

90°04'38"  
28.60

90°04'38"  
26.52

# SITE PLAN

1000.00

## LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)  
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM  
 AND ARE DERIVED FROM ASCMS 140368  
 ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- ⊠ denotes Water Valve
- ◇ denotes Gas Valve
- ⊙ denotes Manhole
- ⊙ denotes Tree
- ⊕ denotes Power Pole
- △ denotes Sign
- ☀ denotes Light Standard
- X-X- denotes Fence
- S- denotes Sanitary Line
- SF- denotes Storm Line
- W- denotes Water Line
- G- denotes Gas Line
- E- denotes Electrical Line
- A.G.T- denotes A.G.T Line
- - - - denotes Utility Right of Way Line
- - - - denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- ▨ denotes Shed Hatch
- ▩ denotes Detached Garage Hatch
- ▧ denotes Main Building Hatch
- ▩ denotes Concrete and Asphalt Hatch
- ▨ denotes Wood Hatch

'Cant.' denotes Cantilevers  
 'Enc.' denotes Encroach(es)  
 'BW' denotes Back of Walkway  
 'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete  
 'Ret.' denotes Retaining  
 'BC' denotes Back of Curb  
 'TOW' denotes Top of Wall

### Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential  
 Grade-Oriented Infill

SCALE 1:200

### LEGAL DESCRIPTION:

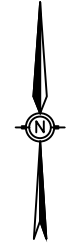
Lot 4  
 Block 5  
 Plan 5815 HT

### MUNICIPAL ADDRESS:

1016 - BEL-AIRE Dr S.W.  
 Calgary, Alberta

### LOT COVERAGE DETAIL:

(SINGLE LOT AND HOUSE)  
 LOT SIZE: 1209.750 SQ M  
 HOUSE: 262.033 SQ M  
 COVERED PORCH: 0.000 SQ M  
 CANT.: 0.000 SQ M  
 WING WALL: 5.175 SQ M  
 ATTACHED GARAGE: 114.991 SQ M  
 TOTAL: 382.199/1209.750  
 = 31.59%



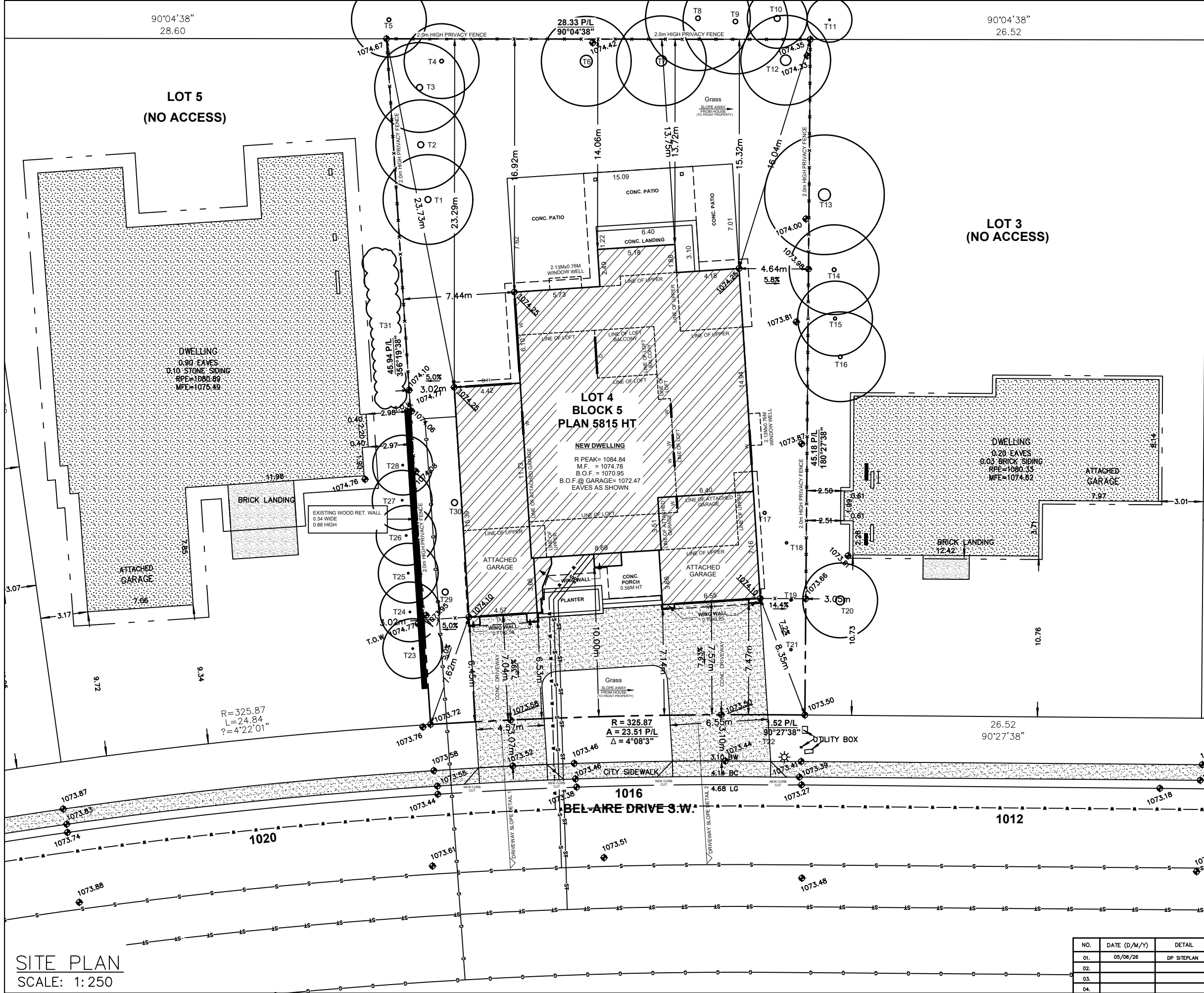
LOT 5  
(NO ACCESS)

LOT 3  
(NO ACCESS)

LOT 4  
 BLOCK 5  
 PLAN 5815 HT

NEW DWELLING  
 R PEAK= 1084.84  
 M.F. = 1074.78  
 B.O.F. = 1070.95  
 B.O.F. @ GARAGE= 1072.47  
 EAVES AS SHOWN

DWELLING  
 0.26 EAVES  
 9.03 BRICK SIDING  
 RPE=1080.33  
 MFE=1074.82



## SITE PLAN

SCALE: 1:250

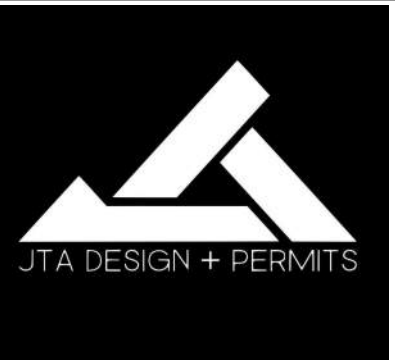
NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	05/06/26	DP SITEPLAN	D.L.	1016 BEL-AIRE DRIVE SW Calgary, Alberta	SINGLE HOUSE	1: 200
02.				Lot 4 Block 5 Plan 5815 HT	DATE:	DIVISION NUMBER
03.					JUN 05, 2026	S 01
04.						



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevations
A-2.2	Left Elevation
A-2.3	Right Elevation

**FLOOR AREA**

BASEMENT	= 2697.08 SQ. FT.
ATTACHED GARAGE	= 1237.75 SQ. FT.
MAIN	= 2685.42 SQ. FT.
UPPER	= 2499.84 SQ. FT.
LOFT	= 1062.98 SQ. FT.
<b>TOTAL</b>	<b>= 6248.24 SQ. FT.</b>



GENERAL NOTES:

MUNICIPAL ADDRESS:  
**1016 Bel-Aire Dr SW**  
**Calgary, AB**  
 PROJECT:  
**NEW HOME**

PROJECT NUMBER:  
**217 - 26**

STATUS:  
**DP**

DO NOT SCALE DRAWINGS.  
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	05/06/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:  
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NBC AE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING



DRAWING SET:

SHEET NAME:  
**Cover Page**

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION DATE: 2026-06-05 11:21:29 AM

SCALE:

PAGE: **A-0.0**

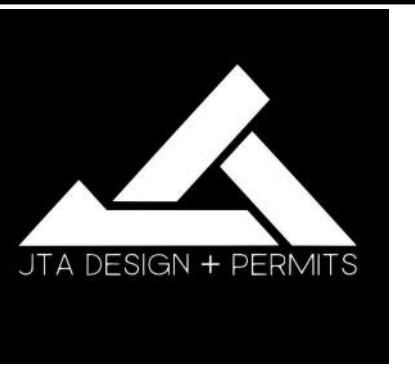
**EXTERIOR FINISHES:**

REFER TO PLID EXTERIOR SPEC SHEET FOR COLORS

- 1 ASPHALT SHINGLE ROOF
- 2 ALUMINUM FASCIA - SLATE GREY
- 3 ALUMINUM SOFFIT - SLATE GREY
- 4 STUCCO FINISH - BLACK
- 5 STONE CLADDING AS SPEC'D
- 6 SMOOTH STUCCO - BLACK
- 7 CONCRETE PARGING
- 8 CAST-IN-PLACE CONCRETE
- 9 TORCH-ON ROOFING

**VENTED SOFFIT NOTES:**

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)



GENERAL NOTES:

MUNICIPAL ADDRESS:

1016 Bel-Aire Dr SW  
Calgary, AB  
PROJECT:  
NEW HOME

PROJECT NUMBER:  
217 - 26

STATUS:  
DP

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	05/06/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:  
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NBC AE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

DRAWING SET:

SHEET NAME:  
Front Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION DATE: 2026-06-05 11:21:32 AM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.0**



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

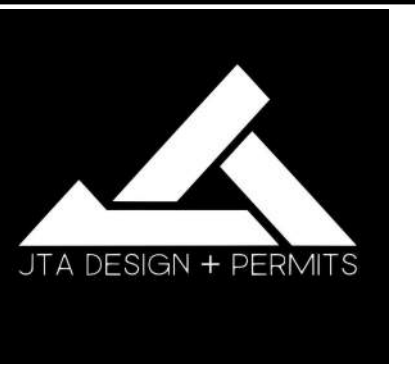
**EXTERIOR FINISHES:**

REFER TO PLID EXTERIOR SPEC SHEET FOR COLORS

- 1 ASPHALT SHINGLE ROOF
- 2 ALUMINUM FASCIA - SLATE GREY
- 3 ALUMINUM SOFFIT - SLATE GREY
- 4 STUCCO FINISH - BLACK
- 5 STONE CLADDING AS SPEC'D
- 6 SMOOTH STUCCO - BLACK
- 7 CONCRETE PARGING
- 8 CAST-IN-PLACE CONCRETE
- 9 TORCH-ON ROOFING

**VENTED SOFFIT NOTES:**

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)



GENERAL NOTES:

MUNICIPAL ADDRESS:

1016 Bel-Aire Dr SW  
Calgary, AB

PROJECT:  
NEW HOME

PROJECT NUMBER:  
217 - 26

STATUS:  
DP

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	05/06/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NBC AE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

DRAWING SET:

SHEET NAME:  
Rear Elevations

DESIGN BY: JT

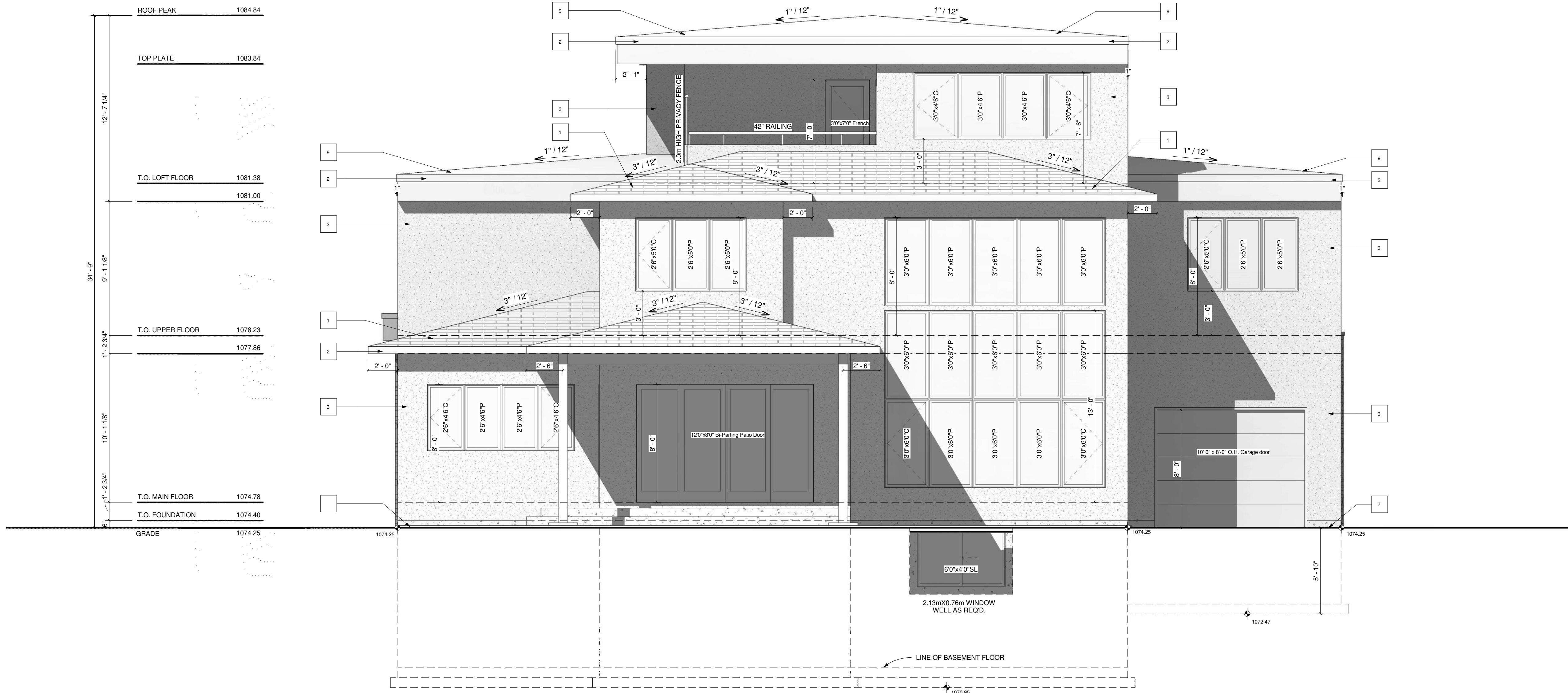
DRAWN BY: JT

LAST REVISION DATE: 2026-06-05 11:21:35 AM

SCALE: 1/4" = 1'-0"

PAGE:

**A-2.1**



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

**EXTERIOR FINISHES:**

REFER TO PLID EXTERIOR SPEC SHEET FOR COLORS

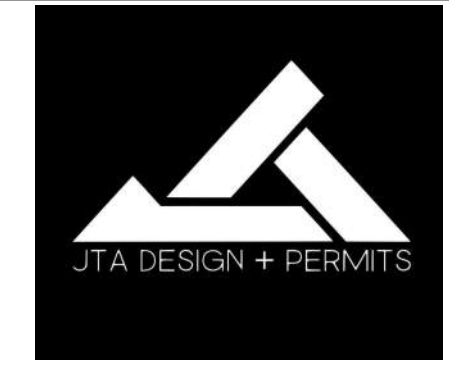
- 1 ASPHALT SHINGLE ROOF
- 2 ALUMINUM FASCIA - SLATE GREY
- 3 ALUMINUM SOFFIT - SLATE GREY
- 4 STUCCO FINISH - BLACK
- 5 STONE CLADDING AS SPEC'D
- 6 SMOOTH STUCCO - BLACK
- 7 CONCRETE PAVING
- 8 CAST-IN-PLACE CONCRETE
- 9 TORCH-ON ROOFING

**VENTED SOFFIT NOTES:**

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

**WINDOW CALCULATION:**

WALL AREA = 1906.73 SQ. FT.  
 WINDOW AREA = 216.44 SQ. FT.  
 TOTAL: 216.44/1906.73 = 11.35%



GENERAL NOTES:

MUNICIPAL ADDRESS:

1016 Bel-Aire Dr SW  
 Calgary, AB  
 PROJECT:  
 NEW HOME

PROJECT NUMBER:  
 217 - 26

STATUS:  
 DP

DO NOT SCALE DRAWINGS.  
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	05/06/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

**COPYRIGHT:**  
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NBC AE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

DRAWING SET:

SHEET NAME:  
 Left Elevation

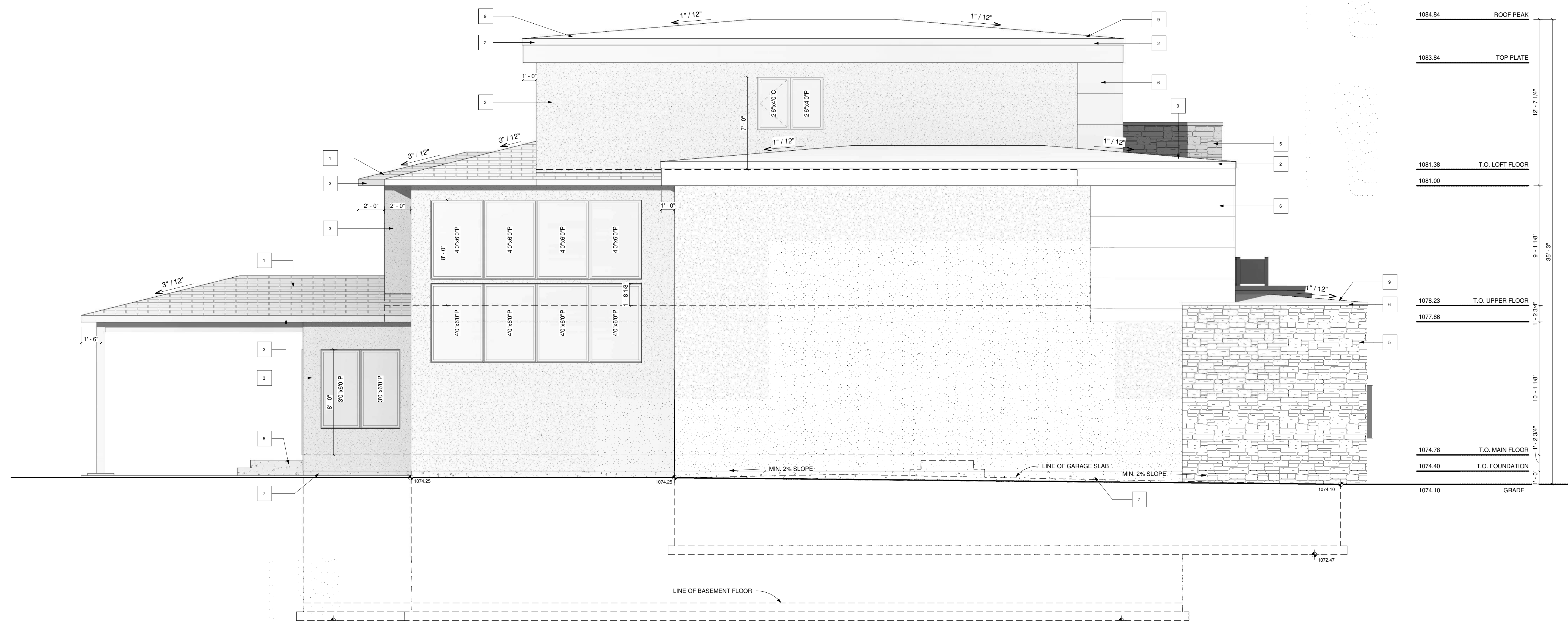
DESIGN BY: JT

DRAWN BY: JT

LAST REVISION DATE: 2026-06-05 11:21:39 AM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.2**



**LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"

**EXTERIOR FINISHES:**

REFER TO PLID EXTERIOR SPEC SHEET FOR COLORS

- 1 ASPHALT SHINGLE ROOF
- 2 ALUMINUM FASCIA - SLATE GREY
- 3 ALUMINUM SOFFIT - SLATE GREY
- 4 STUCCO FINISH - BLACK
- 5 STONE CLADDING AS SPEC'D
- 6 SMOOTH STUCCO - BLACK
- 7 CONCRETE PARGING
- 8 CAST-IN-PLACE CONCRETE
- 9 TORCH-ON ROOFING

**VENTED SOFFIT NOTES:**

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

**WINDOW CALCULATION:**

WALL AREA = 1651.81 SQ. FT.  
 WINDOW AREA = 126.43 SQ. FT.  
 TOTAL: 126.43/1651.81 = 7.65%



GENERAL NOTES:

MUNICIPAL ADDRESS:

**1016 Bel-Aire Dr SW  
 Calgary, AB**  
 PROJECT:  
**NEW HOME**

PROJECT NUMBER:  
**217 - 26**

STATUS:  
**DP**

DO NOT SCALE DRAWINGS.  
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	05/06/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:  
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NBC AE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

DRAWING SET:

SHEET NAME:  
**Right Elevation**

DESIGN BY: JT

DRAWN BY: JT

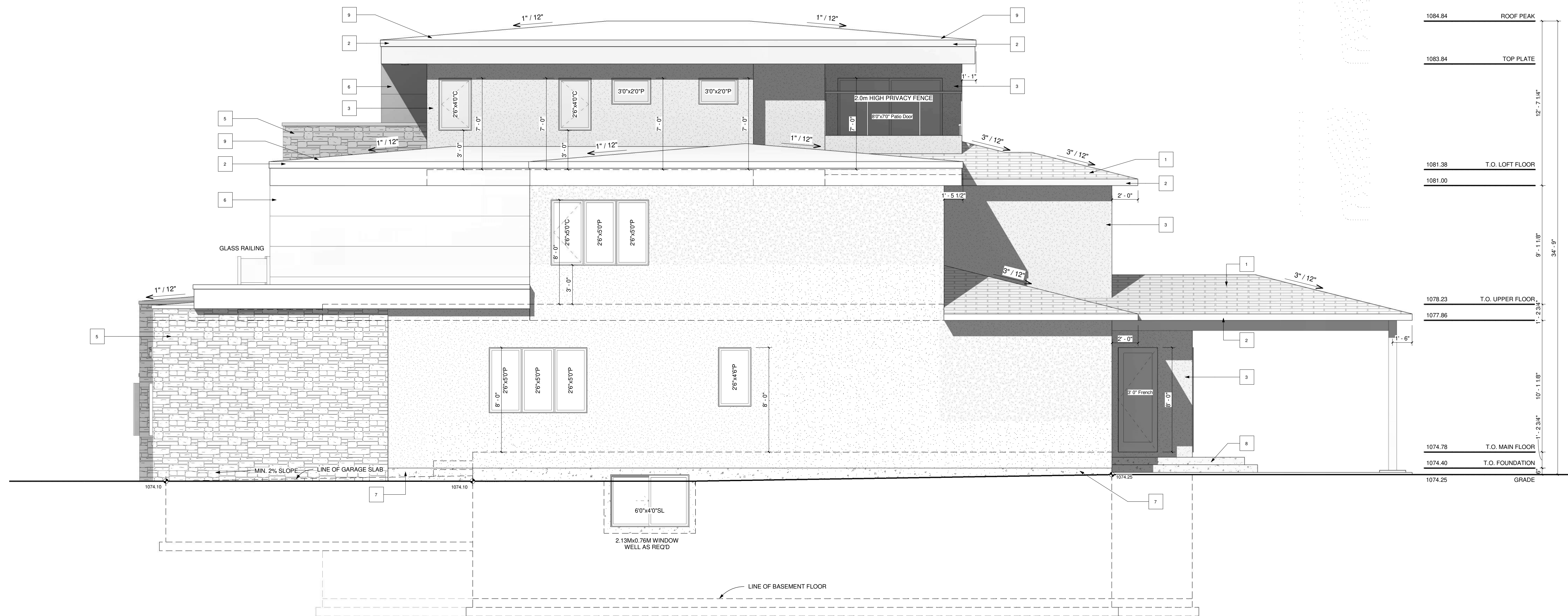
LAST REVISION DATE: 2026-06-05 11:21:43 AM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.3**

**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"



1084.84	ROOF PEAK	12'-7 1/4"
1083.84	TOP PLATE	
1081.38	T.O. LOFT FLOOR	9'-1 1/8"
1081.00	T.O. UPPER FLOOR	
1078.23	T.O. UPPER FLOOR	1'-2 3/4"
1077.86	T.O. UPPER FLOOR	
1074.78	T.O. MAIN FLOOR	10'-1 1/8"
1074.40	T.O. FOUNDATION	
1074.25	GRADE	