

# ISSUED FOR REVISED DEVELOPMENT PERMIT

## POINT TROTTER 14-16

10728, 74 Street SE  
CALGARY, ALBERTA



Zeidler Architecture

300, 640 – 8 Avenue SW  
Calgary, Alberta T2P 1G7  
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ARCHITECTURAL



ZEIDLER ARCHITECTURE  
300, 640 – 8 Avenue SW  
Calgary, Alberta T2P 1G7



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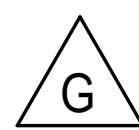
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| G | ISSUED FOR REVISED DEVELOPMENT PERMIT | 2026-05-22 |
| F | ISSUED FOR REVISED DEVELOPMENT PERMIT | 2025-06-09 |
| E | ISSUED FOR REVISED DEVELOPMENT PERMIT | 2025-01-31 |
| D | PTR1 COMMENTS RESPONSE                | 2024-02-08 |
| C | ISSUED FOR DEVELOPMENT PERMIT         | 2023-06-29 |
| B | ISSUED FOR REDS COMMENTS RESPONSE     | 2023-03-31 |
| A | ISSUED FOR REDS REVIEW                | 2023-02-03 |

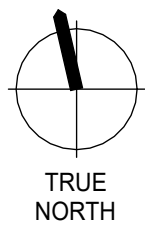
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| 222-183     | JL    | JLG     |

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DP0.00





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KEY PLAN



A.-SOUTHEAST VIEW



B.-SOUTHWEST VIEW



C.-NORTHWEST VIEW



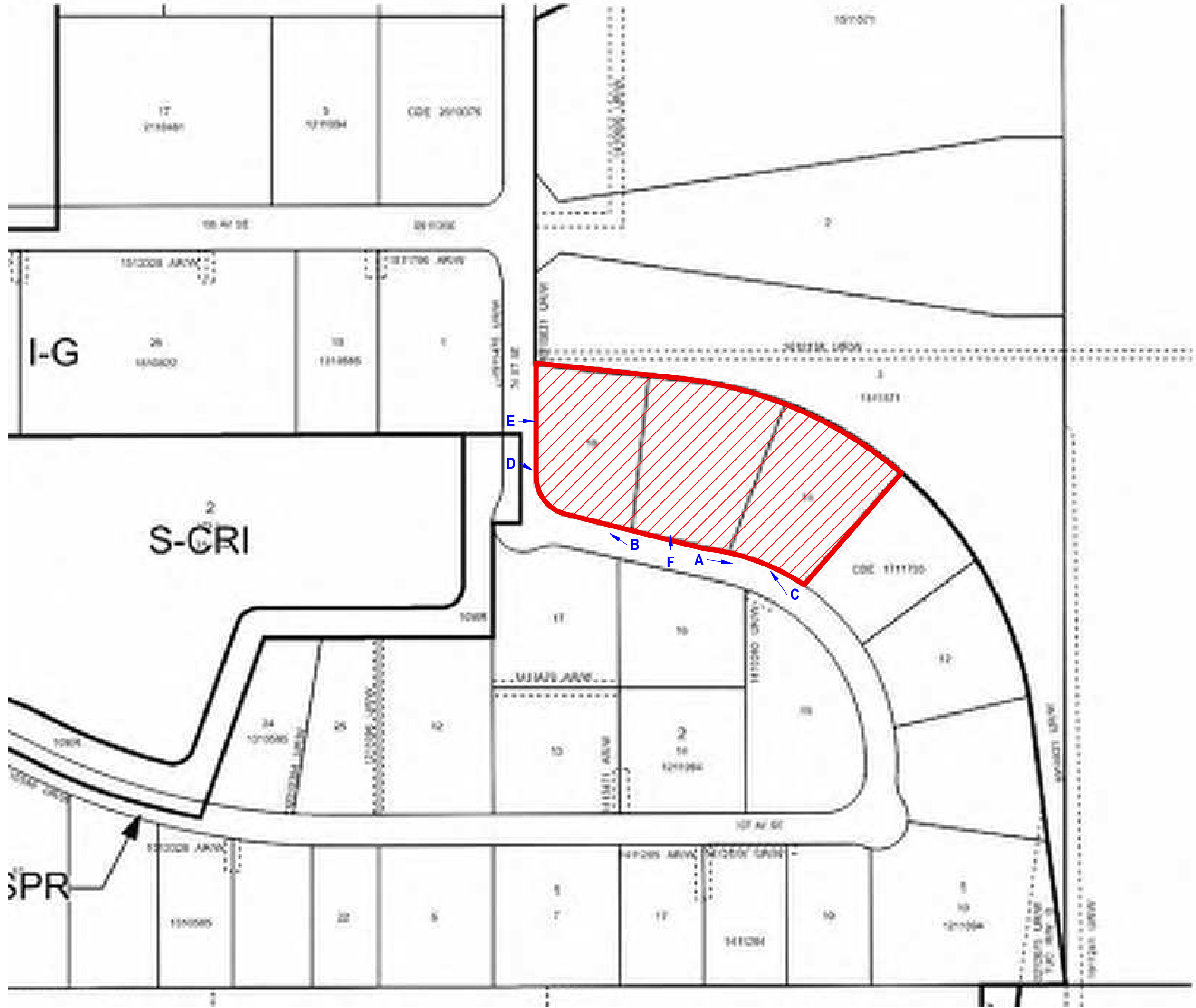
D.-NORTHEAST VIEW



E.-NORTHEAST VIEW



F.-NORTH VIEW



LAND USE MAP & SITE PHOTOS INDEX

|   |                                       |            |
|---|---------------------------------------|------------|
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NOT FOR CONSTRUCTION

PROJECT  
**POINT TROTTER 14-16**

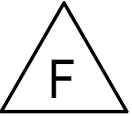
PROJECT ADDRESS  
10728, 74 Street SE  
CALGARY, ALBERTA

TITLE  
**SITE LOCATION PLAN  
AND SITE PHOTOS**

|             |       |         |
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|             |              |
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**DP0.01**



SITE LOCATION - VICINITY PLAN

DP - SITE PLAN LEGEND

PROPOSED NEW BUILDINGS

PROPOSED HEAVY DUTY 2 ASPHALT FOR FIRE-TRUCK & SEMI-TRUCK VEHICLES TO BE DESIGNED TO SUPPORT A 38,556kg/85,000lbs LOAD. IN ADDITION TO THIS NOTED LOAD, IT IS CAPABLE OF SUPPORTING THE NFPA 1901 POINT LOAD OF 517 KPA (75 PSI) OVER A 24' X 24' AREA.

PROPOSED HEAVY DUTY 1 ASPHALT DESIGNED FOR THE GRADE DOOR RAMP

PROPOSED LIGHT DUTY ASPHALT DESIGNED FOR PARKING STALLS

EXISTING OR PROPOSED TURF/GRASS/SOD(REFER TO LANDSCAPE DRAWINGS)

EXISTING OR PROPOSED CONCRETE SIDEWALK, DRIVE APRON, PATHWAY (BROOM FINISH)

PROPOSED DESIGNATED PEDESTRIAN CROSSWALK PAINTED "CAUTION YELLOW" TYPICAL

EXISTING LIGHT STANDARD POLE LOCATIONS (REFER TO ELECTRICAL FOR SCHEDULES)

EXISTING STANDARD POWER POLE LOCATIONS (REFER TO ELECTRICAL)

EXISTING FIRE HYDRANT LOCATIONS

PROPOSED FIRE HYDRANT LOCATIONS

PROPOSED WATER METER CONNECTIONS

PROPOSED GAS METER CONNECTIONS

PROPOSED FIRE DEPARTMENT CONNECTION

PROPOSED BOLLARD LOCATIONS

PROPOSED SIGN "NO PARKING"

DP - ZONING SUMMARY

LOT 14: 10738 74 ST SE, CALGARY AB  
LOT 15: 10728 74 ST SE, CALGARY AB  
LOT 16: 10718 74 ST SE, CALGARY AB

**LEGAL DESCRIPTION:**  
LOT 23, BLOCK 1, PLAN 231 0362

**SETBACKS:**  
FRONT YARD SETBACK: REQUIRED: 4.0m  
PROVIDED: 15.2m  
SIDE YARD SETBACK: (STREET ADJACENT) REQUIRED: 4.0m  
PROVIDED: 4.0m  
SIDE YARD SETBACK: (INDUSTRIAL ADJACENT) REQUIRED: 1.2m  
PROVIDED: 10.2m  
REAR YARD SETBACK: REQUIRED: 1.2m  
PROVIDED: 28.4m

**AUTHORITY:** CITY OF CALGARY  
**ZONE:** I-G  
**USES:** INDUSTRIAL GENERAL ZONE

**PROPERTY AREA SCHEDULE:**  
GROSS SITE: 23,188.48m<sup>2</sup> 5.73 Acres  
SITE COVERAGE: PROPOSED: 45.8 %  
ALLOWED: N/A  
F.A.R. PROPOSED: 0.54  
ALLOWED: 1.0

**BUILDING STATISTICS:**  
FOOTPRINT: AREA (SF) AREA (m<sup>2</sup>)  
BUILDING: 114,454 R<sup>2</sup> 10,633.2m<sup>2</sup>

**AREA SUMMARY - BY LEVEL**  
BUILDING: AREA (SF) AREA (m<sup>2</sup>)  
LEVEL 1: 113,998 R<sup>2</sup> 10,591.0m<sup>2</sup>  
LEVEL 2: 20,715 R<sup>2</sup> 1,924.4m<sup>2</sup>  
TOTAL: 134,713 R<sup>2</sup> 12,515.4m<sup>2</sup>

**AREA SUMMARY - BY OCCUPANCY**  
BUILDING: AREA (SF) AREA (m<sup>2</sup>)  
INDUSTRIAL: 93,733 R<sup>2</sup> 8,708.4m<sup>2</sup>  
OFFICE: 19,640 R<sup>2</sup> 1,824.2m<sup>2</sup>  
STORAGE MEZZANINE: 20,094 R<sup>2</sup> 1,866.4m<sup>2</sup>  
SERVICE: 1,246 R<sup>2</sup> 115.8m<sup>2</sup>  
TOTAL: 134,713 R<sup>2</sup> 12,515.4m<sup>2</sup>

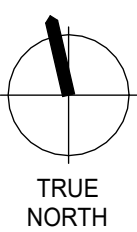
**PARKING REQUIREMENTS**  

| BUILDING               | AREA (SF)             | AREA (SM)                  | FACTOR              | SPACES              |
|------------------------|-----------------------|----------------------------|---------------------|---------------------|
| OFFICE                 | 19,640 R <sup>2</sup> | 1,824.2 m <sup>2</sup>     | 2/100m <sup>2</sup> | 38                  |
| STORAGE                | 20,094 R <sup>2</sup> | 1,824.2 m <sup>2</sup>     | 1/100m <sup>2</sup> | 20                  |
| INDUSTRIAL TO 2000     | 21,538 R <sup>2</sup> | 2,000.0 m <sup>2</sup>     | 1/100m <sup>2</sup> | 20                  |
| INDUSTRIAL ABOVE 2000  | 72,205 R <sup>2</sup> | 6,708.4 m <sup>2</sup>     | 1/500m <sup>2</sup> | 14                  |
| TOTAL STANDARD STALLS: |                       | STALLS PROVIDED: 83 + 4 HC |                     | STALLS REQUIRED: 92 |

**PARKING STALL PROPOSED:**  
BARRIER FREE STALLS: 4  
STANDARD STALLS: 83  
TOTAL: 87

**TYP. LOADING PROPOSED**  
1 GRADE DOOR / UNIT  
2 DOCK DOORS / UNIT

**CLASS 2 BICYCLE RACKS**  
6 BIKE RACKS (12 STALLS) PROVIDED



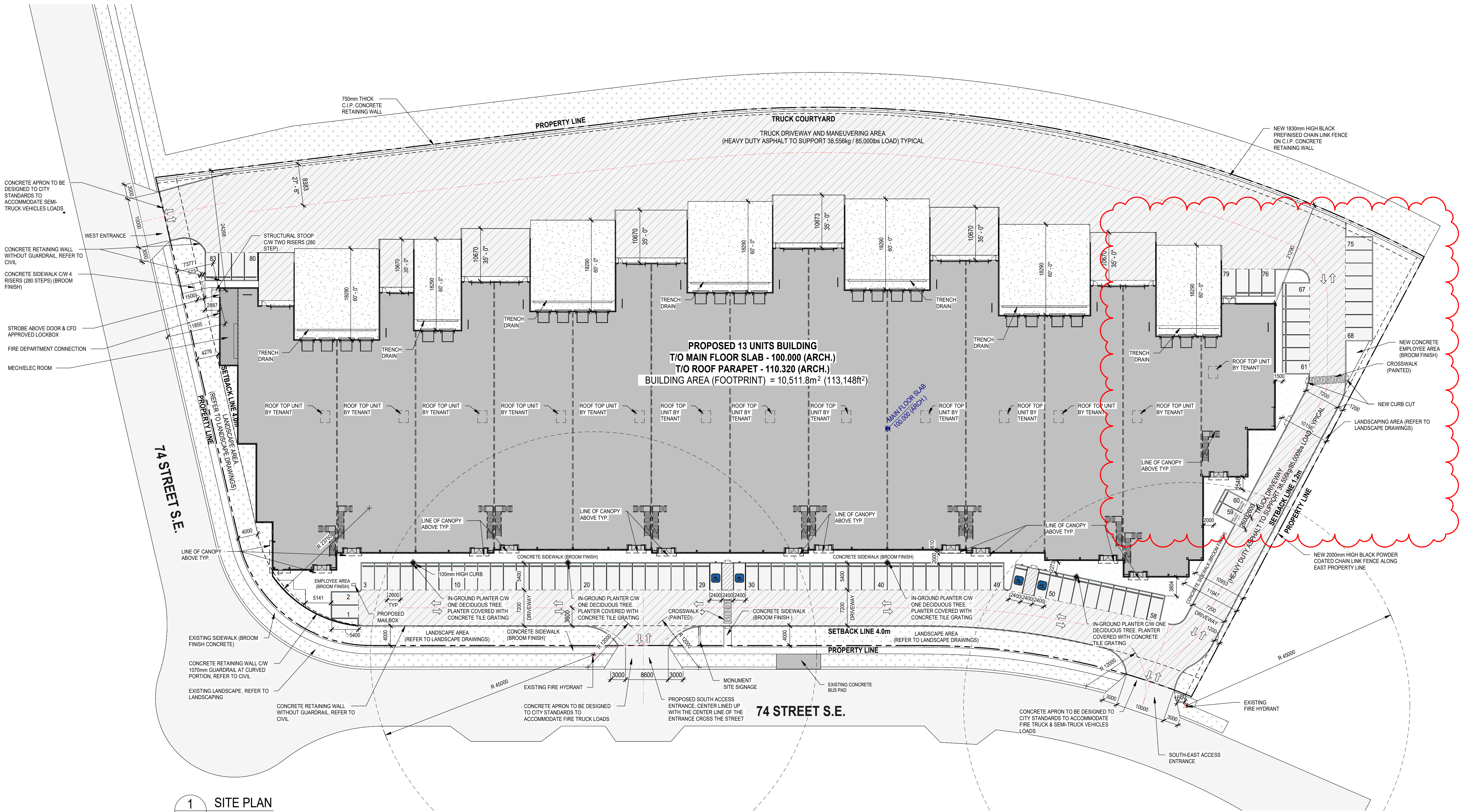
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KEY PLAN



|   |                                       |            |
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| I | ISSUED FOR REVISED DEVELOPMENT PERMIT | 2026-05-22 |
| H | ISSUED FOR REVISED DEVELOPMENT PERMIT | 2025-06-09 |
| G | ISSUED FOR REVISED DEVELOPMENT PERMIT | 2025-01-31 |
| F | ISSUED FOR TENDER                     | 2024-07-19 |
| E | PTF1 COMMENTS RESPONSE                | 2024-02-08 |
| D | DTR 1 COMMENTS RESPONSE               | 2023-08-13 |
| C | ISSUED FOR DEVELOPMENT PERMIT         | 2023-06-29 |
| B | ISSUED FOR REDS COMMENTS RESPONSE     | 2023-03-31 |
| A | ISSUED FOR REDS REVIEW                | 2023-02-03 |

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PROJECT

POINT TROTTER 14-16

PROJECT ADDRESS  
10728, 74 Street SE  
CALGARY, ALBERTA

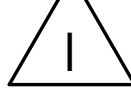
TITLE

SITE PLAN

|             |       |         |
|-------------|-------|---------|
| PROJECT NO. | DRAWN | CHECKED |
| 222-183     | JL    | JLG     |

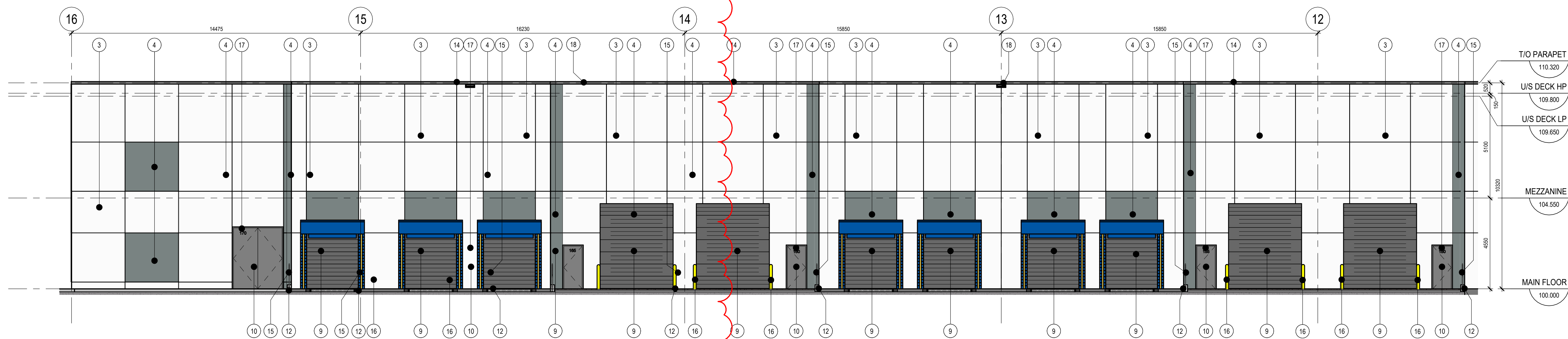
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DP1.01

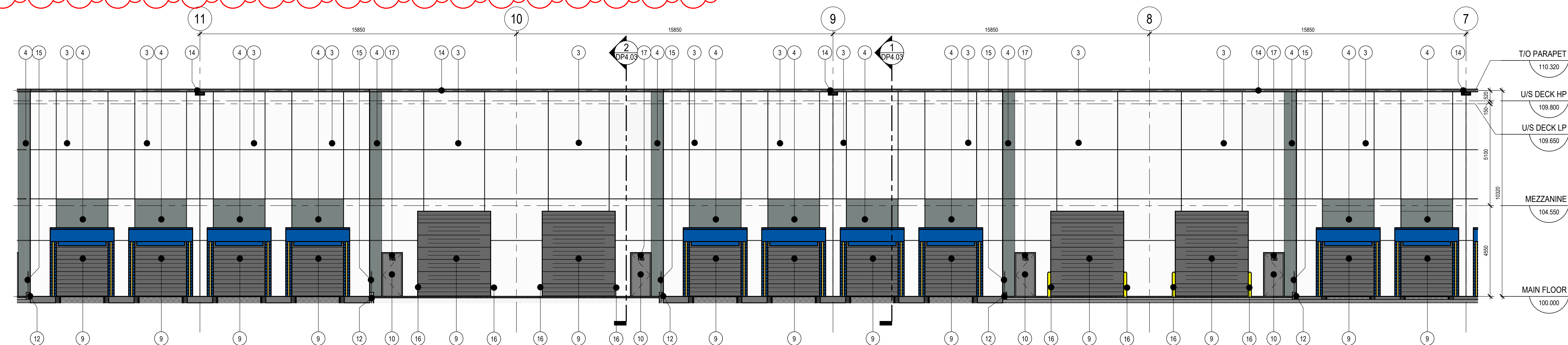


- 1 PREFINISHED METAL BELLARD WALL, GRAY GRAIN TEXTURE FINISH COLOUR: BASED ON "NATURAL, CLOUDING" BY VICONET
- 2 PREFINISHED ALUMINIUM COMPOSITE PANEL, LBM LIMESTONE BLUE COLOUR: ALPOIC SLX BLUE AM
- 3 PRE-CAST CONCRETE INSULATED PANEL (SANDWICH PANEL) PAINT COLOUR: BENJAMIN MOORE CHANTRELLE LACE OC-65
- 4 PRE-CAST CONCRETE INSULATED PANEL (SANDWICH PANEL) PAINT COLOUR: BENJAMIN MOORE HC-145 VAN COURTLAND BLUE
- 5 PRE-CAST CONCRETE INSULATED PANEL (SANDWICH PANEL) PAINT COLOUR: BENJAMIN MOORE KENDALL CHARCOAL HC-166
- 6 DOUBLE GLAZED SEALD UNITS IN CLEAR ANODIZED ALUMINIUM FRAME CURTAIN WALL SYSTEM
- 7 PRE-CAST CONCRETE FORMLINER, US FORMLINER 206 AMAZONAS
- 8 DOUBLE TEMPERED GLAZED SEALD UNITS IN CLEAR ANODIZED ALUMINIUM DOOR FRAME
- 9 INSULATED PREFINISHED SECTIONAL STEEL OVERHEAD DOOR
- 10 INSULATED EXTERIOR METAL DOOR IN INSULATED PRESSED STEEL DOOR FRAME, PAINTED TO MATCH ADJACENT FINISH
- 11 FUTURE BUILDING SIGNAGE BY TENANTS - N.I.C.
- 12 CONCRETE RETAINING WALL C/W 6" (1 1/2") CURB
- 13 EXTERIOR WALL MOUNTED LIGHT FIXTURES/ LED STRIP LIGHTING AROUND PERIMETER OF THE ENTRANCE BUILDINGS, REFER TO ELECTRICAL
- 14 PRE-FINISHED METAL PARAPET CAP FLASHING, PAINTED COLOUR: VICONET 56072 CHARCOAL
- 15 STEEL GUARDRAIL, PAINTED BLACK
- 16 6" Ø STEEL BOLLARD FILLED WITH CONCRETE, PAINTED "SAFETY YELLOW"
- 17 UNIT NUMBER IN A SEPARATE PERMIT: WHITE STENCIL, PAINTED, 6" HIGH, CENTRED ON TRANSOM 5' FROM BOTTOM OF DOOR
- 18 PREFINISHED METAL EMERGENCY OVERFLOW SCUPPER, COLOUR TO MATCH PARAPET CAP FLASHING
- 19 EXPOSED CONCRETE FOUNDATION WALL
- 20 DOOR SEAL REFER TO SPECIFICATION, COLOUR TO BE CONFIRMED
- 21 FIRE ALARM STROBE (REFER TO ELECTRICAL) & FD LOCKBOX
- 22 FIRE DEPARTMENT CONNECTION, REFER TO ELECTRICAL
- 23 WEATHERPROOF EXTERIOR ANNUNCIATOR PANEL, REFER TO ELECTRICAL
- 24 GLAZED ALUMINIUM OVERHEAD DOOR

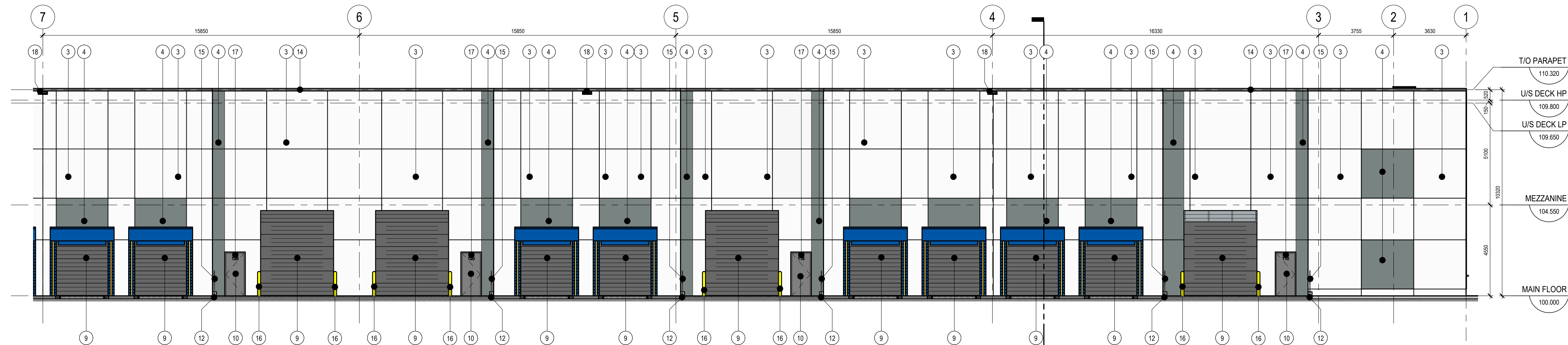




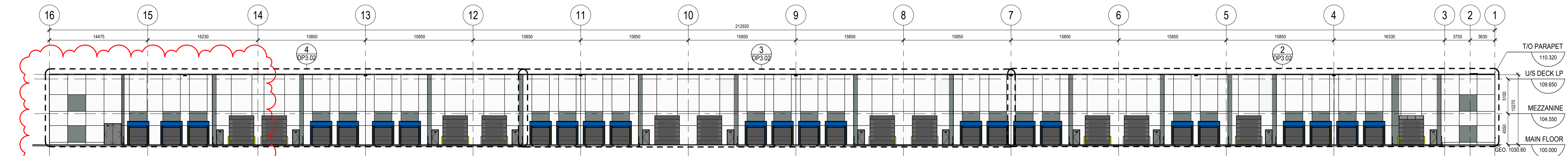
4 NORTH ELEVATION - PARTIAL EAST  
DP3.02 SCALE: 1:100



3 NORTH ELEVATION - PARTIAL MIDDLE  
DP3.02 SCALE: 1:100



2 NORTH ELEVATION - PARTIAL WEST  
DP3.02 SCALE: 1 : 100



1 NORTH ELEVATION - OVERALL  
DP3.02 SCALE: 1:250

- ## **MATERIAL LEGEND**
- |    |                                                                                                                             |
|----|-----------------------------------------------------------------------------------------------------------------------------|
| 1  | PREFINISHED METAL CLADDING, WOOD GRAIN TEXTURE FINISH COLOUR: BASED ON "TATURAL BELLARA" BY VICTORY                         |
| 2  | PREFINISHED ALUMINUM COMPOSITE PANEL 1.6M LIMESTONE BLUE COLOUR: ALOPUC SL3 BLUE AC                                         |
| 3  | PRE-CAST CONCRETE INSULATED PANEL (SANDWICH PANEL) PAINT COLOUR: BENJAMIN MOORE CHANTILLY LCE OC-65                         |
| 4  | PRE-CAST CONCRETE INSULATED PANEL (SANDWICH PANEL) PAINT COLOUR: BENJAMIN MOORE HC-145 VAN COURT/LAND BLUE                  |
| 5  | PRE-CAST CONCRETE INSULATED PANEL (SANDWICH PANEL) PAINT COLOUR: BENJAMIN MOORE KENDALL CHARCOAL, HC-166                    |
| 6  | DOUBLE GLAZED SEALED UNITS IN CLEAR ANODIZED ALUMINUM FRAME CURTAIN WALL SYSTEM                                             |
| 7  | PRE-CAST CONCRETE FORMLINER, US FORMLINER 295 AMAZONAS                                                                      |
| 8  | DOUBLE TEMPERED GLAZED SEALED UNITS IN CLEAR ANODIZED ALUMINUM DOOR FRAME                                                   |
| 9  | INSULATED PREFINISHED SECTIONAL STEEL OVERHEAD DOOR                                                                         |
| 10 | INSULATED EXTERIOR METAL DOOR IN INSULATED PRESSED STEEL DOOR FRAME, PAINTED TO MATCH ADJACENT FINISH                       |
| 11 | FUTURE BUILDING SIGNAGE BY TENANTS - N.I.C.                                                                                 |
| 12 | CONCRETE RETAINING WALL CW 6" (H) CURB                                                                                      |
| 13 | EXTERIOR WALL MOUNTED LIGHT FIXTURES/ LED STRIP LIGHTING AROUND PERIMETER OF THE ENTRANCE BUILDINGS, PAINTED TO ELECTRICAL. |
| 14 | PREFINISHED METAL PARAPET CAP FLASHING, PAINTED COLOUR: VIOWSEFT CHARCOAL                                                   |
| 15 | STEEL GUARDRAIL, PAINTED BLACK                                                                                              |
| 16 | Ø 6" STEEL BOLLARD FILLED WITH CONCRETE, PAINTED "SAFETY YELLOW"                                                            |
| 17 | UNIT NUMBER IN A SEPARATE PRINT, WHITE STENCIL PAINTED, 8" HIGH, CEILING TO BOTTOM 8" FROM BOTTOM OF DOOR                   |
| 18 | PREFINISHED METAL EMERGENCY OVERFLOW SUMP COVER, COLOUR TO MATCH PARAPET CAP FLASHING                                       |
| 19 | EXPOSED CONCRETE FOUNDATION WALL                                                                                            |
| 20 | DOOR SEAL, REFER TO SPECIFICATION. COLOUR TO BE CONFIRMED                                                                   |
| 21 | FIRE ALARM STROBE (REFER TO ELECTRICAL) & FD LOCKBOX                                                                        |
| 22 | FIRE DEPARTMENT CONNECTION. REFER TO ELECTRICAL                                                                             |
| 23 | WEATHERPROOF EXTERIOR ANNUNCIATOR PANEL. REFER TO ELECTRICAL                                                                |
| 24 | GLAZED ALUMINUM OVERHEAD DOOR                                                                                               |

|   |                                       |            |
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| E | ISSUED FOR REVISED DEVELOPMENT PERMIT | 2025-01-31 |
| D | PT1 COMMENTS RESPONSE                 | 2024-02-08 |
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PROJECT

## POINT TROTTER 14-16

PROJECT ADDRESS  
10728, 74 Street SE  
CALGARY, ALBERTA

# TITLE

## BUILDING ELEVATIONS

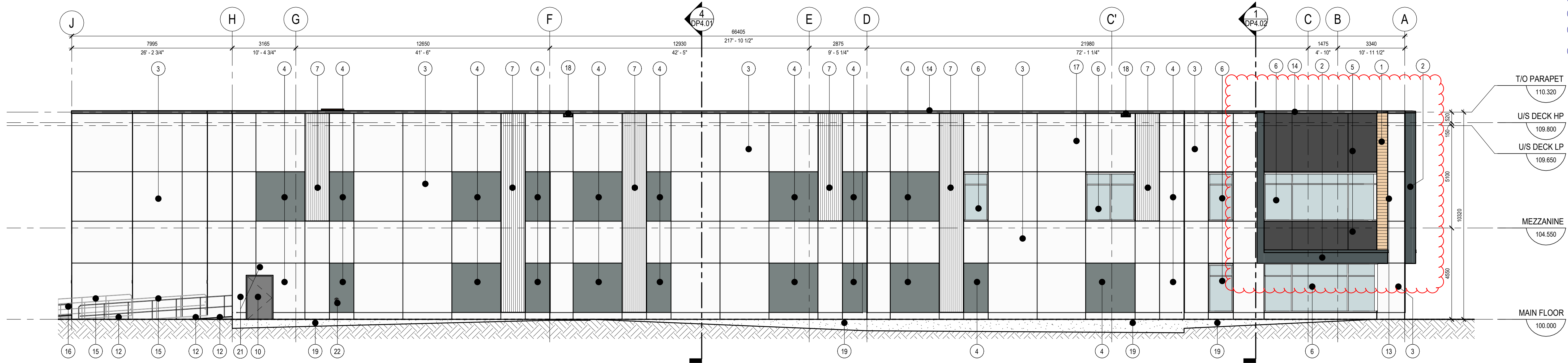
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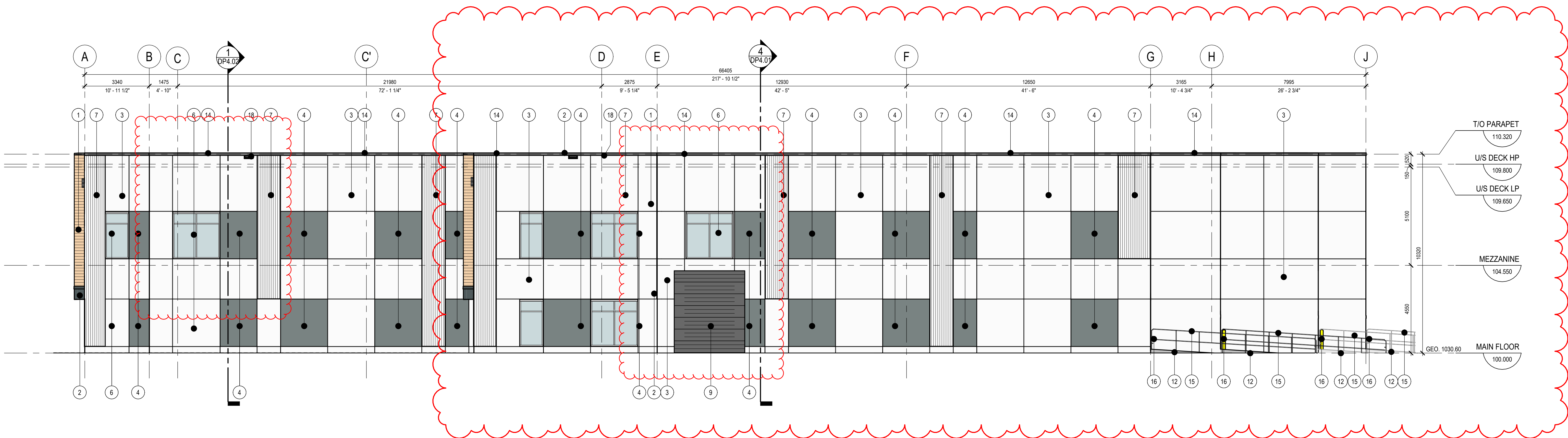
**DP3.02** 

MATERIAL LEGEND

- 1 PREFINISHED METAL CLADDING, WOOD GRAIN TEXTURE FINISH COLOUR: BASED ON "NATURAL BELLARA" BY VICWEST
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- 5 PRE-CAST CONCRETE INSULATED PANEL, (SANDWICH PANEL) PAINT COLOUR: BENJAMIN MOORE KENDALL CHARCOAL HC-168
- 6 DOUBLE GLAZED SEALED UNITS IN CLEAR ANODIZED ALUMINUM FRAME CURTAIN WALL SYSTEM
- 7 PRE-CAST CONCRETE FORMLINER, US FORMLINER 2/95 AMAZONAS
- 8 DOUBLE TEMPERED GLAZED SEALED UNITS IN CLEAR ANODIZED ALUMINUM DOOR FRAME
- 9 INSULATED PREFINISHED SECTIONAL STEEL OVERHEAD DOOR
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- 24 GLAZED ALUMINUM OVERHEAD DOOR



2 WEST ELEVATION  
DP3.03 SCALE: 1:100



1 EAST ELEVATION  
DP3.03 SCALE: 1:100

|   |                                       |            |
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PROJECT

POINT TROTTER 14-16

PROJECT ADDRESS  
10728, 74 Street SE  
CALGARY, ALBERTA

TITLE

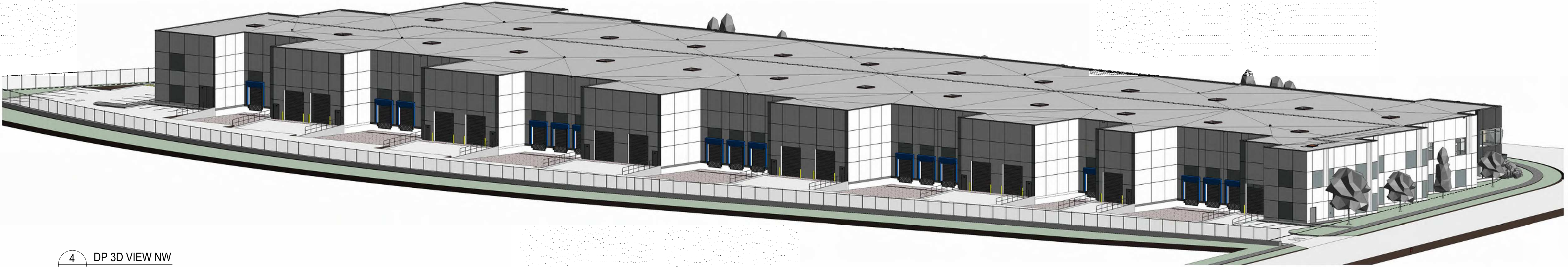
BUILDING  
ELEVATIONS

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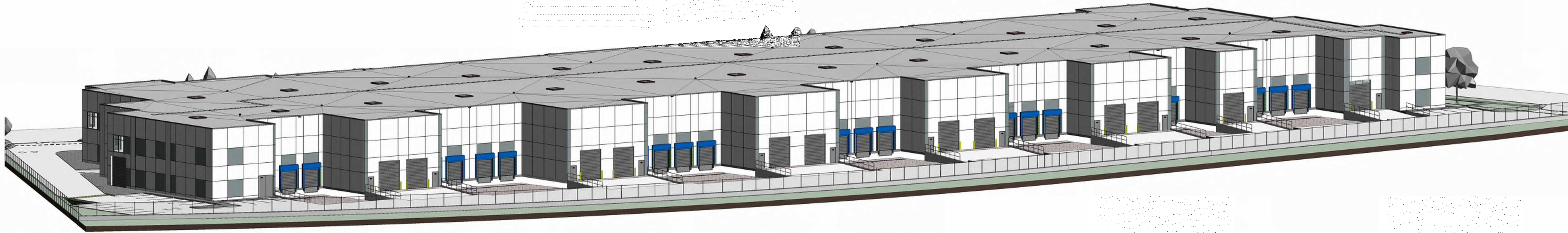
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|-------------|--------------|
| DRAWING NO. | REVISION NO. |
|-------------|--------------|

DP3.03

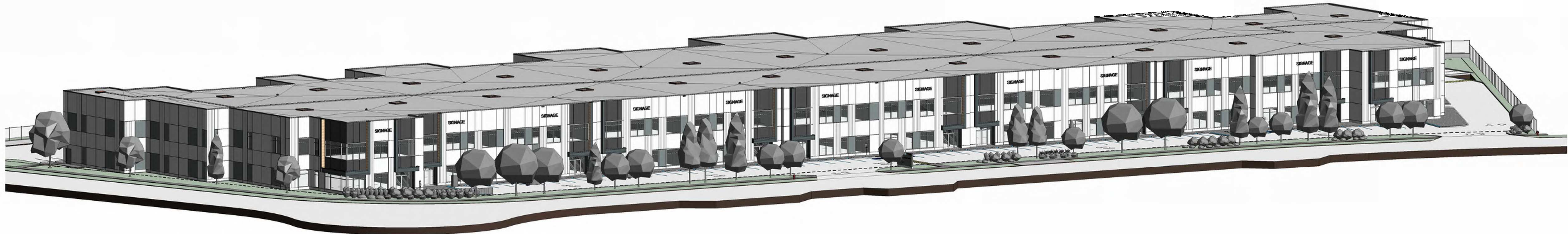




4 DP 3D VIEW NW  
DP5.01 SCALE:



3 DP 3D VIEW NE  
DP5.01 SCALE:



2 DP 3D VIEW SW  
DP5.01 SCALE:



1 DP 3D VIEW SE  
DP5.01 SCALE:

|   |                                       |            |
|---|---------------------------------------|------------|
| G | ISSUED FOR REVISED DEVELOPMENT PERMIT | 2026-05-22 |
| F | ISSUED FOR REVISED DEVELOPMENT PERMIT | 2025-06-09 |
| E | ISSUED FOR REVISED DEVELOPMENT PERMIT | 2025-01-31 |
| D | PTR1 COMMENTS RESPONSE                | 2024-02-08 |
| C | ISSUED FOR DEVELOPMENT PERMIT         | 2023-06-29 |
| B | ISSUED FOR REDS COMMENTS RESPONSE     | 2023-03-31 |
| A | ISSUED FOR REDS REVIEW                | 2023-02-03 |

| NO. | ISSUE/ REVISION | DATE |
|-----|-----------------|------|
|-----|-----------------|------|

NOT FOR CONSTRUCTION

PROJECT

POINT TROTTER 14-16

PROJECT ADDRESS  
10728, 74 Street SE  
CALGARY, ALBERTA

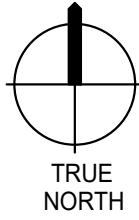
TITLE  
3D VIEWS

|             |       |         |
|-------------|-------|---------|
| PROJECT NO. | DRAWN | CHECKED |
| 222-183     | JL    | JLG     |

|             |              |
|-------------|--------------|
| DRAWING NO. | REVISION NO. |
|-------------|--------------|

DP5.01





|    |                         |            |
|----|-------------------------|------------|
| E. | ISSUED FOR DP           | 2026-05-20 |
| D. | ISSUED FOR COORDINATION | 2023-09-22 |
| C. | ISSUED FOR DTTR1        | 2023-09-21 |
| B. | ISSUED FOR 90% REVIEW   | 2023-07-19 |
| A. | DEVELOPMENT PERMIT      | 2023-04-27 |

| NO. | ISSUE/ REVISION | DATE |
|-----|-----------------|------|
|-----|-----------------|------|

NOT FOR CONSTRUCTION

PROJECT  
**POINT TROTTER 14-16**

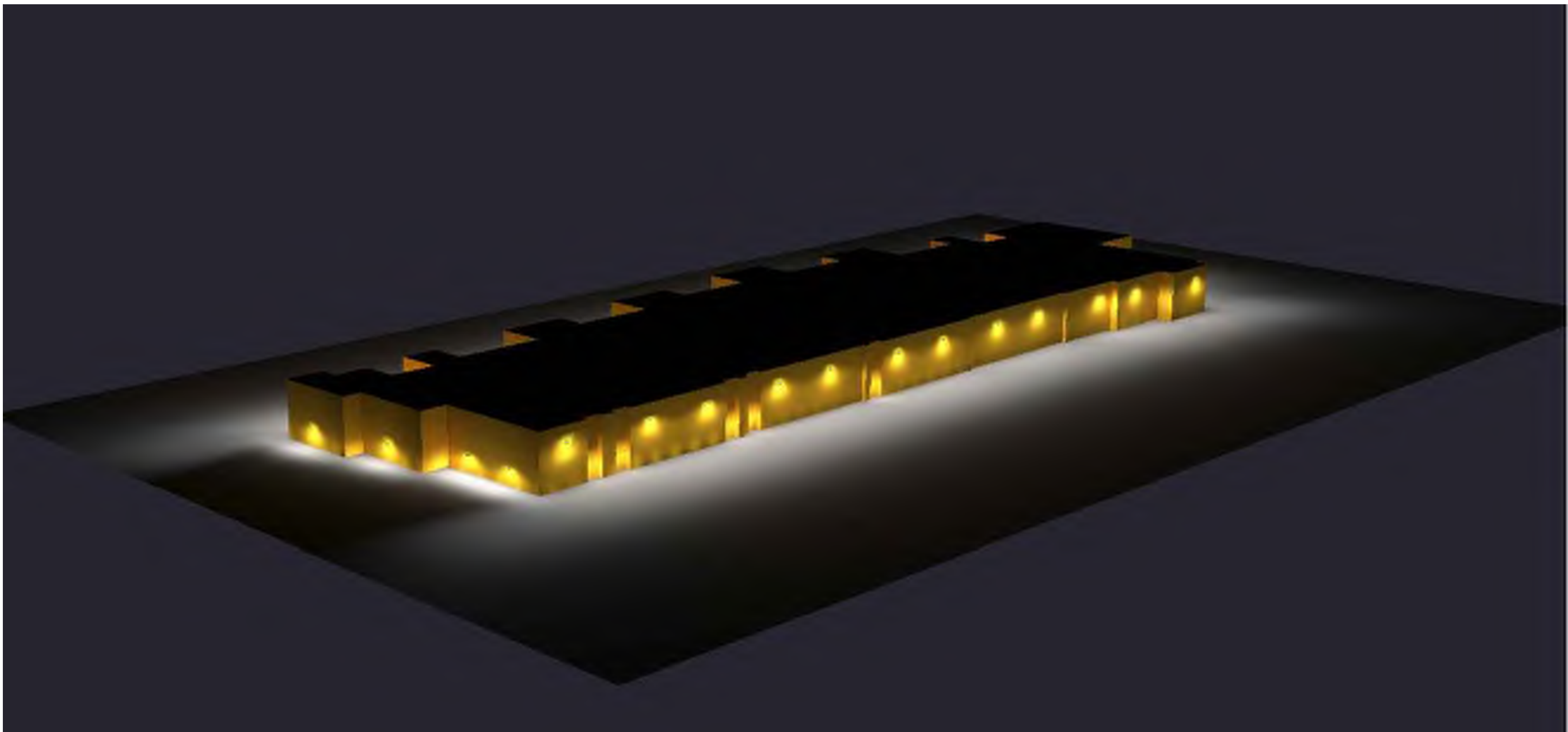
PROJECT ADDRESS  
10719-107, 74 Street SE  
CALGARY, ALBERTA

TITLE  
**RENDERINGS**

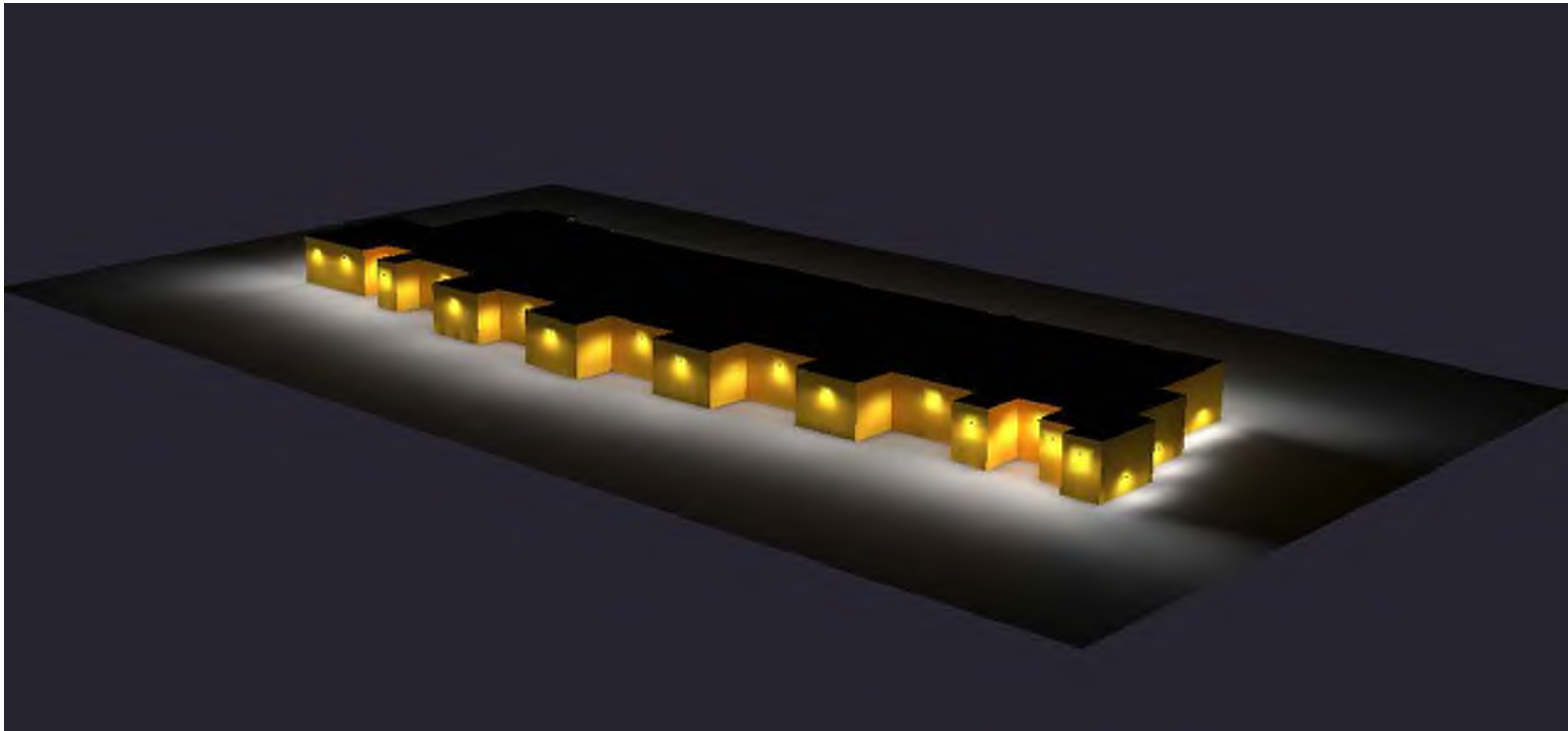
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| PROJECT NO. | DRAWN | CHECKED |
| 23012       | DOUL  | DK      |

|             |              |
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| DRAWING NO. | REVISION NO. |
|-------------|--------------|

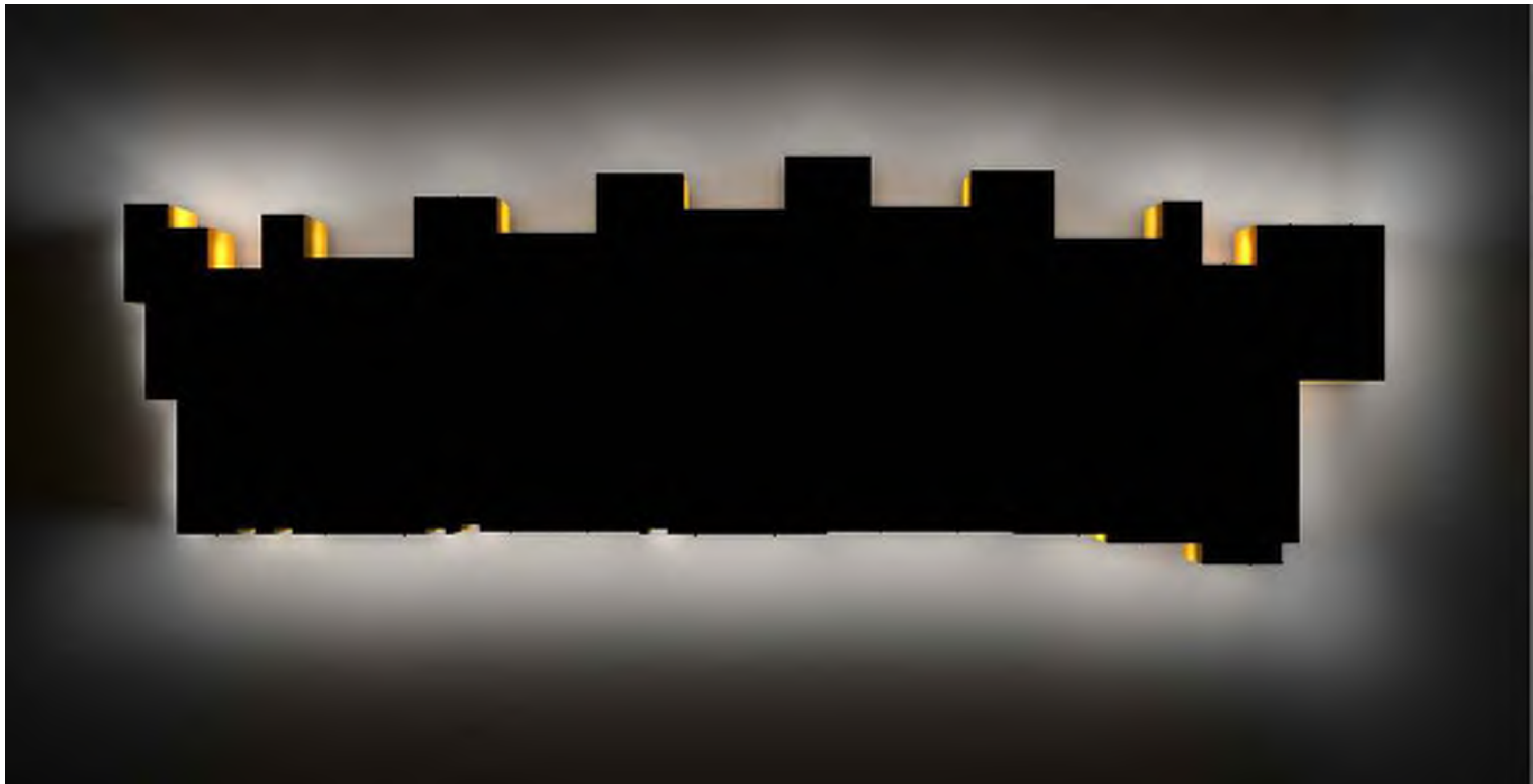
**ES103**



01  
ES103  
**RENDERING 1**  
SCALE: NTS



02  
ES103  
**RENDERING 1**  
SCALE: NTS



03  
ES103  
**RENDERING 1**  
SCALE: NTS