


- GENERAL NOTES:
- DO NOT SCALE DRAWINGS.
 - ANY OMISSIONS ON DRAWINGS SHALL BE REPORTED TO THE DESIGNER BEFORE PROCEEDING.
 - CONTRACTOR SHALL VERIFY ALL SITE MEASUREMENTS AND MATERIALS AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING.
 - ALL WORK IS TO BE DONE IN ACCORDANCE WITH ALL LOCAL BYLAWS AND BUILDING CODES.
 - CONTRACTOR SHALL ENSURE THAT ALL STRUCTURES AND MEMBERS ARE SUFFICIENTLY BRACED AGAINST ALL LOADS.
 - CONTRACTOR TO ENSURE ALL PRE-EXISTING CONDITIONS ARE INSPECTED AND IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES.
 - ALL DIMENSIONS TO DRYWALL U.NO.

ISSUED:
 DP JUN 02 2026



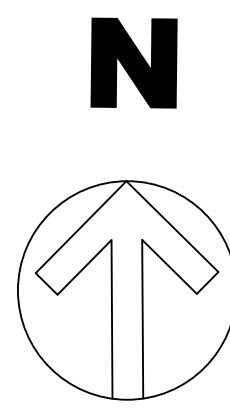
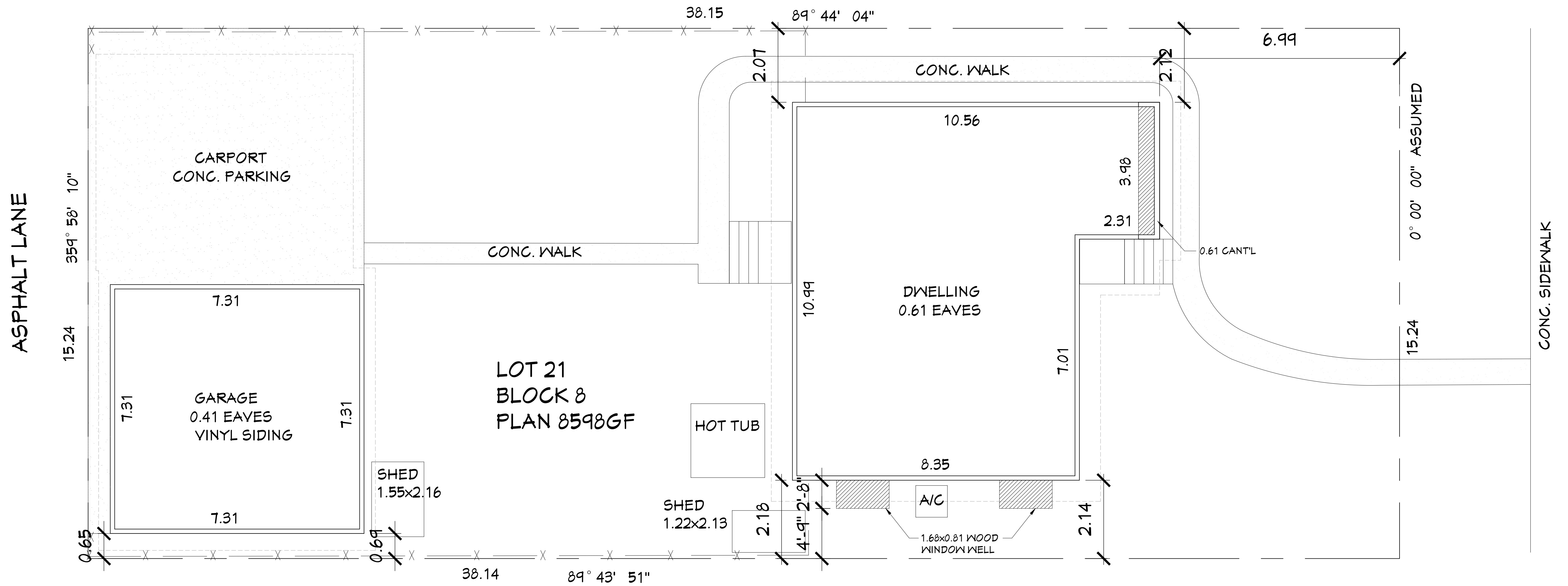
PROJECT:
EXISTING SITE PLAN

JOB ADDRESS:
 3219 26A ST S.W.
 CALGARY, ALBERTA

DESIGNER: J MCLELLAN
 TECHNICIAN: J MCLELLAN
 DATE: JUN 2, 2026
 SCALE: $\frac{3}{16}'' = 1'-0''$
 REVISION: -

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PAGE NUMBER:
A1.0



1
 A1.0

EXISTING SITE PLAN
 SCALE: NTS

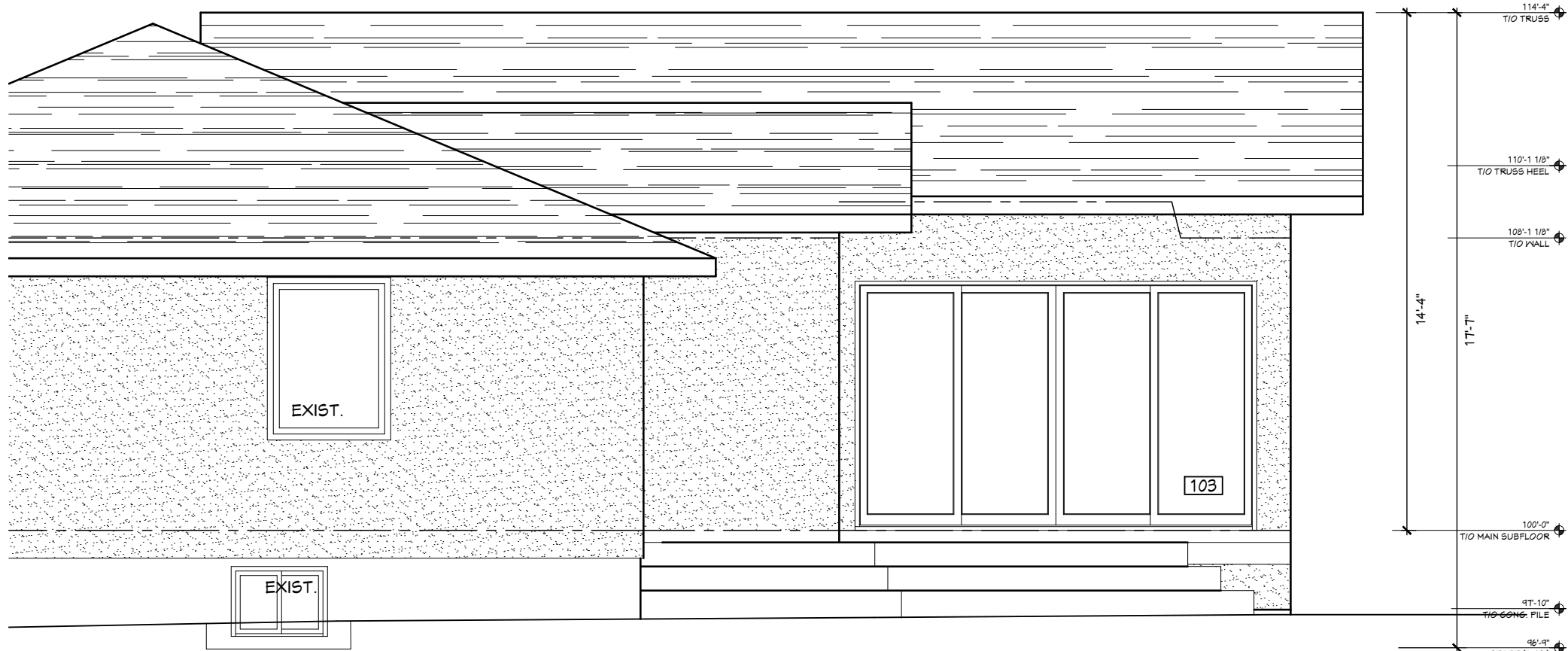
SITE STATISTICS - EXISTING	
MUNICIPAL ADDRESS:	3219 26A ST S.W. CALGARY, AB
LEGAL DESCRIPTION:	LOT 21, BLOCK 8, PLAN 8598GF
COMMUNITY:	RICHMOND
LAND USE DESIGNATION:	R-C1
AREA OF LOT:	6 225.5 sq.ft. (578.3 m ²)
TOTAL COVERAGE:	2 135.3 sq.ft. (198.4 m ²)
HOUSE:	1 069.3 sq.ft. (99.3 m ²)
DETACHED GARAGE:	565 sq.ft. (52.4 m ²)
COVERED CARPORT:	501 sq.ft. (46.5 m ²)
COVERAGE PERCENTAGE (HOUSE, GARAGE AND CARPORT):	34.29%



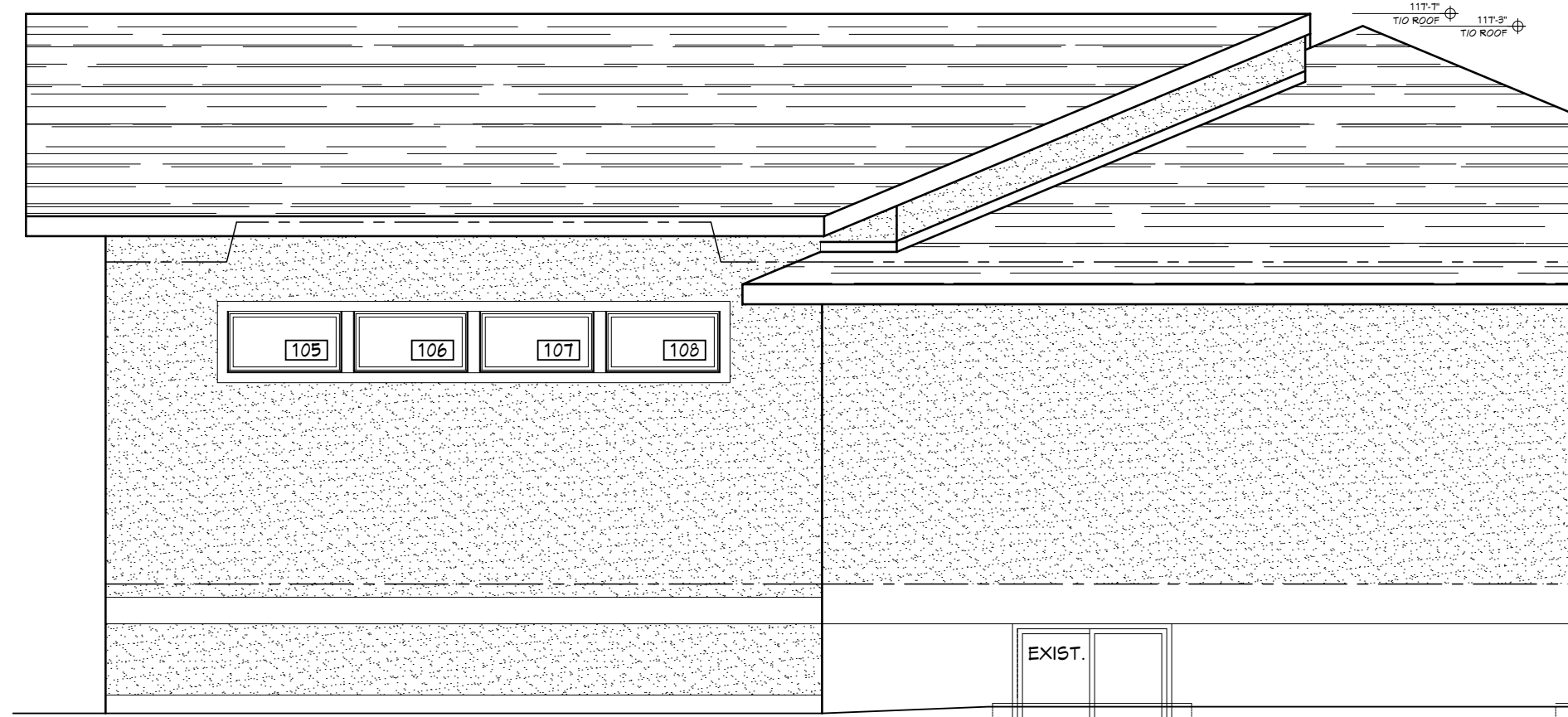
1
A5.0
EAST ELEVATION
SCALE: 1/4" = 1'-0"



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3
A5.0
NEW NORTH ELEVATION
SCALE: 1/4" = 1'-0"



4
A5.0
NEW SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

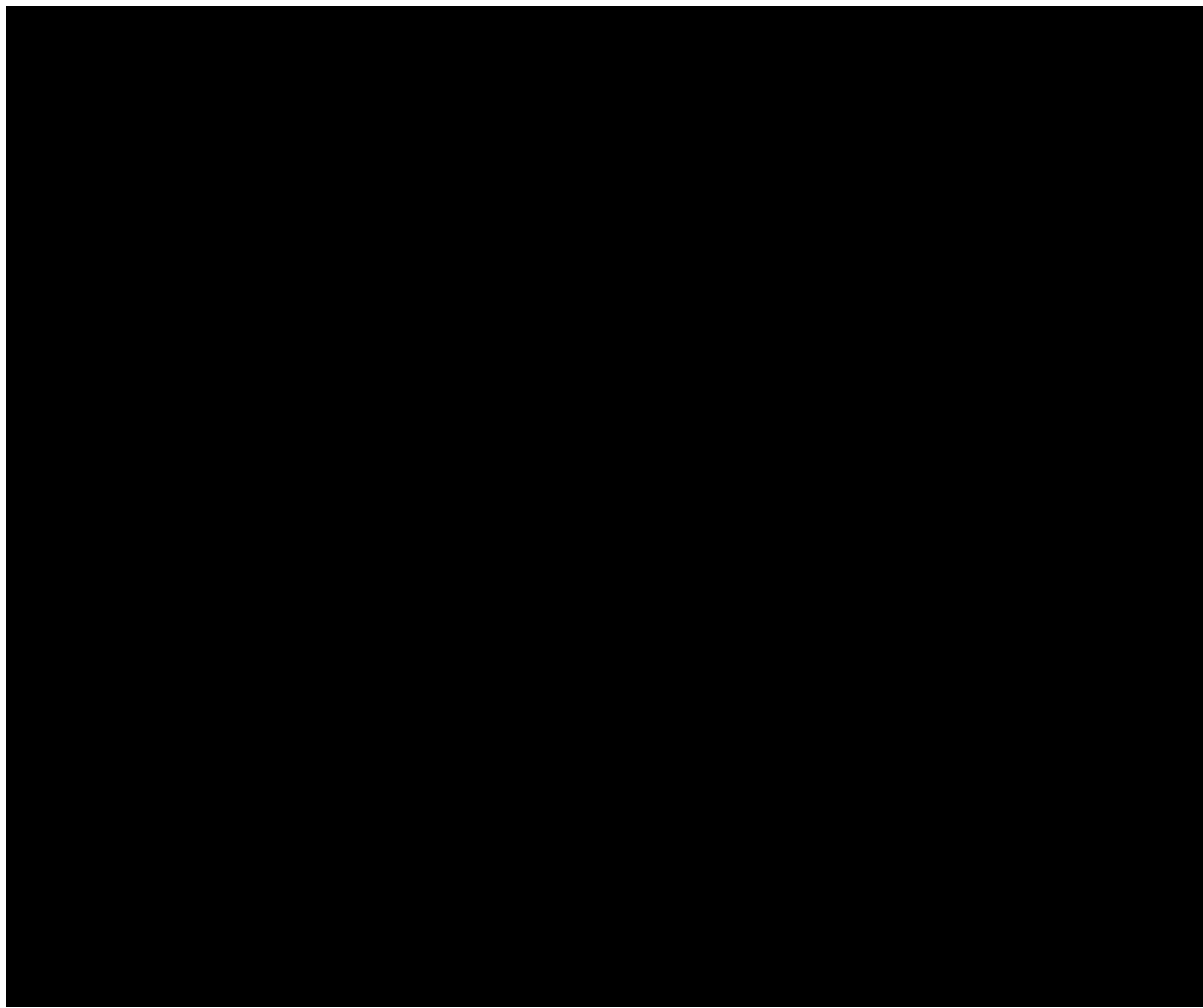
- ISSUED:
- 1 BP 23MAR2026
 - 2 DP 2JUN2026
 - 3



PROJECT:
3219 26a St SW
REAR ADDITION

JOB ADDRESS:
3219 26A ST SW,
CALGARY, ALBERTA

DESIGNER: J MCLELLAN
TECHNICIAN: N FLOOD
DATE: MAY 14, 2026
SCALE: A5 NOTED
REVISION: -



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PROJECT:
**3219 26a St SW
 REAR ADDITION**

JOB ADDRESS: 3219 26A ST SW, CALGARY, ALBERTA
 DESIGNER: J MCLELLAN
 TECHNICIAN: N FLOOD
 DATE: MAY 14, 2026
 SCALE: AS NOTED
 REVISION: -



3 EAST ELEVATION
 SCALE: 3/16" = 1'-0"