



LIST OF DRAWINGS

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PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	21/05/2026	CONCEPT	M.C.
02.	22/05/2026	DP PLANS	M.C.
03.	27/05/2026	REVISION	M.C.
04.	--	--	--
05.	--	--	--



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PROJECT:
NEW HOME

STATUS: **DP**

SIGNATURES:
X _____

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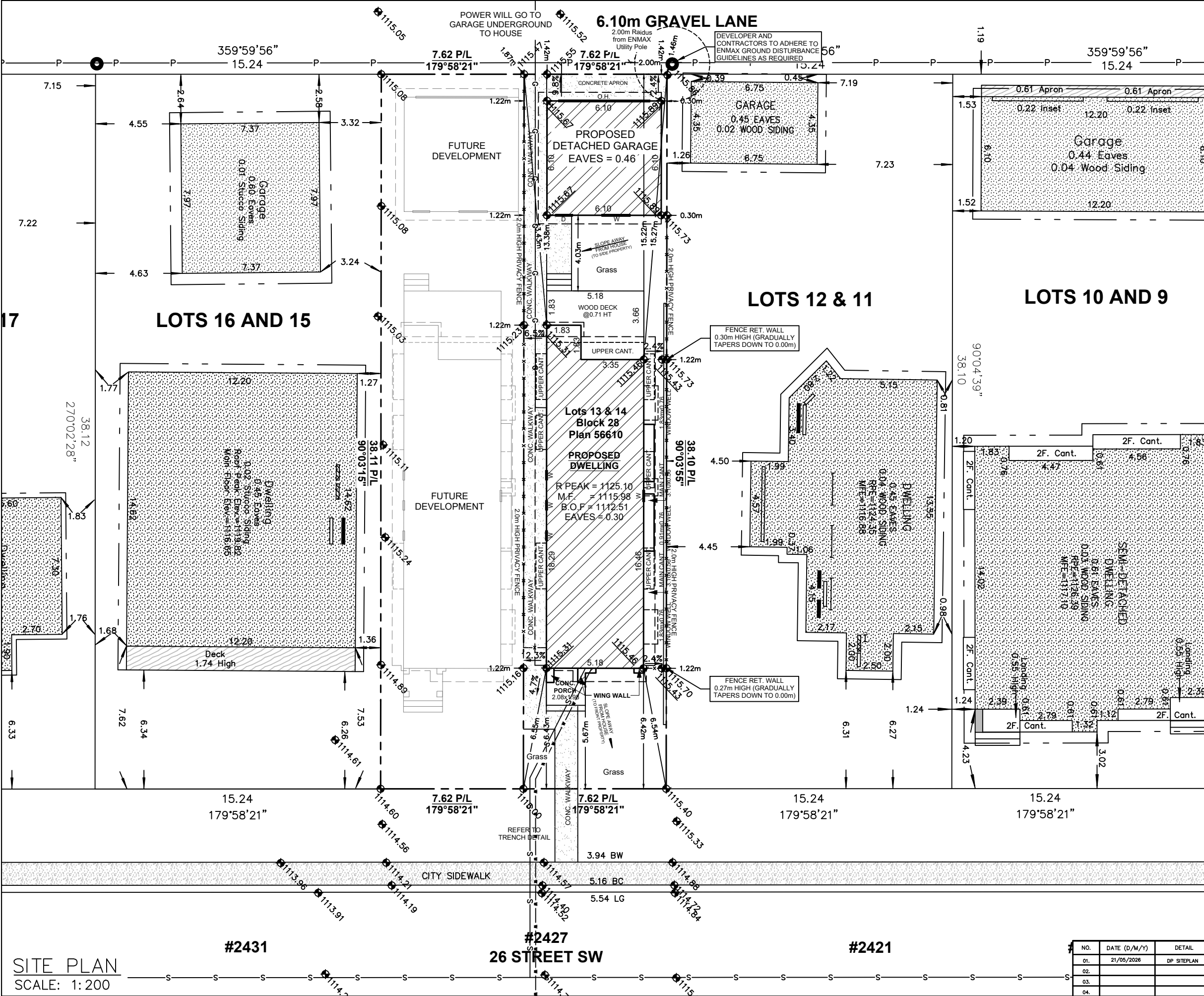
PROJECT NAME:
2427 26 ST SW (East)
CALGARY, ALBERTA

DESIGNER: **JT** JOB #: **276-26**

SCALE: **AS SHOWN** SHEET: **A-0.0**

FLOOR AREA

BASEMENT	= 954.00 SQ. FT.
MAIN	= 991.28 SQ. FT.
UPPER	= 1048.77 SQ. FT.
TOTAL	= 2,040.05 SQ. FT.



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\blacksquare$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- $\blacksquare$ ----- denotes Calculation points
- $\boxtimes$ ----- denotes Water Valve
- $\blacklozenge$ ----- denotes Gas Valve
- $\odot$ ----- denotes Manhole
- $\odot$ ----- denotes Tree
- $\bullet$ ----- denotes Power Pole
- $\triangle$ ----- denotes Sign
- $\odot$ ----- denotes Light Standard
- $-X-X-$ denotes Fence
- $-S-$ denotes Sanitary Line
- $-ST-$ denotes Storm Line
- $-W-$ denotes Water Line
- $-G-$ denotes Gas Line
- $-E-$ denotes Electrical Line
- $-A.G.T-$ denotes A.G.T Line
- $-$ denotes Utility Right of Way Line
- $-$ denotes Property Line
- $-$ denotes Door
- $-$ denotes Main Floor Windows
- $-$ denotes Second Floor Windows
- $-$ denotes Basement Floor Windows

- $\square$ ----- denotes Shed Hatch
- $\square$ ----- denotes Detached Garage Hatch
- $\square$ ----- denotes Main Building Hatch
- $\square$ ----- denotes Concrete and Asphalt Hatch
- $\square$ ----- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall
'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: H-GO Housing - Grade-Oriented

SCALE 1:200

LEGAL DESCRIPTION:

Lots 13 & 14
Block 28
Plan 56610

MUNICIPAL ADDRESS:
2427 26 STREET S.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)

LOT SIZE: 290.196 SQ M
HOUSE SIZE: 88.630 SQ M
COVERED PORCH: 0.000 SQ M
CANT.: 3.463 SQ M
GARAGE: 37.161 SQ M
WING WALL: 0.890 SQ M

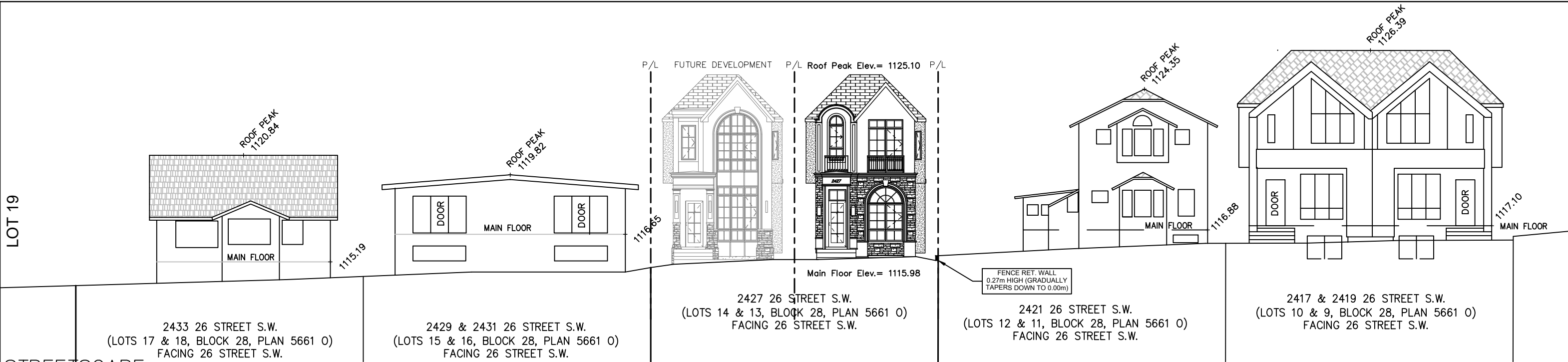
= 130.144/290.196
= 44.85%



SITE PLAN

SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	21/05/2026	DP SITEPLAN	M.C.	2427 26 St SW - West Calgary, Alberta	SINGLE FAMILY	1: 200
02.				Lots 13 & 14 Block 28 Plan 56610	DATE:	DIVISION NUMBER
03.					MAY 21, 2026	S 01
04.						



STREETSCAPE
SCALE: 1:200

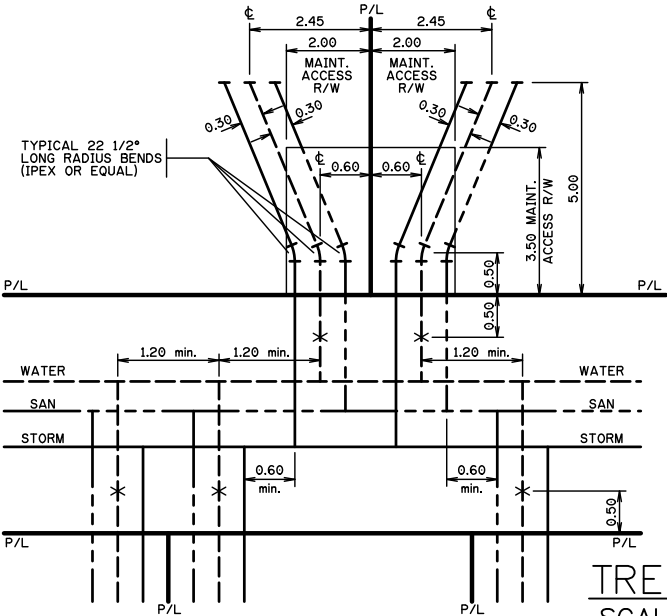
EAST STREETSCAPE

SINGLE FAMILY SQFT.

	NEW HOME
BASEMENT	954.00 SQ FT
MAIN FLOOR	991.28 SQ FT
UPPER FLOOR	1048.77 SQ FT
TOTAL AREA	2040.05 SQ FT

NOTES:

1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
7. THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
8. WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.

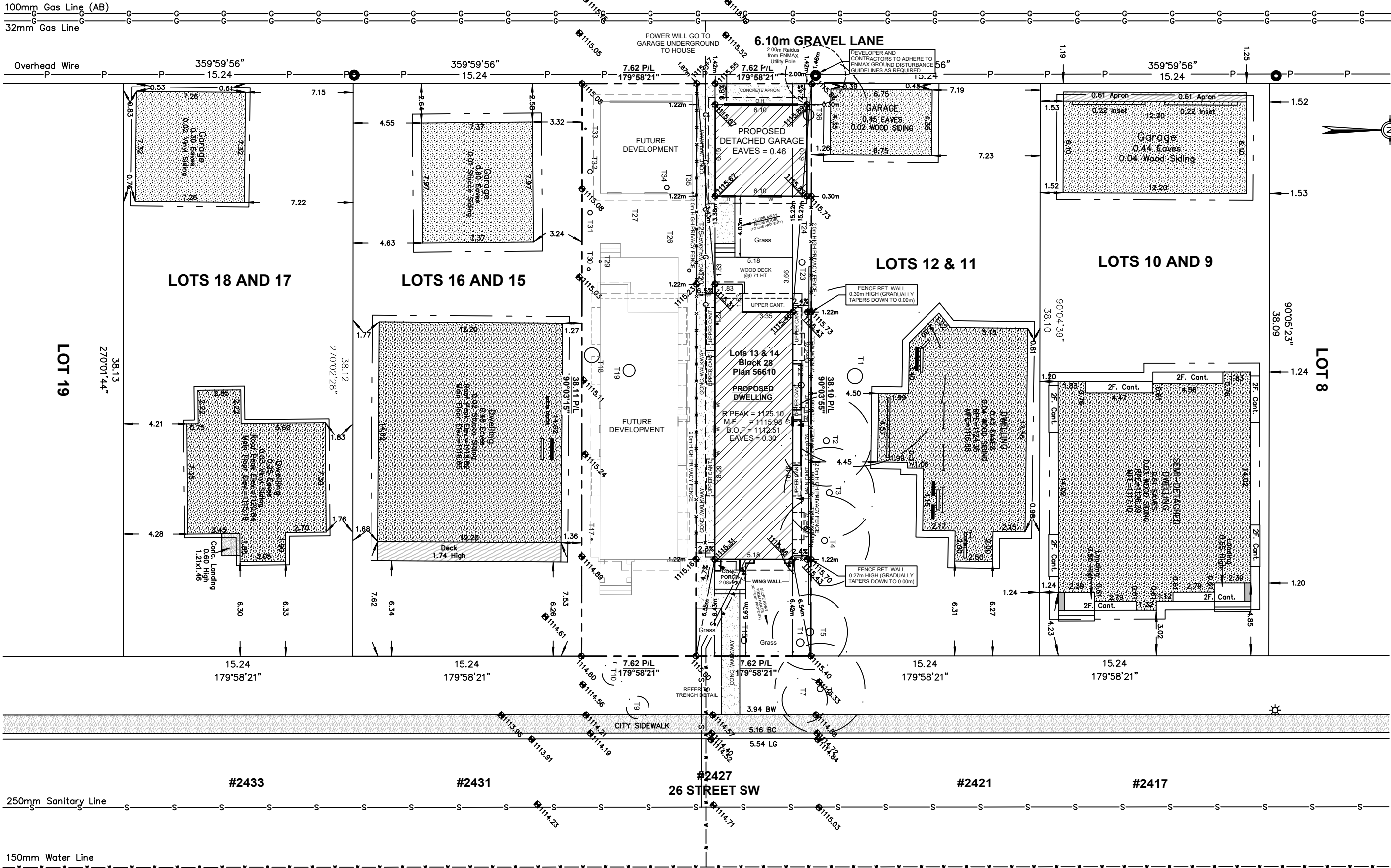


TRENCH DETAIL
SCALE: NTS

TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Deciduous	1.00	12.0	12.0	In Adjacent Property	To Stay
T2–T4	Coniferous	0.40	6.0	12.0	In Adjacent Property	To Stay
T5	Deciduous	0.50	5.0	5.0	On Property Line	To Stay
T6	Coniferous	0.40	6.0	12.0	In City Property	To Stay
T7	Bush	---	3.0	1.5	In City Property	To Stay
T8	Bush	---	6.0	1.5	On Property Line	To Stay
T9	Bush	---	3.0	1.5	In City Property	To Stay
T10	Bush	---	1.5	1.5	In City Property	To Stay
T10	Bush	---	2.0	3.0	In City Property	To Stay
T11	Bush	---	2.0	3.0	In Subject Property	To be Removed
T12	Bush	---	1.0	0.5	In City Property	To Stay
T13	Bush	---	1.0	0.5	In Subject Property	To be Removed
T14	Bush	---	0.0	0.0	In Subject Property	To be Removed
T15	Deciduous	0.20	2.0	12.0	In Subject Property	To be Removed
T16	Deciduous	0.20	2.0	4.0	In Subject Property	To be Removed
T17	Deciduous	0.10	2.0	5.0	In Subject Property	To be Removed
T18	Deciduous	1.00	8.0	6.0	In Subject Property	To be Removed
T19	Deciduous	0.80	8.0	6.0	In Subject Property	To be Removed
T20	Deciduous	0.20	1.0	8.0	In Subject Property	To be Removed
T21	Deciduous	0.10	1.0	5.0	In Subject Property	To be Removed
T22	Coniferous	0.40	6.0	12.0	In Subject Property	To be Removed
T23	Deciduous	0.40	6.0	7.0	In Subject Property	To be Removed
T24	Deciduous	0.30	6.0	7.0	In Subject Property	To be Removed
T25	Bush	---	4.0	3.5	In Subject Property	To be Removed
T26	Bush	---	5.0	4.0	In Subject Property	To be Removed
T27	Bush	---	3.0	3.0	In Subject Property	To be Removed
T28	Bush	---	2.0	2.0	In Subject Property	To be Removed
T29	Coniferous	0.10	3.0	3.0	In Subject Property	To be Removed
T30	Deciduous	0.20	0.4	6.0	In Subject Property	To be Removed
T31	Deciduous	0.30	4.0	7.0	In Subject Property	To be Removed
T32	Deciduous	0.30	5.0	7.0	In Subject Property	To be Removed
T33	Deciduous	0.10	1.5	2.0	In Subject Property	To be Removed
T34	Deciduous	0.30	4.0	7.0	In Subject Property	To be Removed
T35	Deciduous	0.10	2.0	5.0	In Subject Property	To be Removed
T36	Deciduous	0.70	8.0	7.0	On Property Line	To Stay

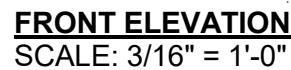
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01.	21/05/2026	DP SITEPLAN	M.C.	2427 26 St SW – West Calgary, Alberta	SINGLE FAMILY	AS SHOWN
02.				Lots 13 & 14 Block 28 Plan 56610	DATE: MAY 21, 2026	DIVISION S
03.						NUMBER 02
04.						



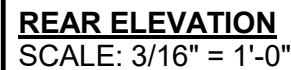
BLOCK PLAN
SCALE: 1:250

NO.				PROJECT NAME AND ADDRESS:		PROJECT:		SCALE:	
01.	04.05.26	DP SITEPLAN	S.W.	2024 36 ST SW – South		SINGLE FAMILY		1: 200	
02.				Calgary, Alberta					
03.				Lots 32		DATE:		DIVISION	
04.				Block 6F				NUMBER	
				Plan 6000AG				S 01	

1	ASPHALT SHINGLE	5	STONE FINISH - WHITE
2	8" ALUMNIMUM FASCIA	6	CONCRETE PARGING
3	STUCCO FINISH - WHITE	7	CAST-IN-PLACE CONCRETE
4	SMART BOARD & BATTEN - BLACK	8	SMOOTH STUCCO - WHITE



VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK).
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



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04.	--	--	--
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SIGNATURES:
X _____
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DESIGNER: JT	JOB #: 276-26
SCALE: AS SHOWN	SHEET: A-2.0

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLE
- 2

8" ALUMNIMUM FASCIA
- 3

STUCCO FINISH - WHITE
- 4

SMART BOARD & BATTEN - BLACK
- 5

STONE FINISH - WHITE
- 6

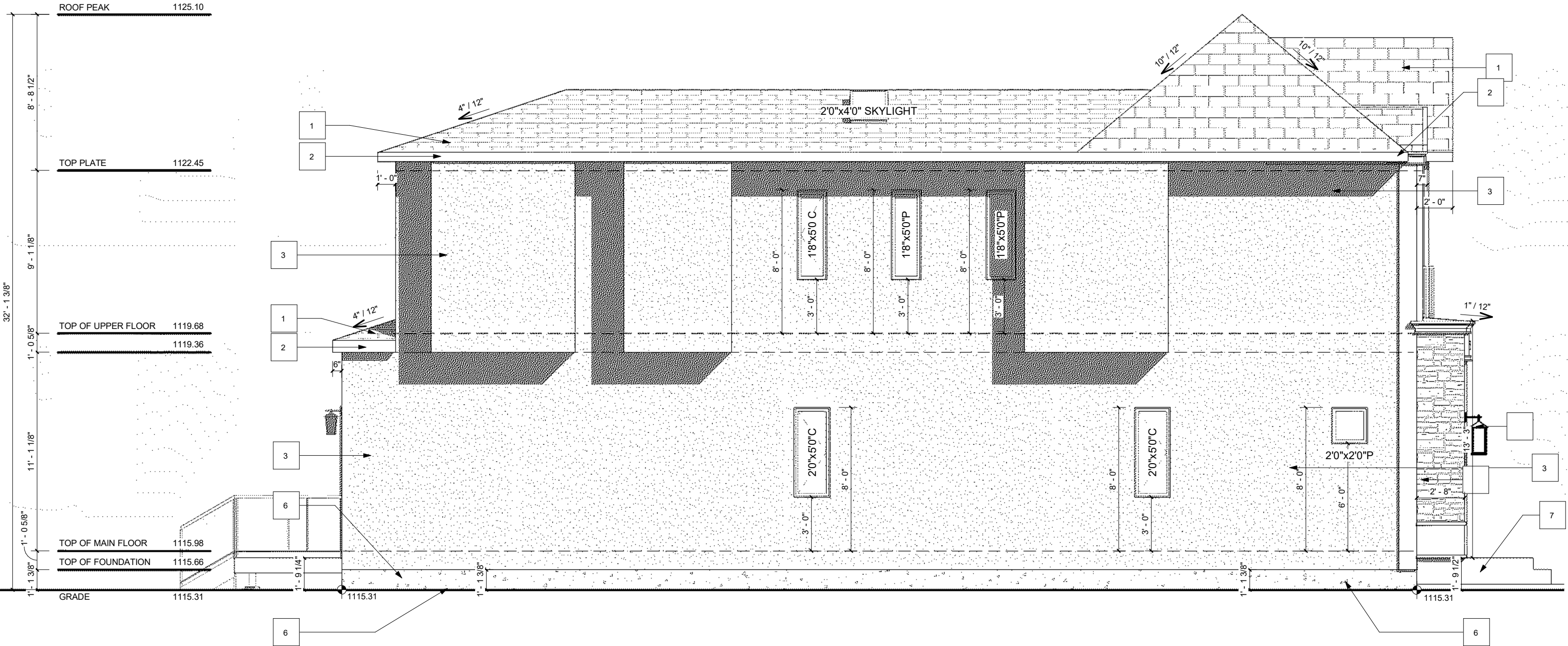
CONCRETE PARGING
- 7

CAST-IN-PLACE CONCRETE
- 8

SMOOTH STUCCO - WHITE

WINDOW CALCULATION
WALL AREA = 1407.56 SQ. FT.
WINDOW AREA = 52.21 SQ. FT.
TOTAL: 52.21/1407.56 = 3.71%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
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LEFT ELEVATION
SCALE: 3/16" = 1'-0"

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PROJECT:

NEW HOME

STATUS:

DP

SIGNATURES:

X

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PROJECT NAME:

2427 26 ST SW (East)
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

276-26

SCALE:

AS SHOWN

SHEET:

A-2.1

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLE
- 2

8" ALUMNIMUM FASCIA
- 3

STUCCO FINISH - WHITE
- 4

SMART BOARD & BATTEN - BLACK
- 5

STONE FINISH - WHITE
- 6

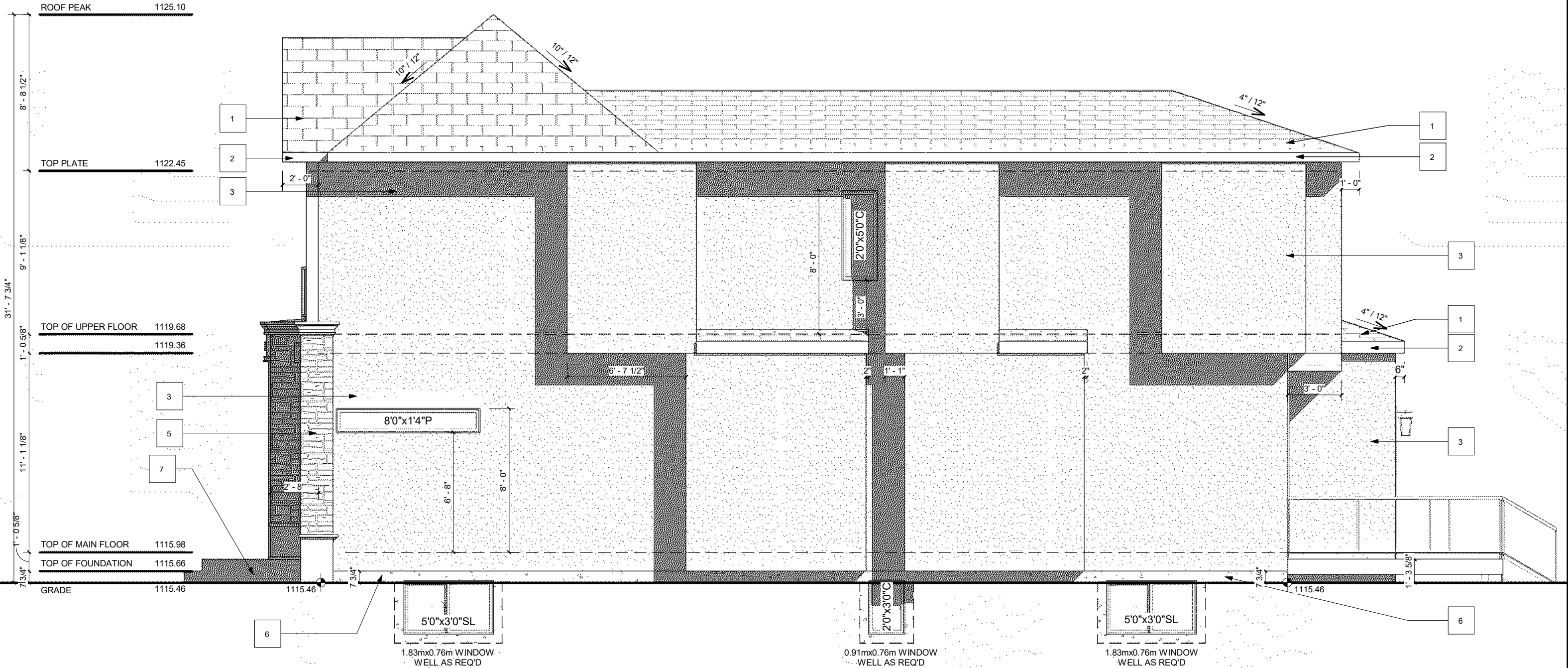
CONCRETE PARGING
- 7

CAST-IN-PLACE CONCRETE
- 8

SMOOTH STUCCO - WHITE

WINDOW CALCULATION
WALL AREA = 1330.38 SQ. FT.
WINDOW AREA = 30.69 SQ. FT.
TOTAL: 30.69/1330.38 = 2.31%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

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PROJECT:

NEW HOME

STATUS:

DP

SIGNATURES:

X

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PROJECT NAME:

2427 26 ST SW (East)
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

276-26

SCALE:

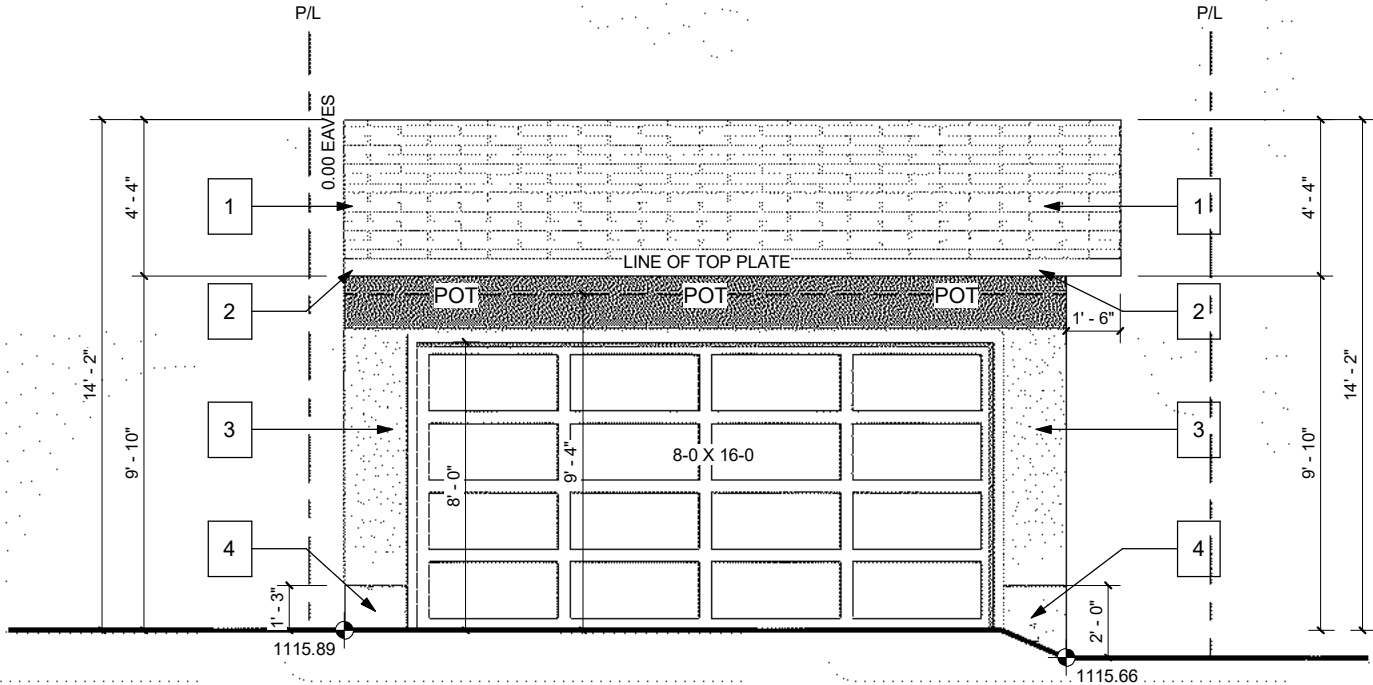
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SHEET:

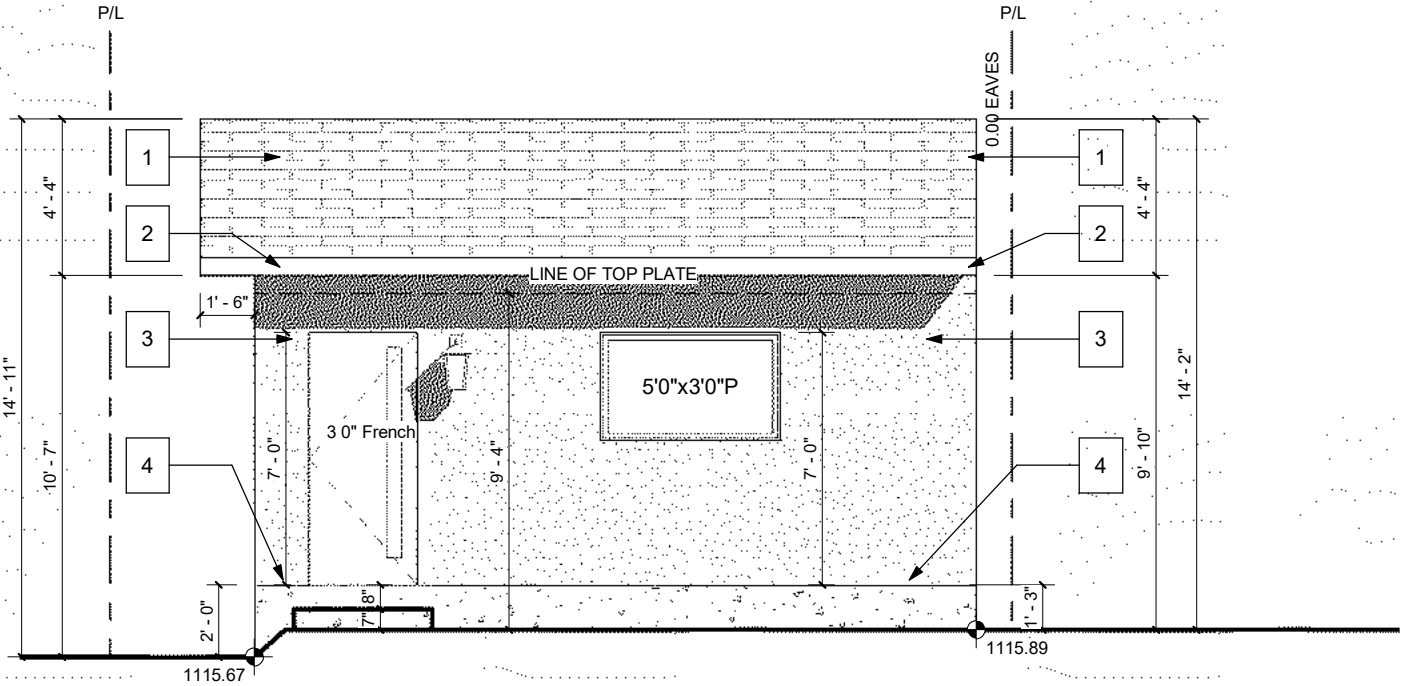
A-2.2

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 6 3/8" ALUMNIMUM FASCIA
- 3 STUCCO FINISH
- 4 CONC. PARGING



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

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DESIGNER: JT
JOB #: 276-26

SCALE: AS SHOWN
SHEET: A-4.1

EXTERIOR FINISHES:

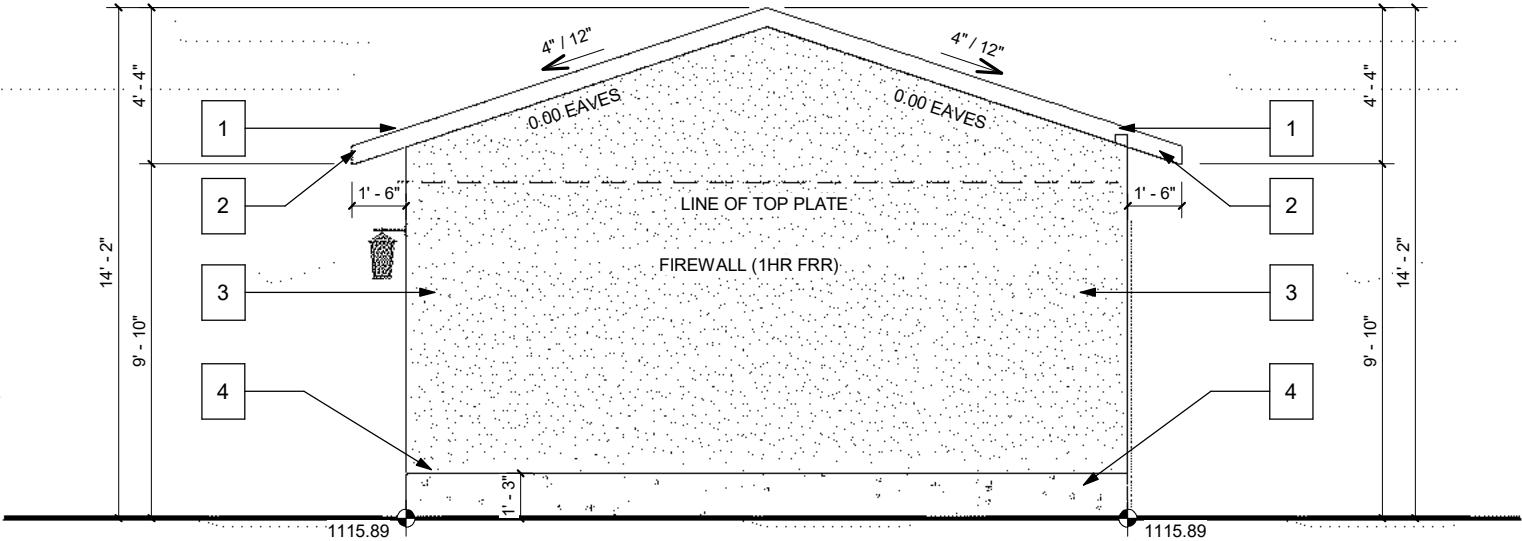
- 1

ASPHALT SHINGLES
- 2

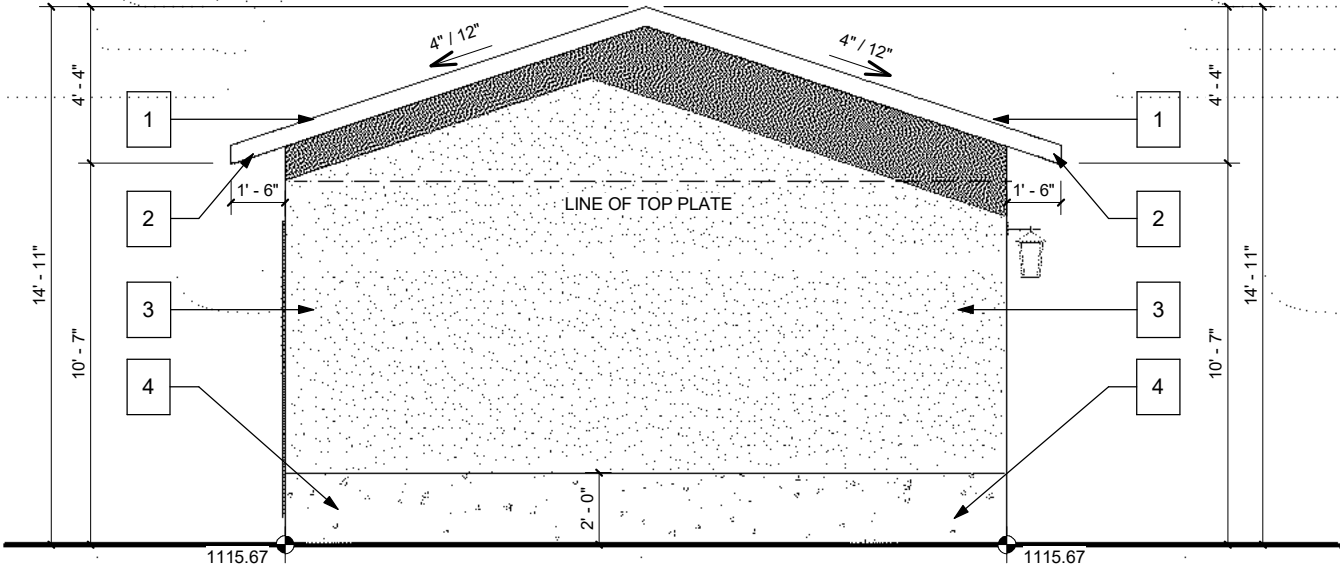
6 3/8" ALUMNIMUM FASCIA
- 3

STUCCO FINISH
- 4

CONC. PARGING



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

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RECENT EDITION OF THE ALBERTA
BUILDING CODE AND ANY OTHER
GOVERNING AUTHORITIES.

PROJECT: NEW HOME	
STATUS: DP	
SIGNATURES: X _____	
PRINTED: 2026-07-24 1:31:27 PM	
PROJECT NAME: 2427 26 ST SW (East) CALGARY, ALBERTA	
DESIGNER: JT	JOB #: 276-26
SCALE: AS SHOWN	SHEET: A-4.2