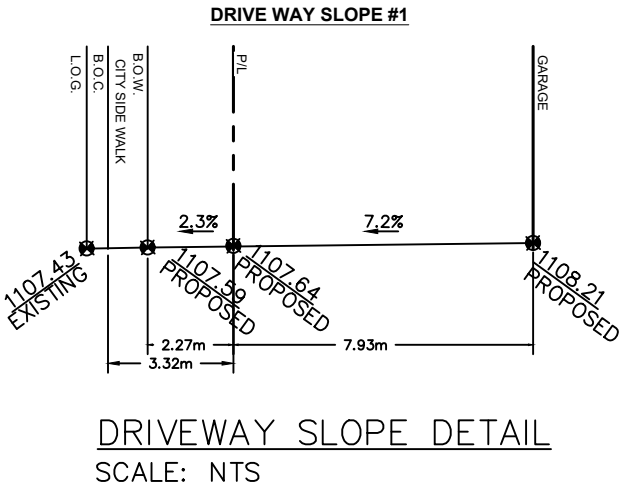
Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height	Disposition
1	Deciduous	0.60	8.00	8.00	To Be Removed
2	Deciduous	0.25	1.50	3.00	To Be Removed
3	Deciduous	0.25	2.20	3.10	To Be Removed
4	Deciduous	0.60	3.50	6.00	To Be Removed
5	Coniferous	0.50	5.00	12.00	To Be Removed
6	Coniferous	0.53	4.50	12.00	To Be Removed
7	Coniferous	0.40	4.50	11.50	To Be Removed
8	Deciduous	0.50	2.75	9.00	To Be Removed
9	Deciduous	0.30	4.00	8.00	To Be Removed
10	Coniferous	0.25	1.00	3.50	To Be Removed
11	Coniferous	0.20	1.00	3.20	To Be Removed
12	Coniferous	0.25	1.00	4.00	To Be Removed
13	Coniferous	0.40	1.50	5.00	To Be Removed
14	Coniferous	0.24	0.75	4.00	To Be Removed
15	Coniferous	0.25	0.70	5.00	To Be Removed
16	Coniferous	0.25	0.70	5.00	To Be Removed
17	Deciduous	0.45	6.00	8.50	To Be Removed
18	Deciduous	0.15	2.00	6.00	To Be Removed
19	Deciduous	0.28	3.00	6.00	To Be Removed
20	Stump	0.10	---	---	To Stay
21	Coniferous	0.50	4.00	12.00	To Stay
22	Coniferous	0.50	4.00	12.00	To Stay
23	Coniferous	0.30	3.00	10.00	To Stay
24	Coniferous	0.60	5.00	4.00	To Stay

NEW HOME SQFT:

	UNIT #1
BASEMENT	1637.08 SQ FT
ATT. GARAGE	669.92 SQ FT
MAIN FLOOR	1717.24 SQ FT
UPPER FLOOR	1751.99 SQ FT
TOTAL AREA	3469.23 SQ FT



FENCE SECTION DETAIL
SCALE: NTS



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01.	19/05/26	DP SITEPLAN	S.W.	3151 Upper Place N.W. Calgary, Alberta	SINGLE HOME	AS SHOWN
02.				Lots 72 Block 3 Plan 1350JK		
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