



ARTIST RENDERING - FOR REFERENCE ONLY.

NORR

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 Calgary, AB, Canada T2G 4Y5
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NORR Architects Engineers Planners
 A Partnership of Corporations
Poon McKenzie Architects (sBarst) Inc. Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
 Adrian Todella, P.Eng., APEGA
 Chris Pal, P.Eng., APEGA

FRANKLIN DEVELOPMENT

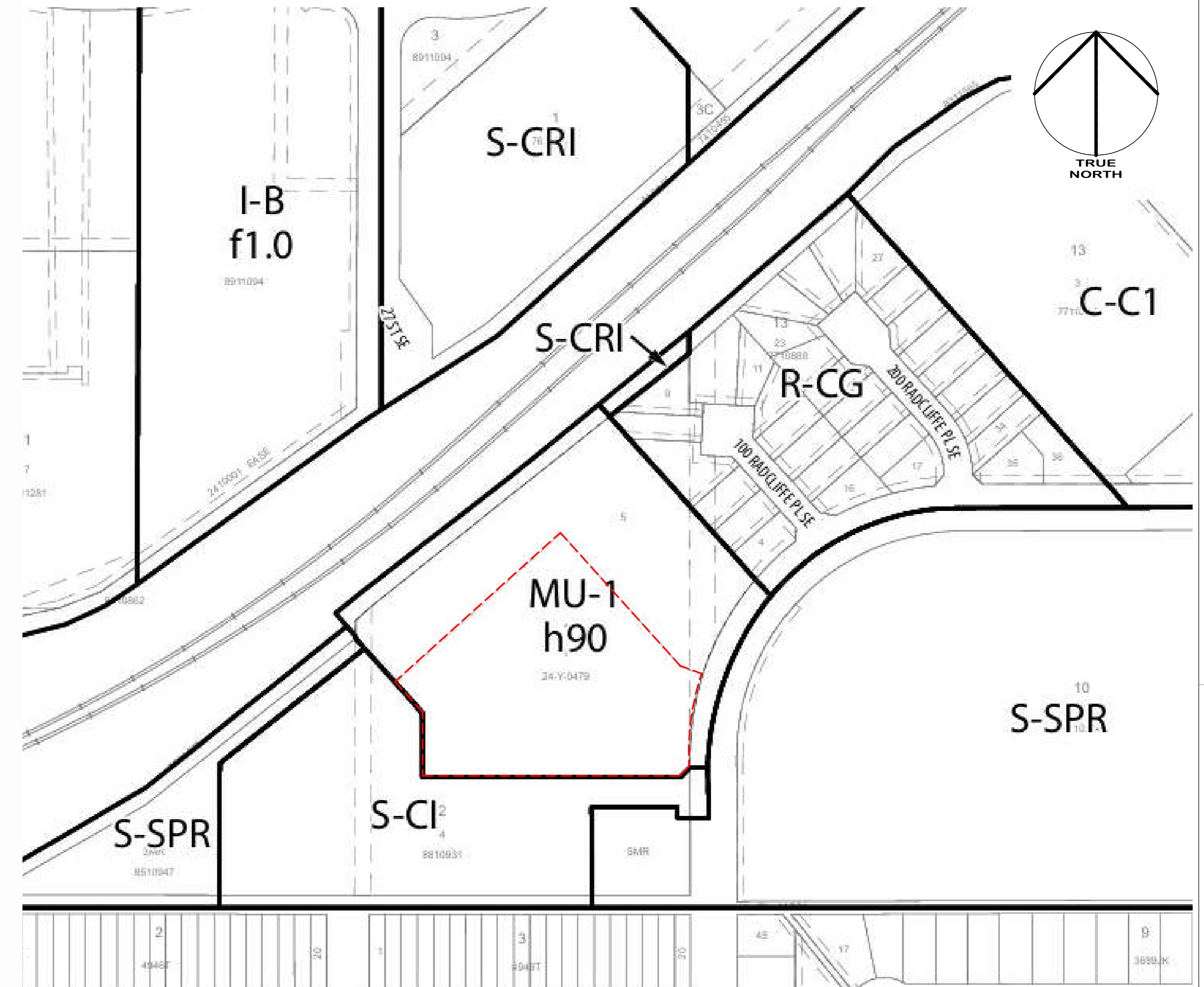
2734 RADCLIFFE DR SE CALGARY, AB, CANADA Plan:8510947; Block:1; Lot:1 1 and
 Plan:8810931; Block:2; Lot:4.

DEVELOPMENT PERMIT: DEVELOPMENT PERMIT NO.
 NORR PROJECT NUMBER: RZ1124-0094
 CLIENT PROJECT NUMBER: CLIENT PROJECT NUMBER



ISSUED FOR DP - 2026-05-22

| SURVEY | CIVIL | ARCHITECTURE | STRUCTURAL |
|--|---|--|--|
| MAIDMENT LAND SURVEYS 10, 141 COMMERCIAL DRIVE CALGARY AB T3Z 2A7 403-286-0501 | VERITAS DEVELOPMENT SOLUTIONS 141 COMMERCIAL DR CALGARY AB T3Z 2A7 587-393-5653 | NORR 2300, 411 - 1ST ST S.E. CALGARY AB T2G 4Y5 403-264-4000 | T.B.D. ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER |
| MECHANICAL | ELECTRICAL | INTERIORS | LANDSCAPE |
| TLJ ENGINEERING #301, 301-14th STREET, N.W CALGARY AB T2N 2A1 825-609-6848 | TLJ ENGINEERING #301, 301-14th STREET, N.W CALGARY AB T2N 2A1 825-609-6848 | T.B.D. ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER | SCATLIFF + MILLER + MURRAY 815, 1 ST SW, CALGARY AB T2P 1N3 403-262-9744 |



| DATE | ISSUED FOR | REV |
|------------|--------------|-----|
| 2026-02-22 | ISSUE FOR CP | 1 |

PRELIMINARY - NOT FOR CONSTRUCTION

Vehicle Parking

| TYPE | REQUIREMENT | UNITS | REQUIRED | | PROVIDED | |
|---|-------------|------------------|---------------|---------------|--------------|---------------|
| | | | STALLS | PERCENT | STALLS | PERCENT |
| Phase Bldg 01-04 | | | | | | |
| parkade | resident | 0.75 stalls/unit | 238.00 | 178.50 | 75% | 56 |
| | visitor | 0.10 stalls/unit | 23.80 | 23.80 | 100% | 7 |
| surface | resident | | | | | 4 |
| | visitor | | | | | 17 |
| Phase Bldg 02-03 | | | | | | |
| parkade | resident | 0.75 stalls/unit | 138.00 | 103.50 | 75% | 67 |
| | visitor | 0.10 stalls/unit | 13.80 | 13.80 | 100% | 4 |
| Summary | | | | | | |
| Total Stalls | | | 376.00 | 319.60 | 85% | 151.00 |
| Reduction for Transit Supportive Development | | 25% | | | | 79.9 |
| Reduction for Bicycle Supportive Development | | 25% | | | | 79.9 |
| Total Stalls | | | 376.00 | 159.8 | 42.5% | 151.00 |
| Deficiency | | | | | | -9 |
| Surplus | | | | | | 0 |
| Barrier free Stalls for barrier free or adaptable units: | | | 57 | | | 12 |

The required number of motor vehicle parking stalls in section 1350 is reduced by 25.0 per cent when the use is located in a building located within 600.0 metres of an existing or approved capital funded LRT platform or within 150.0 metres of frequent bus service.

1354 The total number of motor vehicle parking stalls required by section 1350 for all of the units within the development is reduced by 0.25 motor vehicle parking stalls for each additional bicycle parking stalls – class 1 provided in excess of the number of bicycle parking stalls – class 1 required in section 1353 to a maximum of 25 per cent of the total number of motor vehicle parking stalls required by section 1350 for all of the units within the development.

Bicycle Parking

| TYPE | REQUIREMENT | REQUIRED | | PROVIDED | |
|--|-------------|--------------------------|------------|------------|------------|
| | | UNITS | STALLS | UNITS | STALLS |
| Bldg 01-04 | | | | | |
| on surface | Class 1 | 0.50 stalls/unit | 119 | 119 | 100% |
| | Class 2 | 0.10 stalls/unit | 24 | 24 | 100% |
| Bldg 02-03 | | | | | |
| on surface | Class 1 | 0.50 stalls/unit | 69 | 14 | 20% |
| | Class 2 | 0.10 stalls/unit | 14 | 14 | 100% |
| Total | | | | | |
| Total | | 376 | 226 | 60% | 38 |
| Reduction for Bicycle Supportive... | | 0.25 vehicles/bicycle... | 319.60 | | |
| Parkade Bike Room 1 | | | | | 316 |
| Parkade Bike Room 2 | | | | | 176 |
| Parkade Bike Room 3 | | | | | 32 |
| Total | | | 545 | | 562 |

Total Unit Count

| LEVEL | GROSS FLOOR AREA | | UNIT COUNT | | | | | | | | | |
|----------------------------------|-------------------|------------------|------------|-------------------|--------------|------------------|--------------|------------------|--------------|------------------|---------------|-------|
| | SM | SF | STUDIO | ACCESSIBLE STUDIO | 1 BED | ACCESSIBLE 1 BED | 2 BED | ACCESSIBLE 2 BED | 3 BED | ACCESSIBLE 3 BED | 6 BED | TOTAL |
| Building 1 | 5,672.1 SM | 61,056 SF | 1 | 5 | 24 | 5 | 26 | 6 | 5 | 1 | 1 | 74 |
| Level 1 | 945 | 10,176 | 1 | 0 | 4 | 0 | 1 | 1 | 0 | 1 | 1 | 9 |
| Level 2 | 945 | 10,176 | 0 | 1 | 4 | 1 | 5 | 1 | 0 | 1 | 0 | 13 |
| Level 3 | 945 | 10,176 | 0 | 1 | 4 | 1 | 5 | 1 | 1 | 0 | 0 | 13 |
| Level 4 | 945 | 10,176 | 0 | 1 | 4 | 1 | 5 | 1 | 1 | 0 | 0 | 13 |
| Level 5 | 945 | 10,176 | 0 | 1 | 4 | 1 | 5 | 1 | 1 | 0 | 0 | 13 |
| Level 6 | 945 | 10,176 | 0 | 1 | 4 | 1 | 5 | 1 | 1 | 0 | 0 | 13 |
| Total of ACCESSIBLE UNITS | | | 1 | 83.3% | 17.2% | 43.2% | 18.8% | 8.1% | 16.7% | 16.7% | 100.0% | |

| LEVEL | GROSS FLOOR AREA | | UNIT COUNT | | | | | | | | | |
|----------------------------------|-------------------|------------------|------------|-------------------|--------------|------------------|--------------|------------------|-------------|------------------|---------------|-------|
| | SM | SF | STUDIO | ACCESSIBLE STUDIO | 1 BED | ACCESSIBLE 1 BED | 2 BED | ACCESSIBLE 2 BED | 3 BED | ACCESSIBLE 3 BED | 6 BED | TOTAL |
| Building 2 | 5,995.4 SM | 64,536 SF | 12 | 0 | 12 | 6 | 44 | 0 | 5 | 1 | 1 | 81 |
| Level 1 | 999 | 10,756 | 2 | 0 | 2 | 1 | 4 | 0 | 1 | 0 | 1 | 11 |
| Level 2 | 999 | 10,756 | 2 | 0 | 2 | 1 | 8 | 0 | 0 | 1 | 0 | 14 |
| Level 3 | 999 | 10,756 | 2 | 0 | 2 | 1 | 8 | 0 | 1 | 0 | 0 | 14 |
| Level 4 | 999 | 10,756 | 2 | 0 | 2 | 1 | 8 | 0 | 1 | 0 | 0 | 14 |
| Level 5 | 999 | 10,756 | 2 | 0 | 2 | 1 | 8 | 0 | 1 | 0 | 0 | 14 |
| Level 6 | 999 | 10,756 | 2 | 0 | 2 | 1 | 8 | 0 | 1 | 0 | 0 | 14 |
| Total of ACCESSIBLE UNITS | | | 12 | 0.0% | 33.3% | 0.0% | 54.3% | 0.0% | 7.4% | 16.7% | 100.0% | |

| LEVEL | GROSS FLOOR AREA | | UNIT COUNT | | | | | | | | | |
|----------------------------------|-------------------|------------------|------------|-------------------|--------------|------------------|--------------|------------------|-------------|------------------|-------------|---------------|
| | SM | SF | STUDIO | ACCESSIBLE STUDIO | 1 BED | ACCESSIBLE 1 BED | 2 BED | ACCESSIBLE 2 BED | 3 BED | ACCESSIBLE 3 BED | 6 BED | TOTAL |
| Building 3 | 4,301.3 SM | 46,300 SF | 5 | 3 | 8 | 4 | 28 | 8 | 0 | 0 | 1 | 57 |
| Level 1 | 1,075 | 11,575 | 2 | 0 | 2 | 1 | 4 | 2 | 0 | 0 | 1 | 12 |
| Level 2 | 1,075 | 11,575 | 1 | 1 | 2 | 1 | 8 | 2 | 0 | 0 | 0 | 15 |
| Level 3 | 1,075 | 11,575 | 1 | 1 | 2 | 1 | 8 | 2 | 0 | 0 | 0 | 15 |
| Level 4 | 1,075 | 11,575 | 1 | 1 | 2 | 1 | 8 | 2 | 0 | 0 | 0 | 15 |
| Total of ACCESSIBLE UNITS | | | 5 | 14.0% | 37.5% | 21.1% | 63.2% | 22.2% | 0.0% | 0.0% | 2.8% | 100.0% |

| LEVEL | GROSS FLOOR AREA | | UNIT COUNT | | | | | | | | | |
|----------------------------------|--------------------|-------------------|------------|-------------------|--------------|------------------|--------------|------------------|-------------|------------------|--------------|---------------|
| | SM | SF | STUDIO | ACCESSIBLE STUDIO | 1 BED | ACCESSIBLE 1 BED | 2 BED | ACCESSIBLE 2 BED | 3 BED | ACCESSIBLE 3 BED | 6 BED | TOTAL |
| Building 4 | 11,061.0 SM | 118,956 SF | 24 | 0 | 60 | 6 | 61 | 12 | 0 | 0 | 1 | 164 |
| Level 1 | 1,842 | 19,826 | 4 | 0 | 10 | 1 | 6 | 2 | 0 | 0 | 1 | 24 |
| Level 2 | 1,842 | 19,826 | 4 | 0 | 10 | 1 | 11 | 2 | 0 | 0 | 0 | 28 |
| Level 3 | 1,842 | 19,826 | 4 | 0 | 10 | 1 | 11 | 2 | 0 | 0 | 0 | 28 |
| Level 4 | 1,842 | 19,826 | 4 | 0 | 10 | 1 | 11 | 2 | 0 | 0 | 0 | 28 |
| Level 5 | 1,842 | 19,826 | 4 | 0 | 10 | 1 | 11 | 2 | 0 | 0 | 0 | 28 |
| Level 6 | 1,842 | 19,826 | 4 | 0 | 10 | 1 | 11 | 2 | 0 | 0 | 0 | 28 |
| Total of ACCESSIBLE UNITS | | | 24 | 0.0% | 40.2% | 9.1% | 44.5% | 16.4% | 0.0% | 0.0% | 16.7% | 100.0% |

UNIT TOTALS - DEVELOPMENT

| UNIT TYPES | SM | SF | STUDIO | 1 BED | 2 BED | 3 BED | 6 BED | TOTAL |
|-------------------------|--------------------|-------------------|--------------|--------------|--------------|-------------|-------------|------------|
| Total | 27,019.8 SM | 290,848 SF | 50 | 125 | 185 | 12 | 4 | 376 |
| Percentage Total | | | 13.3% | 33.2% | 49.2% | 3.2% | 1.1% | |

| SPLIT | ACCESSIBLE | STUDIO | ACCESSIBLE STUDIO | 1 BED | | 2 BED | | 3 BED | | 6 BED | TOTAL |
|--|------------|-----------|-------------------|--------------|------------------|--------------|------------------|--------------|------------------|----------|------------|
| | | | | 1 BED | ACCESSIBLE 1 BED | 2 BED | ACCESSIBLE 2 BED | 3 BED | ACCESSIBLE 3 BED | | |
| Standard and Accessible | 57 | 42 | 8 | 104 | 21 | 159 | 26 | 10 | 2 | 4 | 376 |
| Percentage Accessible per Unit Type | | | 15.2% | 16.0% | 16.8% | 16.7% | 17.4% | 16.7% | 16.7% | | |

| UNITS PER PHASE | ACCESSIBLE | STUDIO | 1 BED | | 2 BED | | 3 BED | | 6 BED |
|---|---------------|---------------|---------------|------------------|---------------|------------------|---------------|------------------|---------------|
| | | | 1 BED | ACCESSIBLE 1 BED | 2 BED | ACCESSIBLE 2 BED | 3 BED | ACCESSIBLE 3 BED | |
| Total per Phase 1: Buildings 1+4 | 30.00 | 12.61% | 95.00 | 39.92% | 105.00 | 44.12% | 6.00 | 2.52% | 0.84% |
| Standard and Accessible | 35.00 | 25.00 | 5.00 | 84.00 | 11.00 | 87.00 | 18.00 | 1.00 | 2.00 |
| Accessible units % | 14.71% | 16.67% | 11.88% | 17.44% | 17.44% | 17.44% | 5.00 | 1.00 | 16.67% |
| Total per Phase 2: Buildings 2+3 | 22.00 | 17.00 | 14.49% | 30.00 | 21.74% | 80.00 | 57.97% | 6.00 | 4.35% |
| Standard and Accessible | 22.00 | 17.00 | 3.00 | 20.00 | 10.00 | 72.00 | 8.00 | 5.00 | 2.00 |
| Accessible units % | 15.94% | 15.00% | 13.33% | 33.33% | 10.00% | 10.00% | 16.67% | 16.67% | 100.0% |

NOTE: ALL BUILDING AREAS AND COVERAGE CALCULATIONS ARE APPROXIMATE AND ARE TO BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT

Site Information

| | |
|-------------------|---|
| LAND USE DISTRICT | MU-1-90 |
| LEGAL DESCRIPTION | Plan 8510947, Block 1, Lot 1 and Plan 8510931, Block 2, Lot 4 |
| MUNICIPAL ADDRESS | 2734 RADCLIFFE DR SE |
| COMMUNITY | ALBERT PARK/RADISSON HEIGHTS |
| SITE AREA | 10,846 SM, 116,741 SF, 1.08 HA, 2.68 AC |

Development Statistics

| | |
|--------------------|---|
| PROPOSED USES | Discretionary Dwelling Unit |
| SETBACK AREA | Street Front Setback: NO REQUIREMENT |
| FAR | Maximum: No Maximum, Proposed: 2.49 |
| DENSITY | Maximum: No Maximum, Proposed: 347 units/hectare, 376 D/U |
| BUILDING HEIGHT | Maximum: 90 m |
| FAÇADE WIDTH | Maximum: 15 m |
| D.U. FACING STREET | Minimum height of the main floor of any portion of a Dwelling Unit located less than 3.0 metres from a property line shared with a street is 0.6 metres above grade |

AMENITY AREA

| Per Unit Min. | Required | Proposed |
|-------------------------------|------------------------------------|----------------|
| Private (Balcony, Deck or...) | 185 | 1,880.0 SM |
| Common Space Indoors | | 935.0 SM |
| Common Space Outdoors | Ext. amenity 1 | 543.9 SM |
| min 50 SM min 6.0m width | Ext. amenity 2 (min 50%) 972.50 SM | 220.9 SM |
| | Ext. amenity 3 | 170.4 SM |
| Total | 1880 | 2053.21 |

Washer & Dryer

| PHASE | Bldg | UNIT COUNT | REQUIREMENT | | REQUIRED | | PROVIDED | |
|------------------------------|------|------------------------|-------------|-------|--------------|-------|--------------|--|
| | | | WASHER | DRYER | WASHER | DRYER | | |
| Phase Bldg 01-04 | | | | | | | | |
| Building 01 | 74 | 1 per 15 units (W & D) | 4.93 | 4.93 | 10 | | 10 | |
| Building 04 | 164 | 1 per 15 units (W & D) | 10.93 | 10.93 | 22 | | 22 | |
| Phase Bldg 02-03 | | | | | | | | |
| Building 02 | 81 | 1 per 15 units (W & D) | 5.40 | 5.40 | 12 | | 12 | |
| Building 03 | 57 | 1 per 15 units (W & D) | 3.80 | 3.80 | 8 | | 8 | |
| Total Per Development | | | | | 52.00 | | 51.00 | |

ARCHITECTURE DRAWING LIST

| | |
|------------|---|
| DP00-00 | COVER SHEET |
| DP10-00-01 | SITE STATISTICS AND VICINITY PLAN |
| DP10-00-02 | OVERALL SITE PLAN |
| DP10-00-03 | WASTE & RECYCLING DETAILS |
| DP10-00-04 | FIRETRUCK & LOADING SWEEP PATH |
| DP10-00-05 | SITE PHASING |
| DP10-00-06 | SITE PHOTOGRAPHS |
| DP10-00-07 | SURVEY |
| DP11-00-01 | SITE DETAILS |
| DP11-00-02 | SITE SECTIONS |
| DP20-01-01 | LEVELS 1 & 2 FLOOR PLANS |
| DP20-01-02 | LEVELS 3 & 4 FLOOR PLANS |
| DP20-01-03 | LEVELS 5 & 6 FLOOR PLANS |
| DP20-01-04 | ROOF PLAN |
| DP20-02-01 | LEVELS 1 & 2 FLOOR PLANS |
| DP20-02-02 | LEVELS 3 & 4 FLOOR PLANS |
| DP20-02-03 | LEVELS 5 & 6 FLOOR PLANS |
| DP20-02-04 | ROOF PLAN |
| DP20-03-01 | LEVELS 1 & 2 FLOOR PLANS |
| DP20-03-02 | LEVELS 3 & 4 FLOOR PLANS |
| DP20-03-03 | ROOF PLAN |
| DP20-04-01 | LEVELS 1 & 2 FLOOR PLANS |
| DP20-04-02 | LEVELS 3 & 4 FLOOR PLANS |
| DP20-04-03 | LEVELS 5 & 6 FLOOR PLANS |
| DP20-04-04 | ROOF PLAN |
| DP20-P1-00 | OVERALL PARKADE PLAN |
| DP20-P1-01 | PARKADE DETAILS & BICYCLE PARKING DETAILS |
| DP40-01-01 | BUILDING ELEVATIONS |
| DP40-01-02 | PERSPECTIVES |
| DP40-02-01 | BUILDING ELEVATIONS |
| DP40-02-02 | PERSPECTIVES |
| DP40-03-01 | BUILDING ELEVATIONS |
| DP40-03-02 | PERSPECTIVES |
| DP40-04-01 | BUILDING ELEVATIONS |
| DP40-04-02 | BUILDING ELEVATIONS |
| DP40-04-03 | PERSPECTIVES |
| DP63-01-01 | UNIT PLANS |
| DP63-02-01 | UNIT PLANS |
| DP63-02-02 | UNIT PLANS |
| DP63-03-01 | UNIT PLANS |
| DP63-04-01 | UNIT PLANS |

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

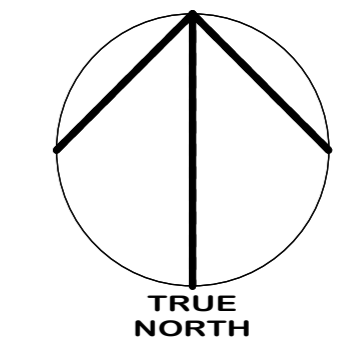
Project Component

| Key Plan |
|----------|
| |

Consultants

2025-05-22 11:30 AM

| DATE | ISSUED FOR | REV |
|------------|--------------|-----|
| 2026-05-22 | ISSUE FOR CP | 1 |



SITE PLAN NOTES

- GENERAL NOTES:
- REFER TO LANDSCAPE PLANS FOR EXISTING AND PROPOSED TREES, SIDEWALKS, WALKWAYS, FEATURES, AND SIDEWALK FINISHES. LANDSCAPE SHOWN IS FOR REFERENCE ONLY. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS.
 - REFER TO ELECTRICAL DRAWINGS FOR PROPOSED SITE LIGHTING. SITE LIGHTING SHOWN IS FOR REFERENCE ONLY. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL DETAILS.
 - ALL INFORMATION ABOUT SITE SERVICES, PEDESTALS, CONDUIT, UTILITY RIGHT OF WAY, AND GRADING IS FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS.
 - NO SURFACE PARKING STALLS (VISITORS INCLUDED) SHALL EXCEED 4% SLOPE IN ANY DIRECTION.
 - INSTALL REGULAR ASPHALT AT PARKING STALL LOCATIONS AND HEAVY DUTY ASPHALT WHERE INDICATED. FIRE ACCESS ROUTE SHALL BE HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING A MINIMUM 35,556 KG (85,000 LBS) LOAD AND NFPA 1901 POINT LOAD OF 517 KPA OVER A 24' X 24' AREA.
 - WHEEL STOPS SHALL BE 100 MM HIGH AND PLACED 600 MM FROM THE FRONT OF PARKING STALL (TYP.).
 - ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL.
 - ALL BUILT ELEMENTS WITHIN THE PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE. NO PARKING ANYTIME/FIRE LANE SIGNAGE SHALL BE POSTED ON ALL INTERNAL ROADS LESS THAN 8.5 M.
 - CAST-IN-PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS SHALL BE COMPLETED BY THE SITE CONTRACTOR. RISERS SHOWN ARE ESTIMATED BASED ON GRADES. ALL RISER COUNTS AND LOCATIONS SHALL BE CONFIRMED. REFER TO CIVIL DRAWINGS.
 - REFER TO BICYCLE STORAGE SITE DETAIL FOR ADDITIONAL INFORMATION.
 - PROPOSED LOCATION FOR F.D.C. SHALL BE BETWEEN 3 M AND 15 M FROM THE PRINCIPAL ENTRANCE OF BUILDINGS. INSTALL ON A STAND ALONE PEDESTAL.
 - IRRIGATION SYSTEM SHALL BE SUPPLIED AND INSTALLED BY OWNER'S CONTRACTOR. SEPARATE METERS SHALL BE LOCATED AS PER DESIGN, IF REQUIRED.
 - REFER TO DP10-00-03 FOR WASTE AND RECYCLING DRAWINGS AND DETAILS.

LEGEND

- FIRE TRUCK PATH AND FIRE DEPT. ACCESS - TURNING RADIUS AS INDICATED
 - PROPERTY LINE - DELINEATES SCOPE OF WORK
 - PROPERTY SETBACK LINE
 - EXTENTS OF PARKADE WALLS BELOW GRADE
 - UTILITY RIGHT OF WAY (URW) - REFER TO CIVIL
 - HEAVY DUTY ASPHALT
 - PHASING LINE
 - EXTENTS OF AMENITY AREA
-
- MAIN FLOOR ELEVATION
 - PRINCIPAL ENTRANCE
 - BARRIER FREE PARKING SIGN/SYMBOL
 - COMMERCIAL PARKING SIGN
 - MAIL PARKING SIGN
 - RESIDENT PARKING SIGN
 - VISITOR PARKING SIGN
 - LOADING ZONE SIGN
 - NO PARKING SIGN
 - PRIVATE PARKING SIGN
 - STOP SIGN
 - ELECTRIC VEHICLE CHARGER (SERVES 2 STALLS)
 - FIRE DEPARTMENT CONNECTION
 - GAS METER
 - WATER METER
 - ELECTRICAL METER
 - OVERHEAD DOOR
 - TRANSFORMER
 - FIRE HYDRANT
 - BIKE RACK
 - WALK RAMP
 - AREA DRAIN
 - CATCH BASIN
 - MANHOLE
 - DIRECTION OF TRAVEL
 - MAIL BOXES
 - EXISTING POWERPOLE
 - EXISTING POWERPOLE TO BE REMOVED, SERVICE DISCONNECTED
 - SITE SIGNAGE

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Project Component
Key Plan

Consultants
Survey: MAIDMENT LAND SURVEYS
Civil: VERITAS DEVELOPMENT SOLUTIONS
Architecture: NORR
Structural: T.B.D.
Mechanical: TLJ ENGINEERING
Electrical: TLJ ENGINEERING
Interiors: T.B.D.
Landscape: SCATLIFF + MILLER + MURRAY



NORR
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Project Manager: Paul Shannon
Drawn: L.A. M.R. T.P.
Project Leader: L.A. M.R. T.P.
Checked: Paul Shannon
Client: ONWARD HOMES

1414 8 STREET SW CALGARY, AB T2R 1A6
Project: **FRANKLIN DEVELOPMENT**

2734 RADCLIFFE DR SE CALGARY, AB, CANADA
Plan: 851047, Block 1, Lot 1 and
Plan: 8510931, Block 2, Lot 4.

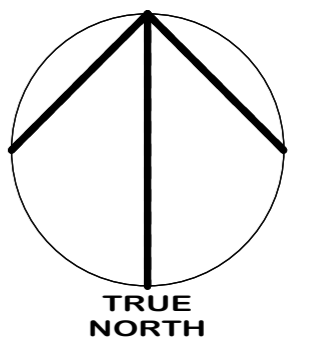
Drawing Title: **OVERALL SITE PLAN**

Scale: As indicated
Project No.: RZ1124-0094
Drawing No.: **DP10-00-02**

1 SITE PLAN
DP10-00-02 SCALE: 1:200

PRELIMINARY - NOT FOR CONSTRUCTION

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Project Component
Key Plan

Consultants
 Survey: MAIDMENT LAND SURVEYS
 Civil: VERITAS DEVELOPMENT SOLUTIONS
 Architecture: NORR
 Structural: T.B.D.
 Mechanical: TLJ ENGINEERING
 Electrical: TLJ ENGINEERING
 Interiors: T.B.D.
 Landscape: SCATLIFF + MILLER + MURRAY

Seal(s)

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 Certificate No. AEC15504

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 Incorporated under the provisions of the Business Corporations Act (Canada)

Jonathan Hughes, Architect, A.S.A., O.A.A., A.S.C., M.A.S., A.M.S., A.A.P.E.
 Alana Young, P.Eng., O.P.E.C.
 Chris Lee, P.Eng., A.S.P.E.A.

| | |
|---------------------------------|---------------------------|
| Project Manager Paul Shannon | Drawn L.A., M.R., T.P. |
| Project Leader L.Aristaza | Checked Paul Shannon |

Client
ONWARD HOMES

1414 8 STREET SW CALGARY, AB T2R 1J6

Project
FRANKLIN DEVELOPMENT

2734 RADCLIFFE DR SE CALGARY, AB, CANADA
 Plan:8510947; Block:2; Lot:1 and
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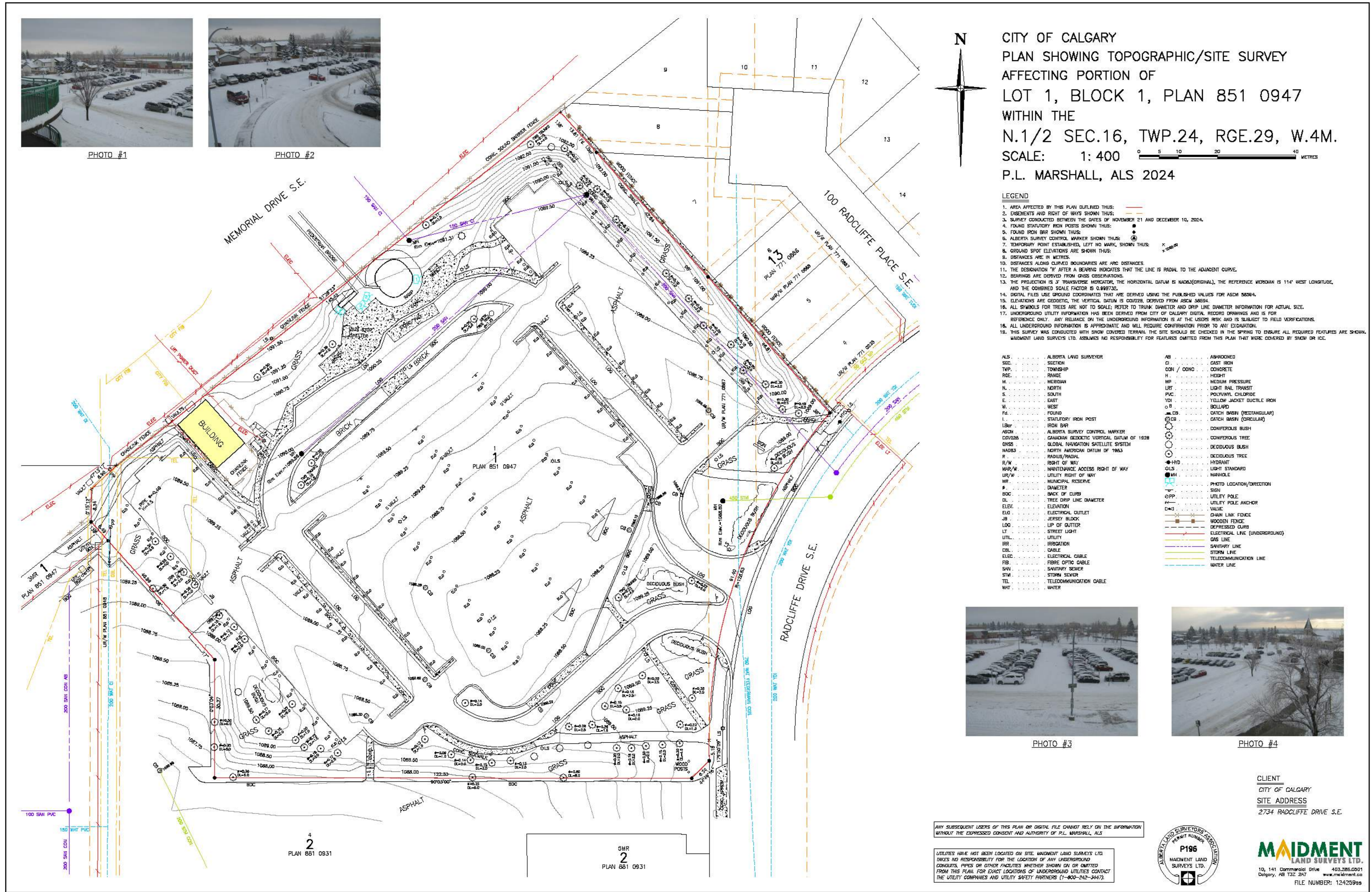
Drawing Title
SITE PHOTOGRAPHS

Scale
1 : 100

Project No.
RZ1124-0094

Drawing No.
DP10-00-06

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| | |
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| Key Plan | |

| | |
|-------------|--|
| Consultants | Survey: MADMENT LAND SURVEYS Dwg: VERITAS DEVELOPMENT SOLUTIONS Architecture: NORR Structural: T.B.D. Mechanical: TLI ENGINEERING Electrical: TLI ENGINEERING Interiors: T.B.D. Landscape: SCATLUFF + MILLER + MURRAY |
|-------------|--|

Seal(s)

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 in association with
 THE ALBERTA ASSOCIATION OF ARCHITECTS
 Certificate No. AEC153504

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 Calgary, AB, Canada T2G 4Y5
 norr.com

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 Incorporated under the laws of the Province of Alberta
 Jonathan Hughes, Architect, S.A.A. C.M.A. A.S.C. M.A.S. L.A.N.S. A.A.P.E.
 Allan Young, P.Eng., P.F.C.S. O.P.C.S.
 Chris Lee, P.Landsc.

| | |
|-----------------|----------------|
| Project Manager | Drawn |
| Paul Shannon | L.A. M.R. T.P. |
| Project Leader | Checked |
| L.Arizaca | Paul Shannon |

ONWARD HOMES

1414 8 STREET SW CALGARY, AB T2R 1A6

FRANKLIN DEVELOPMENT

2734 RADCLIFFE DR SE CALGARY, AB, CANADA
 Plan 8510947, Block 1, Lot 1 and
 Plan 8510931, Block 2, Lot 4.

Drawing Title
SURVEY

Scale

Project No. RZ1124-0094
 Drawing No. **DP10-00-07**

PRELIMINARY - NOT FOR CONSTRUCTION



| DATE | ISSUED FOR | REV |
|------------|---------------|-----|
| 2026-05-22 | ISSUED FOR DP | 1 |

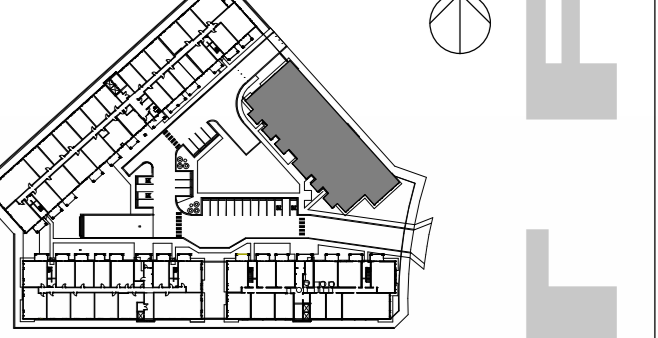
4

3

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Project Component
DEVELOPMENT PERMIT



Consultants

- Survey: []
- Civil: []
- Architecture: NORR
- Structural: []
- Mechanical: []
- Electrical: []
- Interiors: []
- Landscape: []



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Athena Young, P.Eng., O.P.C.A.
Chris Lee, P.Eng., A.S.P.A.

| | |
|-----------------|------------------|
| Project Manager | Drawn |
| Paul Shannon | L.A., M.R., T.P. |
| Project Leader | Checked |
| L.Artaza | Paul Shannon |

Client
ONWARD HOMES

1414 8 STREET SW, CALGARY, AB T2R 1J6

Project
FRANKLIN DEVELOPMENT - BLDG 01

2734 RADCLIFFE DR SE CALGARY, AB, CANADA
Plan:8510947; Block:1; Lot:1 and
Plan:8510931; Block:2; Lot:4.

Drawing Title
PERSPECTIVES

| | |
|-------------|-------------------|
| Scale | |
| Project No. | RZ1124-0094 |
| Drawing No. | DP40-01-02 |

PRELIMINARY - NOT FOR CONSTRUCTION

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MATERIAL LEGEND COLOR SCHEME

| MATERIAL KEYNOTES | | | MATERIAL KEYNOTES | | |
|-------------------|---------------------------------------|---------------------|-------------------|---|----------------|
| # | MATERIAL | COLOR | # | MATERIAL | COLOR |
| 10 | ROOF ASPHALT SHINGLES | BLACK | 37 | CEMENT PANEL CLAD COLUMNS | NIGHT GREY |
| 11 | PREFINISHED METAL ROOF FASCIA | BLACK | 40 | PREFINISHED METAL ADDRESS NUMBERS | BLACK |
| 12 | PREFINISHED METAL ROOF SOFFIT | BLACK | 41 | PREFINISHED WALL LIGHT FIXTURE | BLACK |
| 20 | PVC WINDOW | WHITE | 42 | PARGING | STANDARD GRAY |
| 21 | RESIDENTIAL PATIO DOOR | WHITE | 43 | FIBER CEMENT ACCENT TRIMS | BLACK |
| 22 | COMMERCIAL ENTRY DOUBLE DOOR | BLACK | 44 | FIBER CEMENT 4" CORNER TRIM | BLACK |
| 23 | METAL ESPRESSO DOOR | GRAY | 45 | A/C METAL SCREEN | BLACK |
| 24 | METAL OVERHEAD GARAGE DOOR | GRAY | 46 | A/C METAL SCREEN | LIGHT MIST |
| 30 | PREF. METAL BALCONY FASCIA & SOFFIT | BLACK | 47 | METAL FLASHING | BLACK |
| 31 | PREF. METAL BALCONY FASCIA & SOFFIT | LIGHT MIST | 50 | FIBER CEMENT LAP SIDING, BASE COLOUR 1 | MIDNIGHT BLACK |
| 32 | PREF. METAL BALCONY FASCIA & SOFFIT | NIGHT GREY | 51 | FIBER CEMENT LAP SIDING, TOP COLOUR 1 | NIGHT GREY |
| 33 | PREFINISHED METAL GUARDRAIL | BLACK | 52 | FIBER CEMENT LAP SIDING, CABLE COLOUR | LIGHT MIST |
| 34 | PREFINISHED METAL GUARDRAIL & GLAZING | BLACK & TRANSPARENT | 53 | FIBER CEMENT LAP SIDING, ACCENT | MAHOGANY |
| 35 | CEMENT PANEL CLAD COLUMNS | BLACK | 61 | FIBER CEMENT LAP SIDING, TOP COLOUR 2 | GRAY SLATE |
| 36 | CEMENT PANEL CLAD COLUMNS | LIGHT MIST | 62 | FIBER CEMENT LAP SIDING, CABLE COLOUR 2 | WHITE |

ELEVATION NOTES

- GENERAL NOTES:**
1. COLORS AND MANUFACTURERS FOR REFERENCE ONLY. EQUIVALENTS MAY BE USED.
 2. ALL INFORMATION ABOUT SITE GRADING IS PROVIDED BY CIVIL ENGINEER AND IS SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IF THERE IS ANY DISCREPANCY, REFER TO APPROVED CIVIL DRAWINGS.
 3. PROVIDE PREFINISHED METAL FLASHING ABOVE ALL OPENINGS AND AT ALL HORIZONTAL MATERIAL CHANGES. COLOR TO MATCH ADJACENT MATERIAL.
 4. PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED BY MATERIAL MANUFACTURER.
 5. REFER TO CIVIL FOR NUMBER OF EXTERIOR RISERS.
 6. ALL ELEVATIONS ARE TAKEN AT GRADE.
 7. SEE SITE PLAN FOR SERVICE CONNECTIONS. CONFIRM WITH CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS.
 8. BUILDING LIGHTING TO BE LOCATED IN SOFFITS OF BALCONIES AND CANOPIES.

| DATE | ISSUED FOR | REV |
|------------|---------------|-----|
| 2026-05-22 | ISSUED FOR DP | 1 |



4 WEST ELEVATION
DP40-02-01 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
DP40-02-01 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
DP40-02-01 SCALE: 1/8" = 1'-0"

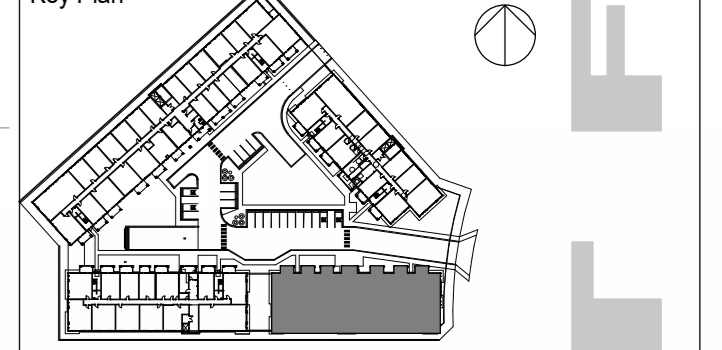


1 NORTH ELEVATION
DP40-02-01 SCALE: 1/8" = 1'-0"

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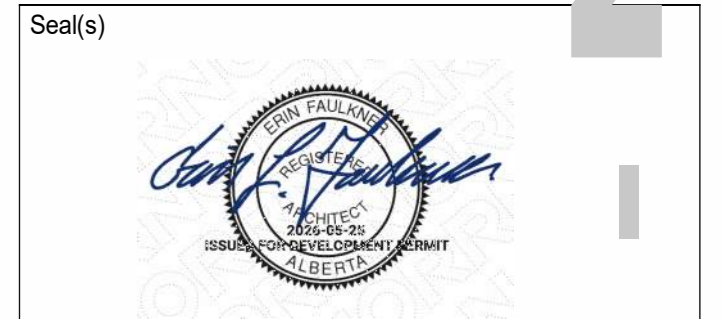
This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component
DEVELOPMENT PERMIT



Consultants

Survey: [blank]
Civil: [blank]
Architecture: NORR
Structural: [blank]
Mechanical: [blank]
Electrical: [blank]
Interiors: [blank]
Landscape: [blank]



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Alana Young, P.Eng., O.P.E.C.
Chris Lee, P.Eng., A.P.E.C.A.

Project Manager: Paul Shannon
Project Leader: L'Arriza
Client: ONWARD

1414 8 STREET SW, CALGARY, AB T2R 1J6

Project: **FRANKLIN DEVELOPMENT BLDG 02**
2734 RADCLIFFE DR SE CALGARY, AB, CANADA
Plan 8510947, Block 1, Lot 1.1 and Plan 8510931, Block 2, Lot 4.

Drawing Title: **BUILDING ELEVATIONS**

Scale: 1/8" = 1'-0"
Project No.: RZ1124-0094
Drawing No.: **DP40-02-01**

PRELIMINARY - NOT FOR CONSTRUCTION

5/20/2024 2:41:27 PM
Autodesk Docs - Onward Homes - Franklyn Development - RZ1124-0094 - OnwardHomesDWG_AK_Bldg_Elev.dwg

| MATERIAL KEYNOTES | | | MATERIAL KEYNOTES | | | | |
|-------------------|---------------------------------------|---------------------|-------------------|----|--|----------------|-----------------|
| # | MATERIAL | COLOR | MANUFACTURER | # | MATERIAL | COLOR | MANUFACTURER |
| 10 | ROOF ASPHALT SHINGLES | BLACK | TBD | 37 | CEMENT PANEL CLAD COLUMNS | NIGHT GREY | JAMES HARDIE |
| 11 | PREFINISHED METAL ROOF FASCIA | BLACK | TBD | 40 | PREFINISHED METAL ADDRESS NUMBERS | BLACK | TBD |
| 12 | PREFINISHED METAL ROOF SOFFIT | BLACK | TBD | 41 | PREFINISHED WALL LIGHT FIXTURE | BLACK | TBD |
| 20 | PVC WINDOW | WHITE | TBD | 42 | PARKING | STANDARD GRAY | TBD |
| 21 | RESIDENTIAL PATIO DOOR | WHITE | TBD | 43 | FIBER CEMENT ACCENT TRIMS | BLACK | JAMES HARDIE |
| 22 | COMMERCIAL ENTRY DOUBLE DOOR | BLACK | TBD | 44 | FIBER CEMENT 4" CORNER TRIM | BLACK | JAMES HARDIE |
| 23 | METAL EGRESS DOOR | GRAY | TBD | 45 | A/C METAL SCREEN | BLACK | TBD |
| 24 | METAL OVERHEAD GARAGE DOOR | GRAY | TBD | 46 | A/C METAL SCREEN | LIGHT MIST | TBD |
| 30 | PREF. METAL BALCONY FASCIA & SOFFIT | BLACK | TBD | 47 | METAL FLASHING | BLACK | TBD |
| 31 | PREF. METAL BALCONY FASCIA & SOFFIT | LIGHT MIST | TBD | 50 | FIBER CEMENT LAP SIDING BASE COLOUR 1 | MIDNIGHT BLACK | JAMES HARDIE |
| 32 | PREF. METAL BALCONY FASCIA & SOFFIT | NIGHT GREY | TBD | 51 | FIBER CEMENT LAP SIDING TOP COLOUR 1 | NIGHT GREY | JAMES HARDIE |
| 33 | PREFINISHED METAL GUARDRAIL | BLACK | TBD | 52 | FIBER CEMENT LAP SIDING GABLE COLOUR | LIGHT MIST | JAMES HARDIE |
| 34 | PREFINISHED METAL GUARDRAIL & GLAZING | BLACK & TRANSPARENT | TBD | 53 | FIBER CEMENT LAP SIDING ACCENT | MAHOGANY | FISHER COATINGS |
| 35 | CEMENT PANEL CLAD COLUMNS | BLACK | TBD | 61 | FIBER CEMENT LAP SIDING TOP COLOUR 2 | GRAY SLATE | JAMES HARDIE |
| 36 | CEMENT PANEL CLAD COLUMNS | LIGHT MIST | JAMES HARDIE | 62 | FIBER CEMENT LAP SIDING GABLE COLOUR 2 | WHITE | JAMES HARDIE |

ELEVATION NOTES

GENERAL NOTES:

1. COLOURS AND MANUFACTURERS FOR REFERENCE ONLY. EQUIVALENTS MIGHT BE USED.
2. ALL INFORMATION ABOUT SITE GRADING IS PROVIDED BY CIVIL ENGINEER AND IS SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IF THERE IS ANY DISCREPANCY, REFER TO APPROVED CIVIL DRAWINGS.
3. PROVIDE PREFINISHED METAL FLASHING ABOVE ALL OPENINGS AND AT ALL HORIZONTAL MATERIAL CHANGES. COLOUR TO MATCH ADJACENT MATERIAL.
4. PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED BY MATERIAL MANUFACTURER.
5. REFER TO CIVIL FOR NUMBER OF EXTERIOR RISERS.
6. ALL ELEVATIONS ARE TAKEN AT GRADE.
7. SEE SITE PLAN FOR SERVICE CONNECTIONS. CONFIRM WITH CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS.
8. BUILDING LIGHTING TO BE LOCATED IN SOFFITS OF BALCONIES AND CANOPIES.

| DATE | ISSUED FOR | REV |
|------------|---------------|-----|
| 2026-05-22 | ISSUED FOR DP | 1 |



4 WEST ELEVATION
DP40-03-01 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
DP40-03-01 SCALE: 1/8" = 1'-0"



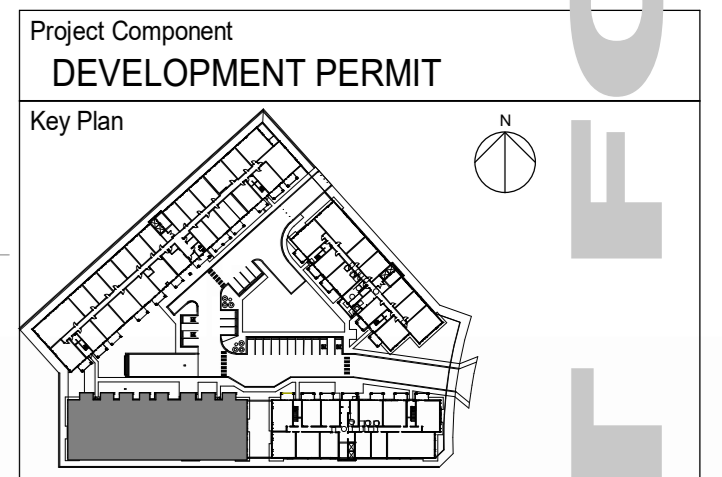
2 EAST ELEVATION
DP40-03-01 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
DP40-03-01 SCALE: 1/8" = 1'-0"

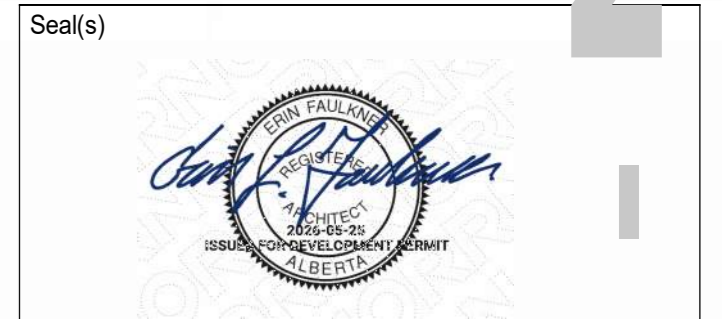
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Project Component: DEVELOPMENT PERMIT

Consultants:
Survey: Civil
Architecture: NORR
Structural: Mechanical
Electrical: Interiors: Landscape:



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Calgary, AB, Canada T2G 4Y5
nor.com

NORR Architects Engineers Planners
A Partnership of Corporations

Project Manager: Paul Shannon
Project Leader: L.A.M.R. T.P.
Checked: L.A.M.R. T.P.
Client: Paul Shannon

ONWARD HOMES

1414 8 STREET CALGARY, AB T2R 1J6

Project: **FRANKLYN DEVELOPMENT BLDG 03**

2734 RADCLIFFE DR SE CALGARY, AB, CANADA
Plan: 6510947; Block: 1; Lot: 1 and 11
Plan: 6510931; Block: 2; Lot: 4

Drawing Title: **BUILDING ELEVATIONS**

Scale: 1/8" = 1'-0"

Project No.: RZ1124-0094

Drawing No.: **DP40-03-01**

PRELIMINARY - NOT FOR CONSTRUCTION

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MATERIAL LEGEND COLOR SCHEME

| # | MATERIAL | COLOR | MANUFACTURER |
|----|---------------------------------------|---------------------|--------------|
| 10 | ROOF ASPHALT SHINGLES | BLACK | TBD |
| 11 | PREFINISHED METAL ROOF FASCIA | BLACK | TBD |
| 12 | PREFINISHED METAL ROOF SOFFIT | BLACK | TBD |
| 20 | PVC WINDOW | WHITE | TBD |
| 21 | RESIDENTIAL PATIO DOOR | WHITE | TBD |
| 22 | COMMERCIAL ENTRY DOUBLE DOOR | BLACK | TBD |
| 23 | METAL EGRESS DOOR | GRAY | TBD |
| 24 | METAL OVERHEAD GARAGE DOOR | GRAY | TBD |
| 30 | PREF METAL BALCONY FASCIA & SOFFIT | BLACK | TBD |
| 31 | PREF METAL BALCONY FASCIA & SOFFIT | LIGHT MIST | TBD |
| 32 | PREF METAL BALCONY FASCIA & SOFFIT | NIGHT GREY | TBD |
| 33 | PREFINISHED METAL GUARDRAIL | BLACK | TBD |
| 34 | PREFINISHED METAL GUARDRAIL & GLAZING | BLACK & TRANSPARENT | TBD |
| 35 | CEMENT PANEL CLAD COLUMNS | BLACK | TBD |
| 36 | CEMENT PANEL CLAD COLUMNS | LIGHT MIST | JAMES HARDIE |

| # | MATERIAL | COLOR | MANUFACTURER |
|----|---|----------------|-----------------|
| 37 | CEMENT PANEL CLAD COLUMNS | NIGHT GREY | JAMES HARDIE |
| 40 | PREFINISHED METAL ADDRESS NUMBERS | BLACK | TBD |
| 41 | PREFINISHED WALL LIGHT FIXTURE | BLACK | TBD |
| 42 | PARKING | STANDARD GRAY | TBD |
| 43 | FIBER CEMENT ACCENT TRIMS | BLACK | JAMES HARDIE |
| 44 | FIBER CEMENT 4" CORNER TRIM | BLACK | JAMES HARDIE |
| 45 | A/C METAL SCREEN | BLACK | TBD |
| 46 | A/C METAL SCREEN | LIGHT MIST | TBD |
| 47 | METAL FLASHING | BLACK | TBD |
| 50 | FIBER CEMENT LAP SIDIGN, BASE COLOUR 1 | MIDNIGHT BLACK | JAMES HARDIE |
| 51 | FIBER CEMENT LAP SIDIGN, TOP COLOUR 1 | NIGHT GREY | JAMES HARDIE |
| 52 | FIBER CEMENT LAP SIDIGN, GABLE COLOUR | LIGHT MIST | JAMES HARDIE |
| 53 | FIBER CEMENT LAP SIDIGN, ACCENT | MAHOGANY | FISHER COATINGS |
| 61 | FIBER CEMENT LAP SIDIGN, TOP COLOUR 2 | GRAY SLATE | JAMES HARDIE |
| 62 | FIBER CEMENT LAP SIDIGN, GABLE COLOUR 2 | WHITE | JAMES HARDIE |

ELEVATION NOTES

- GENERAL NOTES:
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 2. ALL INFORMATION ABOUT SITE GRADING IS PROVIDED BY CIVIL ENGINEER AND IS SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IF THERE IS ANY DISCREPANCY, REFER TO APPROVED CIVIL DRAWINGS.
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 4. PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED BY MATERIAL MANUFACTURER.
 5. REFER TO CIVIL FOR NUMBER OF EXTERIOR RISERS.
 6. ALL ELEVATIONS ARE TAKEN AT GRADE.
 7. SEE SITE PLAN FOR SERVICE CONNECTIONS. CONFIRM WITH CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS.
 8. BUILDING LIGHTING TO BE LOCATED IN SOFFITS OF BALCONIES AND CANOPIES.

| DATE | ISSUED FOR | REV |
|------------|---------------|-----|
| 2026-05-22 | ISSUED FOR DP | 1 |



2 WEST ELEVATION
DP40-04-01 SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION
DP40-04-01 SCALE: 3/32" = 1'-0"

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Project Component
DEVELOPMENT PERMIT

Key Plan

- Consultants
- Survey: Civil
 - Architecture: NORR
 - Structural: NORR
 - Mechanical: NORR
 - Electrical: NORR
 - Interiors: NORR
 - Landscape: NORR

Seal(s)

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nor.com

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| | |
|-----------------|------------------|
| Project Manager | Drawn |
| Paul Shannon | L.A., M.R., T.P. |
| Project Leader | Checked |
| L.Arizaca | Paul Shannon |

Client
ONWARD HOMES

1414 8 STREET SW CALGARY, AB T2R 1J6

Project
FRANKLIN DEVELOPMENT BLDG 4

2734 RADCLIFFE DR SE CALGARY, AB, CANADA
Plan 6810967; Block 1; Lot 1, 1 and
Plan 6810931; Block 2; Lot 4.

Drawing Title
BUILDING ELEVATIONS

| | |
|-------------|-------------------|
| Scale | 3/32" = 1'-0" |
| Project No. | RZ1124-0094 |
| Drawing No. | DP40-04-01 |

PRELIMINARY - NOT FOR CONSTRUCTION

ArchiCAD 26 (64-bit) / Project: DP40-04-01 / 2025/09/25 12:51:17 PM / User: jshannon

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 Autodesk Docs Content / Frank_12m/0402/021124-0094_01.dwg
 20250923.2.14.17 PM

MATERIAL LEGEND COLOR SCHEME

| # | MATERIAL | COLOR | MANUFACTURER |
|----|---------------------------------------|---------------------|--------------|
| 10 | ROOF ASPHALT SHINGLES | BLACK | TBD |
| 11 | PREFINISHED METAL ROOF FASCIA | BLACK | TBD |
| 12 | PREFINISHED METAL ROOF SOFFIT | BLACK | TBD |
| 20 | PVC WINDOW | WHITE | TBD |
| 21 | RESIDENTIAL PATIO DOOR | WHITE | TBD |
| 22 | COMMERCIAL ENTRY DOUBLE DOOR | BLACK | TBD |
| 23 | METAL EGRESS DOOR | GRAY | TBD |
| 24 | METAL OVERHEAD GARAGE DOOR | GRAY | TBD |
| 30 | PREF. METAL BALCONY FASCIA & SOFFIT | BLACK | TBD |
| 31 | PREF. METAL BALCONY FASCIA & SOFFIT | LIGHT MIST | TBD |
| 32 | PREF. METAL BALCONY FASCIA & SOFFIT | NIGHT GREY | TBD |
| 33 | PREFINISHED METAL GUARDRAIL | BLACK | TBD |
| 34 | PREFINISHED METAL GUARDRAIL & GLAZING | BLACK & TRANSPARENT | TBD |
| 35 | CEMENT PANEL CLAD COLUMNS | BLACK | TBD |
| 36 | CEMENT PANEL CLAD COLUMNS | LIGHT MIST | JAMES HARDIE |

| # | MATERIAL | COLOR | MANUFACTURER |
|----|---|----------------|-----------------|
| 37 | CEMENT PANEL CLAD COLUMNS | NIGHT GREY | JAMES HARDIE |
| 40 | PREFINISHED METAL ADDRESS NUMBERS | BLACK | TBD |
| 41 | PREFINISHED WALL LIGHT FIXTURE | BLACK | TBD |
| 42 | PARGING | STANDARD GRAY | TBD |
| 43 | FIBER CEMENT ACCENT TRIMS | BLACK | JAMES HARDIE |
| 44 | FIBER CEMENT 4" CORNER TRIM | BLACK | JAMES HARDIE |
| 45 | A/C METAL SCREEN | BLACK | TBD |
| 46 | A/C METAL SCREEN | LIGHT MIST | TBD |
| 47 | METAL FLASHING | BLACK | TBD |
| 50 | FIBER CEMENT LAP SIDING, BASE COLOUR 1 | MIDNIGHT BLACK | JAMES HARDIE |
| 51 | FIBER CEMENT LAP SIDING, TOP COLOUR 1 | NIGHT GREY | JAMES HARDIE |
| 52 | FIBER CEMENT LAP SIDING, GABLE COLOUR | LIGHT MIST | JAMES HARDIE |
| 53 | FIBER CEMENT LAP SIDING, ACCENT | MAHOGANY | FISHER COATINGS |
| 61 | FIBER CEMENT LAP SIDING, TOP COLOUR 2 | GRAY SLATE | JAMES HARDIE |
| 62 | FIBER CEMENT LAP SIDING, GABLE COLOUR 2 | WHITE | JAMES HARDIE |

ELEVATION NOTES

- GENERAL NOTES:**
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 2. ALL INFORMATION ABOUT GITE GRADING IS PROVIDED BY CIVIL ENGINEER AND IS SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IF THERE IS ANY DISCREPANCY, REFER TO APPROVED CIVIL DRAWINGS.
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 4. PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED BY MATERIAL MANUFACTURER.
 5. REFER TO CIVIL FOR NUMBER OF EXTERIOR RISERS.
 6. ALL ELEVATIONS ARE TAKEN AT GRADE.
 7. SEE SITE PLAN FOR SERVICE CONNECTIONS. CONFIRM WITH CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS.
 8. BUILDING LIGHTING TO BE LOCATED IN SOFFITS OF BALCONIES AND CANOPIES.

| DATE | ISSUED FOR | REV |
|------------|---------------|-----|
| 2026-05-22 | ISSUED FOR DP | 1 |



2 EAST ELEVATION
 DP40-04-02 SCALE: 3/32" = 1'-0"



1 NORTH ELEVATION
 DP40-04-02 SCALE: 3/32" = 1'-0"

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Project Component
DEVELOPMENT PERMIT
 Key Plan

- Consultants
- Survey: Civil
 - Architecture: NORR
 - Structural: Mechanical
 - Electrical: Interiors
 - Landscape: Landscape

Seal(s)

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 Certificate No. AEC15504

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 A Partnership of Corporations
 Jonathan Hughes, Architect, S.A.A. O.A.A. A.B.C. S.A.A. A.A.S. A.A.P.E.
 Allan Young, P.Eng., P.O.C.E.
 Chris Lee, P.Eng., A.P.C.A.

Project Manager: Paul Shannon
 Project Leader: L.A.M.R. T.P.
 Checked: L.A.M.R. T.P.
 Client: Paul Shannon

ONWARD HOMES
 1414 8 STREET SW CALGARY, AB T2R 1A6

Project:
FRANKLIN DEVELOPMENT BLDG 4
 2734 RADCLIFFE DR SE CALGARY, AB, CANADA
 Plan: 6810947; Block: 1; Lot: 1.1 and
 Plan: 6810931; Block: 2; Lot: 4.

Drawing Title
BUILDING ELEVATIONS

Scale: 3/32" = 1'-0"
 Project No.: RZ1124-0094
 Drawing No.: **DP40-04-02**

PRELIMINARY - NOT FOR CONSTRUCTION

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ArchiCAD - Open - /Franklin/Onward/040-0094/040-0094-03.dwg

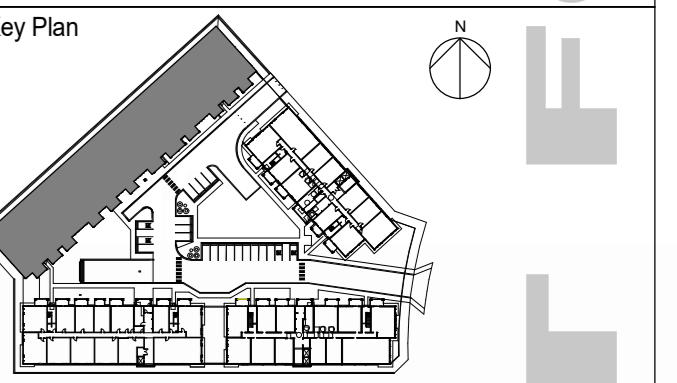


| DATE | ISSUED FOR | REV |
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| 2026-05-22 | ISSUED FOR DP | 1 |

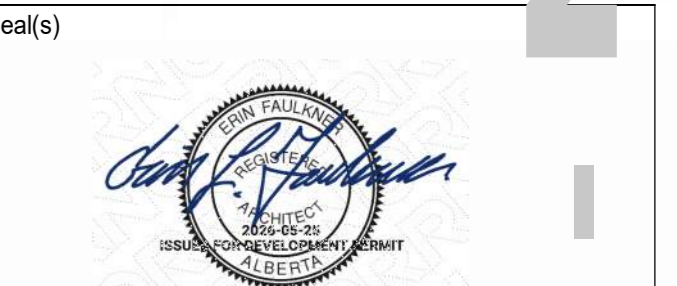
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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component
DEVELOPMENT PERMIT



Consultants
Survey:
Civil:
Architecture: NORR
Structural:
Mechanical:
Electrical:
Interiors:
Landscape:



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Asha Yousif, P.Eng., O.P.E.C.A.
Chris Lee, P.Eng., A.P.E.C.A.

| | |
|---------------------------------|---------------------------|
| Project Manager Paul Shannon | Drawn L.A., M.R., T.P. |
| Project Leader L.Artaza | Checked Paul Shannon |

Client
ONWARD HOMES

1414 8 STREET SW CALGARY, AB T2R 1A6

Project
**FRANKLIN DEVELOPMENT
BLDG 4**
2734 RADCLIFFE DR SE CALGARY, AB, CANADA
Plan: 6810947; Block: 1; Lot: 1.1 and
Plan: 6810931; Block: 2; Lot: 4.

Drawing Title
PERSPECTIVES

Scale

Project No.
RZ1124-0094

Drawing No.
DP40-04-03

PRELIMINARY - NOT FOR CONSTRUCTION