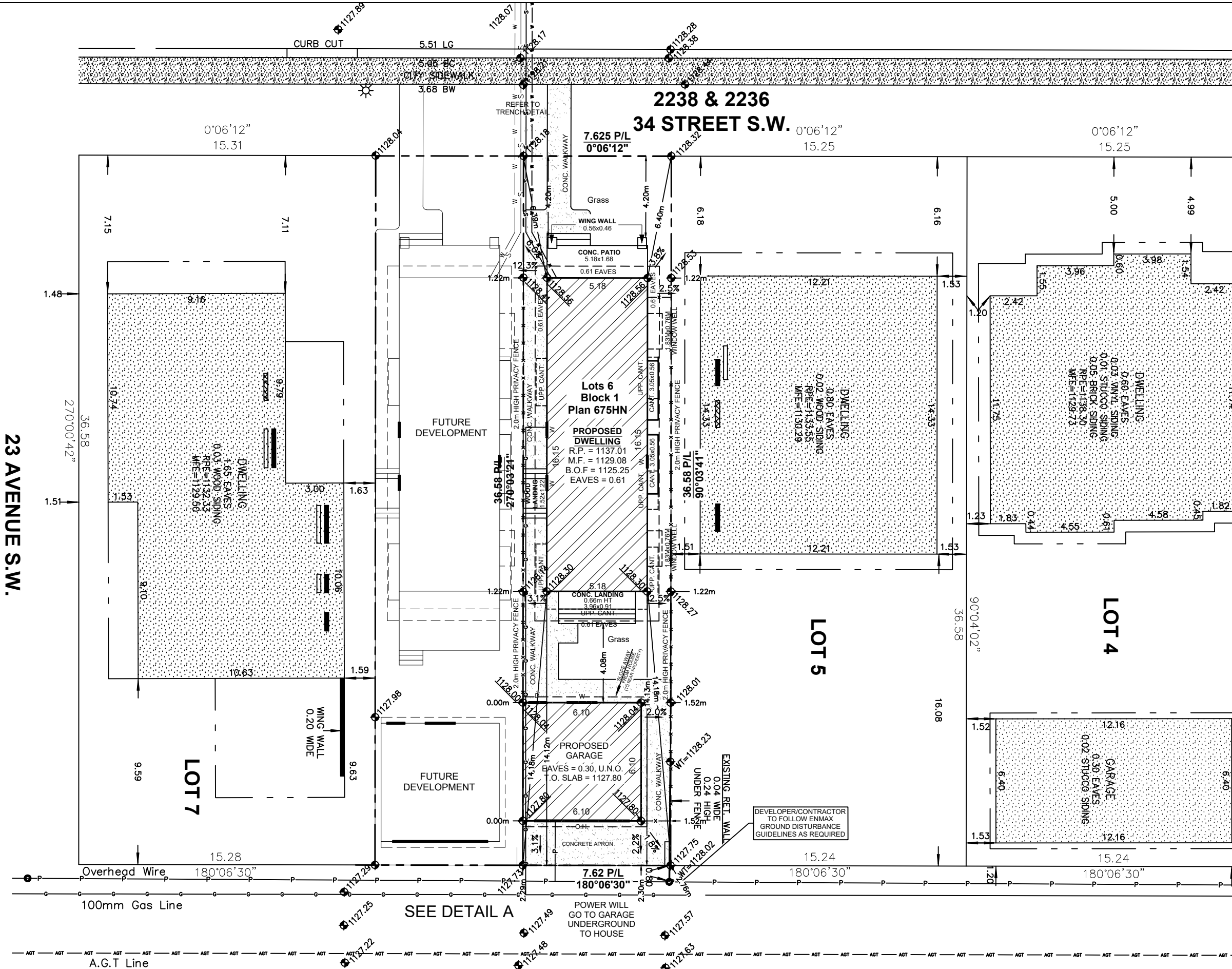


23 AVENUE S.W.

SITE/BLOCK PLAN
SCALE: 1:200

6.10M GRAVEL LANE



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\square$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- denotes Fence
- denotes Sanitary Line
- denotes Storm Line
- denotes Water Line
- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T. Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall
'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-C2 Residential
Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:

Lots 6
Block 1
Plan 675 HN
MUNICIPAL ADDRESS:
2236 & 2238 34 STREET S.W. (North)
Calgary, Alberta

LOT COVERAGE DETAIL: (SINGLE LOT AND HOUSE)

LOT SIZE: 278.697 SQ M
HOUSE SIZE: 83.718 SQ M
COVERED PORCH: 0.000 SQ M
CANT.: 3.406 SQ M
GARAGE: 37.161 SQ M
WING WALL: 0.511 SQ M

TOTAL: 124.796/278.159
= 44.86%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	20/05/2026	DP SITEPLAN	D.J.	2238 34 ST SW - Single - North Calgary, Alberta	SINGLE FAMILY	1: 200
02.				Lots 6 Block 1 Plan 675HN	DATE:	DIVISION NUMBER
03.						S 01
04.						



LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front & Rear Elevations
A-2.1	Right Elevation
A-2.2	Left Elevation
A-4.0	Garage Plan
A-4.1	Garage Elevations
A-4.3	Garage Section

FLOOR AREA

BASEMENT	= 901.00 SQ. FT.
MAIN	= 937.81 SQ. FT.
UPPER	= 1025.33 SQ. FT.
TOTAL	= 1963.14 SQ. FT.



JTA DESIGN + PERMITS

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X _____

PRINTED: 2026-07-28 12:09:09 PM

PROJECT NAME:

2236 & 2238 34 STREET S.W.
NORTH
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

231-26

SCALE:

AS SHOWN

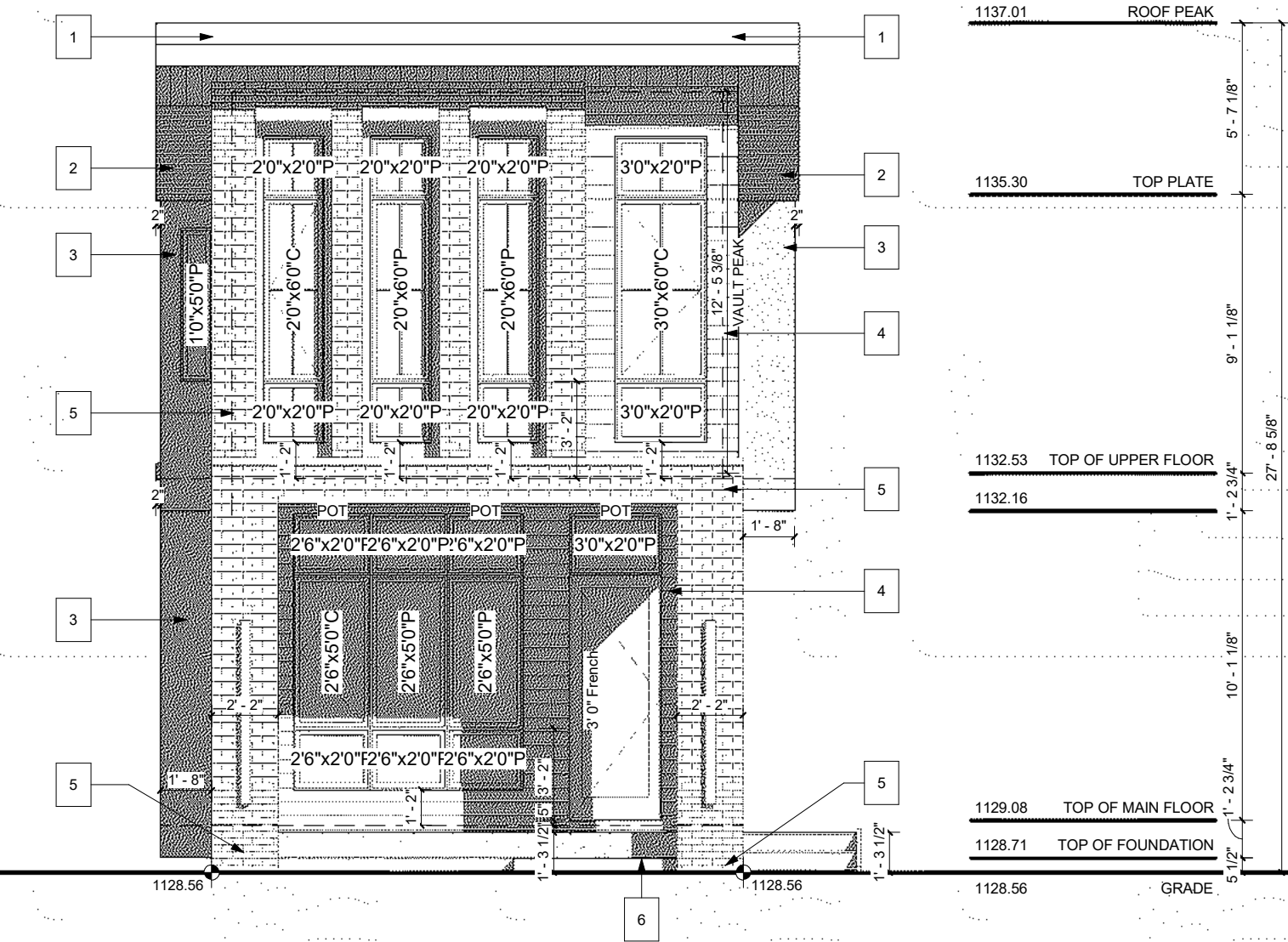
SHEET:

A-0.0

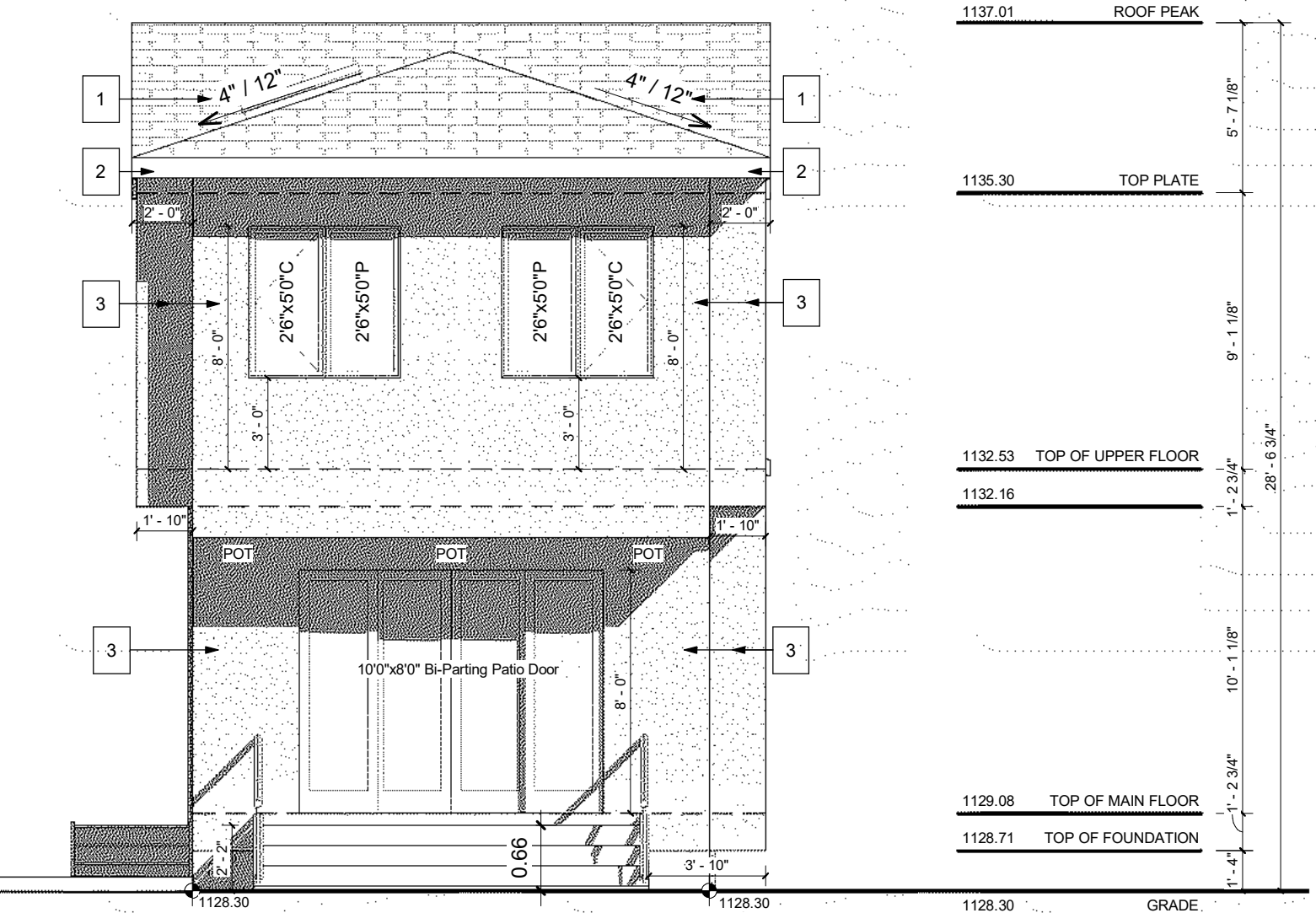
EXTERIOR FINISHES:

1	ASPHALT SHINGLE	4	HARDIE FINISH - WHITE	7	CONCRETE PARGING
2	8" ALUMNIMUM FASCIA	5	BRICK FINISH AS SPEC'D.	8	TORCH ON ROOFING
3	STUCCO FINISH - LIGHT GREY	6	CAST-IN-PLACE CONCRETE		

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION
SCALE: 3/16" = 1'-0"

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ISSUES:

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03.	--	--	--
04.	--	--	--
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PROJECT:

NEW HOME

STATUS:

SIGNATURES:
X

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PROJECT NAME:

2236 & 2238 34 STREET S.W. NORTH
CALGARY, ALBERTA

DESIGNER:
JT

JOB #:
231-26

SCALE:
AS SHOWN

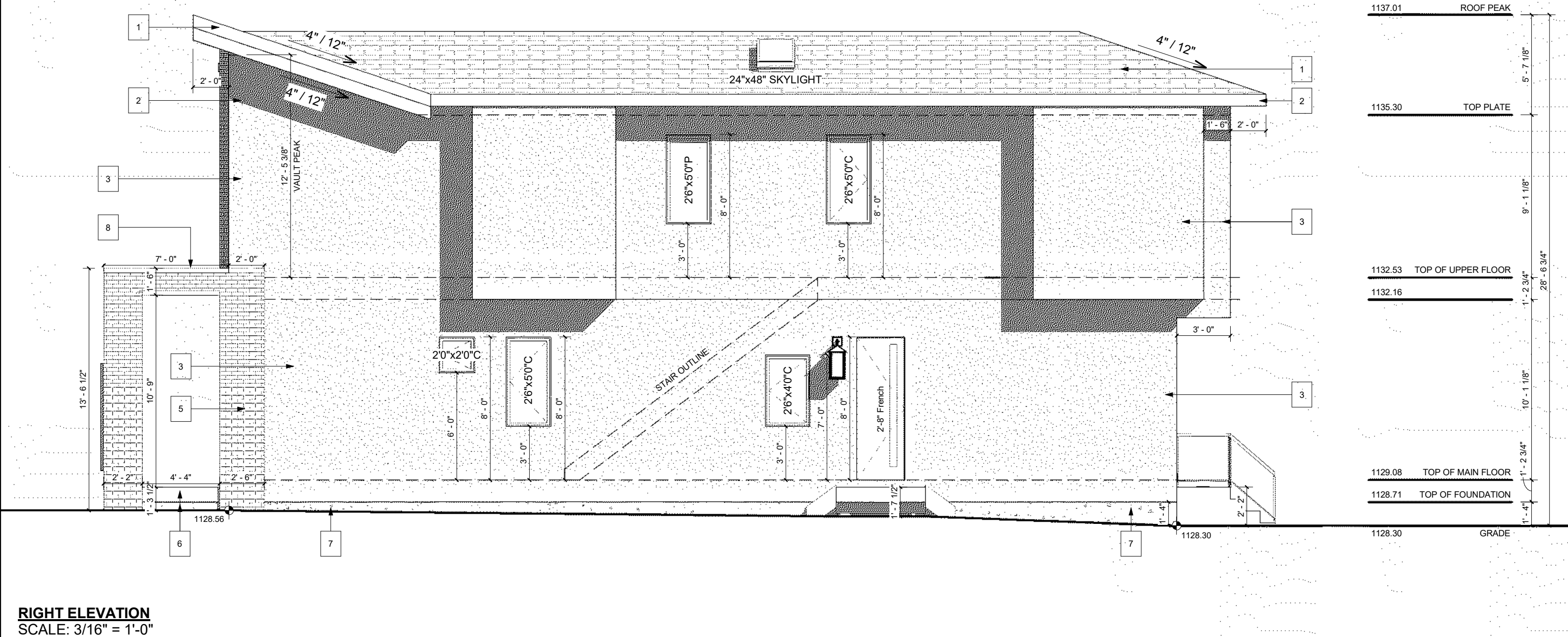
SHEET:
A-2.0

EXTERIOR FINISHES:

1	ASPHALT SHINGLE	4	HARDIE FINISH - WHITE	7	CONCRETE PARGING
2	8" ALUMNIMUM FASCIA	5	BRICK FINISH AS SPEC'D.	8	TORCH ON ROOFING
3	STUCCO FINISH - LIGHT GREY	6	CAST-IN-PLACE CONCRETE		

WINDOW CALCULATION
WALL AREA = 1258.89 SQ. FT.
WINDOW AREA = 76.40 SQ. FT.
TOTAL: 76.40 / 1258.89 = 6.07%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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PROJECT:

NEW HOME

STATUS:

SIGNATURES:

X

PRINTED: 2026-07-28 12:09:13 PM



PROJECT NAME:

2236 & 2238 34 STREET S.W. NORTH
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

231-26

SCALE:

AS SHOWN

SHEET:

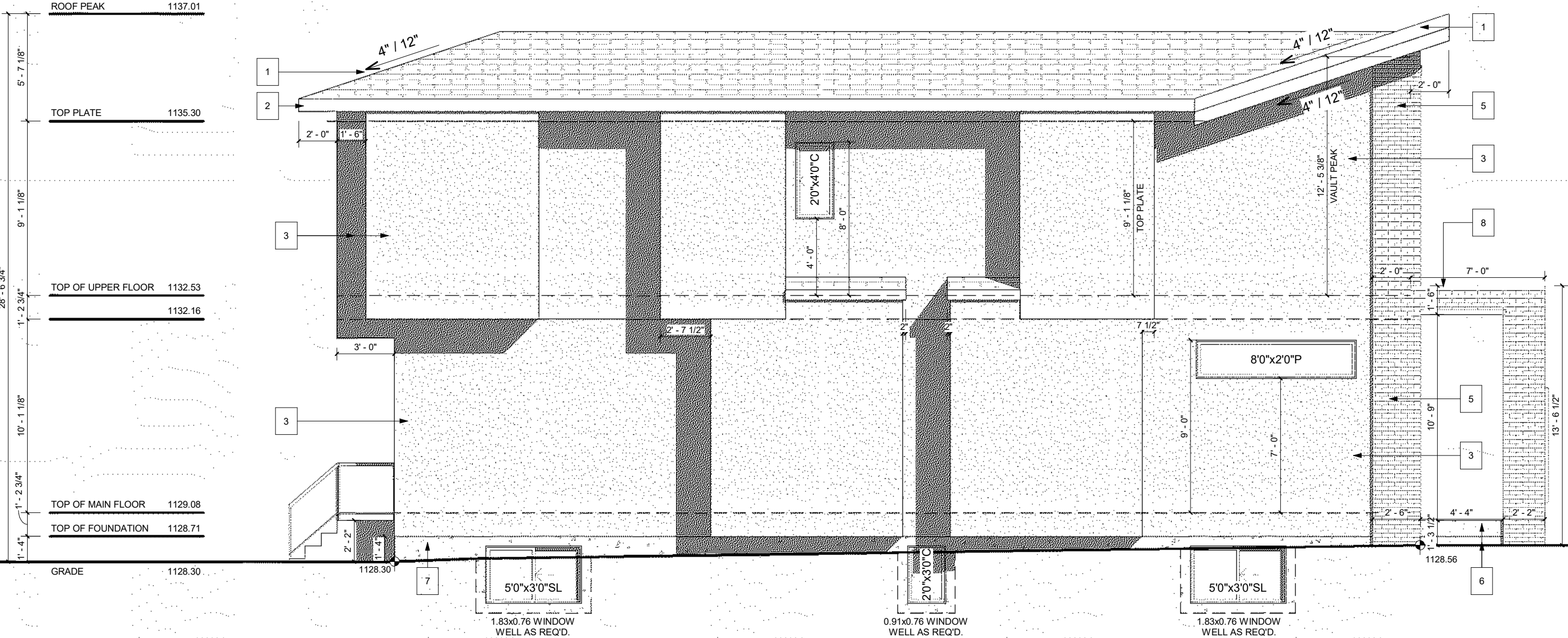
A-2.1

EXTERIOR FINISHES:

1	ASPHALT SHINGLE	4	HARDIE FINISH - WHITE	7	CONCRETE PARGING
2	8" ALUMNIMUM FASCIA	5	BRICK FINISH AS SPEC'D.	8	TORCH ON ROOFING
3	STUCCO FINISH - LIGHT GREY	6	CAST-IN-PLACE CONCRETE		

WINDOW CALCULATION
WALL AREA = 1263.5 SQ. FT.
WINDOW AREA = 33.30 SQ. FT.
TOTAL: 33.30 / 1263.5 = 2.64%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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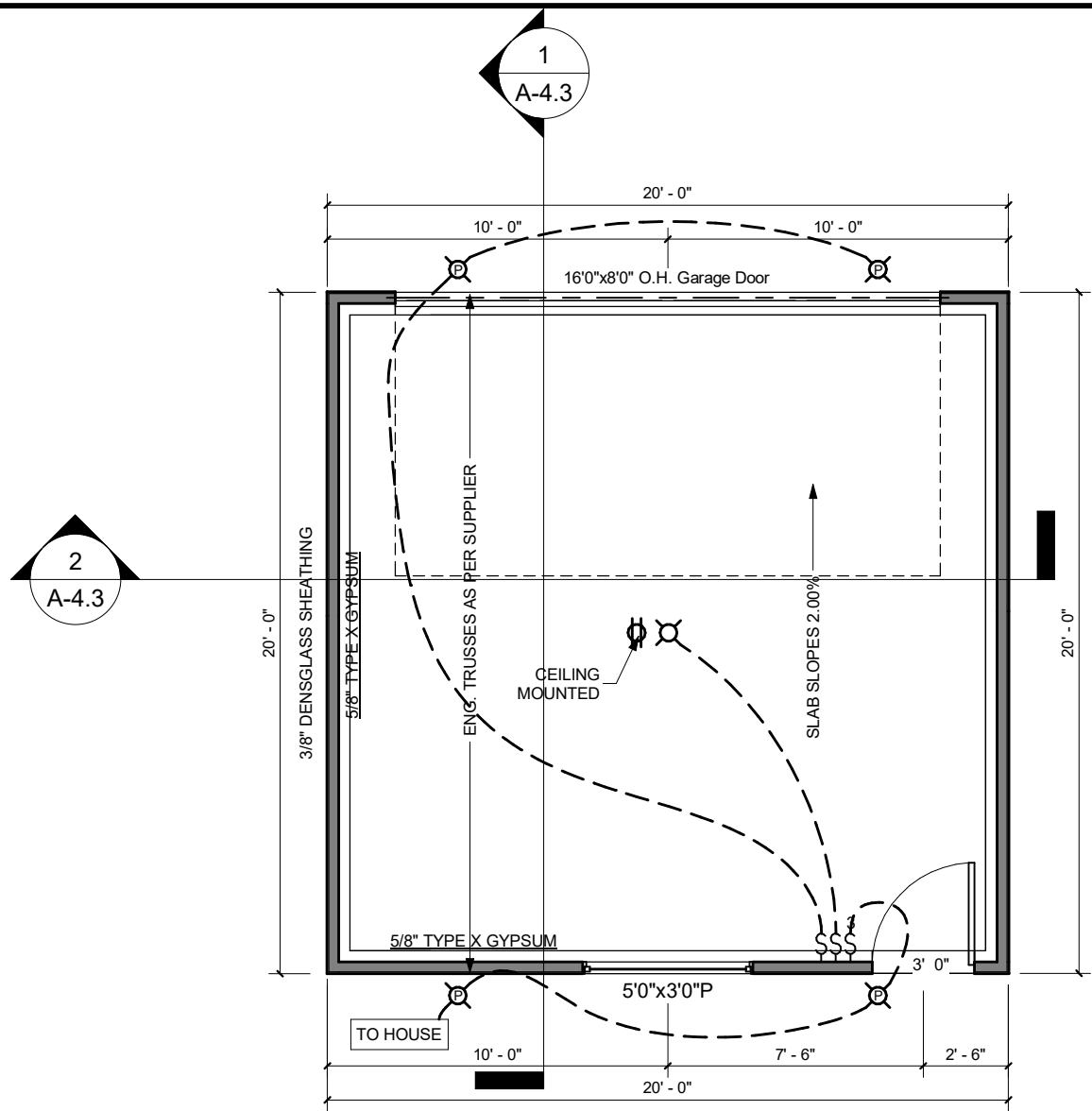
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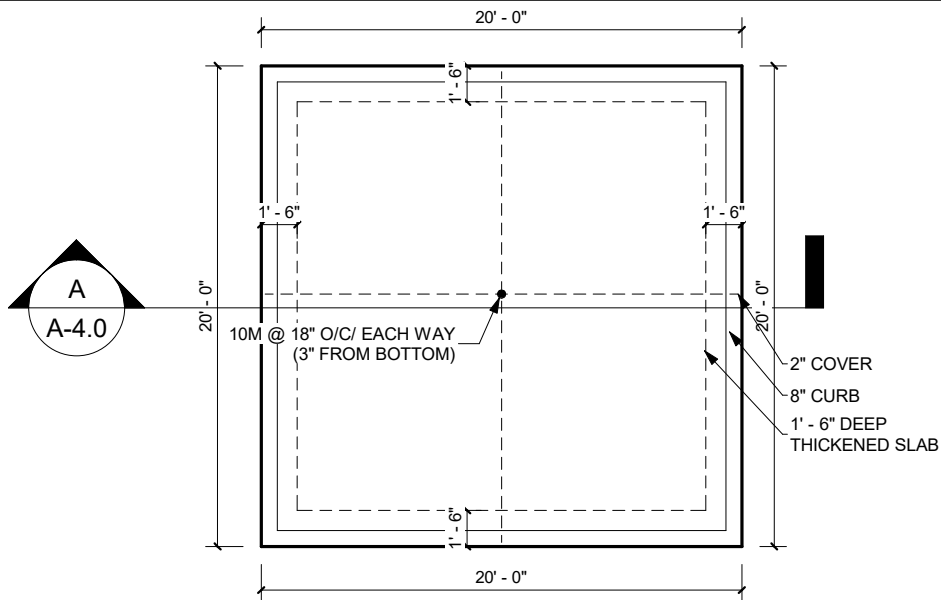
PROJECT:	NEW HOME
STATUS:	-
SIGNATURES:	X
PRINTED:	2026-07-28 12:09:13 PM



PROJECT NAME: 2236 & 2238 34 STREET S.W. NORTH CALGARY, ALBERTA	
DESIGNER: JT	JOB #: 231-26
SCALE: AS SHOWN	SHEET: A-2.2



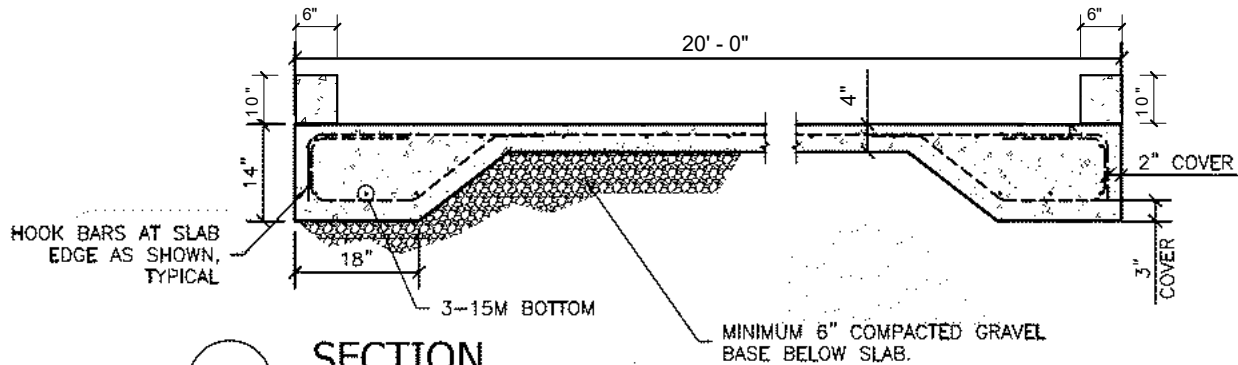
GARAGE FLOOR PLAN
SCALE: 3/16" = 1'-0"



GARAGE FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

NOTE: FOUNDATION IS DESIGNED AS A FLOATING SLAB. SEASONAL MOVEMENT AND/OR SETTLEMENT ARE ANTICIPATED

* 32MPa CONCRETE STRENGTH AT 28 DAYS C/W TYPE 50 CEMENT UNLESS RECOMMENDED OTHERWISE BY GEOTECHNICAL ENGINEER.



SECTION
Scale: NTS

ELECTRICAL SCHEDULE			
CEILING FIXTURE	⊗	TV OUTLET	Ⓜ
WALL SCONES	⦿	4-WAY SWITCHING	Ⓢ
POT LIGHTING	⊗	3-WAY SWITCHING	Ⓢ
SMOKE DETECTOR	Ⓢ	SINGLE SWITCHING	Ⓢ
BATH FAN	⊗	STANDARD PLUG	Ⓢ
DATA OUTLET	Ⓢ	GFI PLUG	Ⓢ



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ISSUES:

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PROJECT: NEW HOME

STATUS: -

SIGNATURES:
X _____

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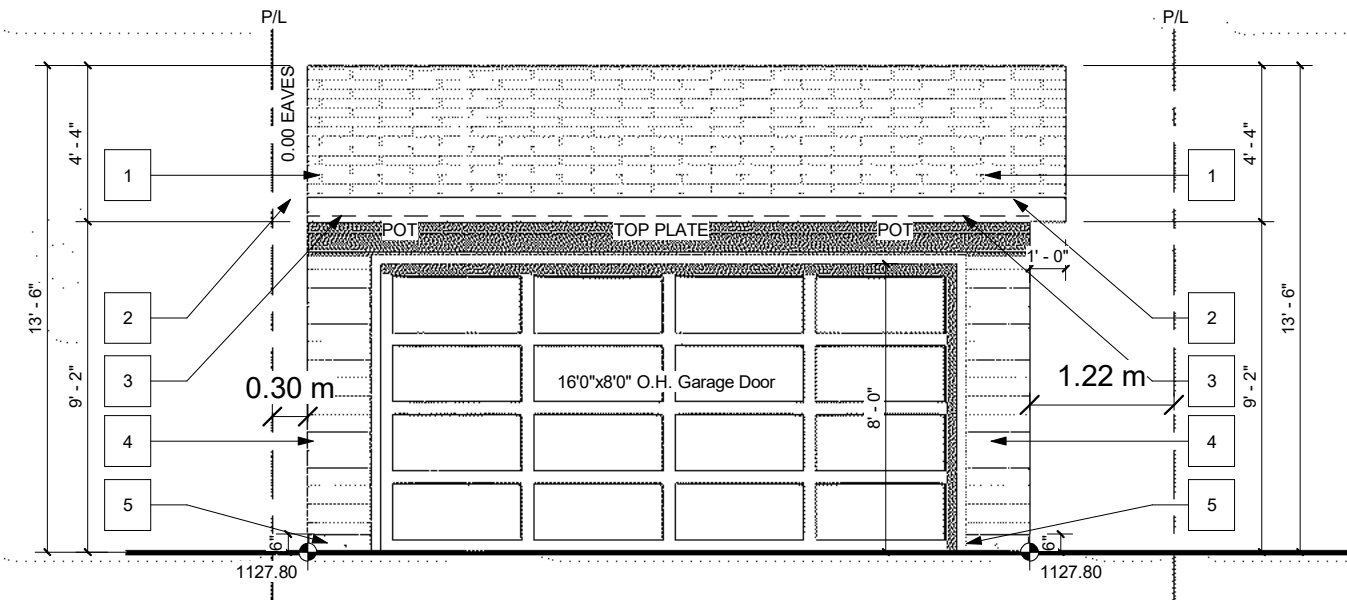
PROJECT NAME:
2236 & 2238 34 STREET S.W.
NORTH
CALGARY, ALBERTA

DESIGNER: JT
JOB #: 231-26

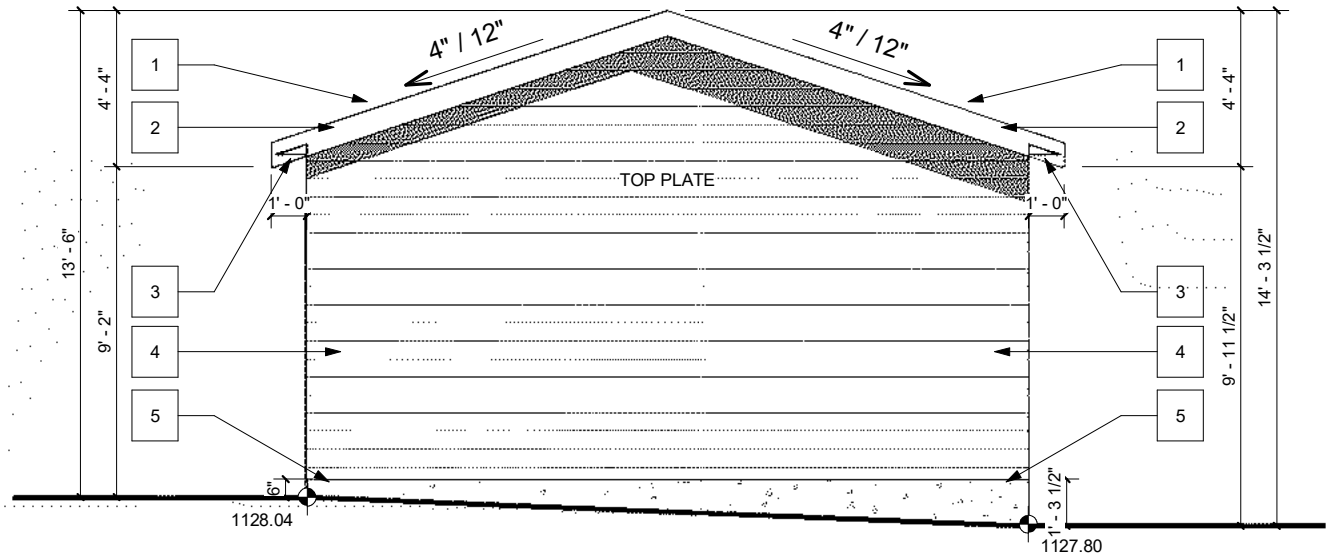
SCALE: AS SHOWN
SHEET: A-4.0

EXTERIOR FINISHES:

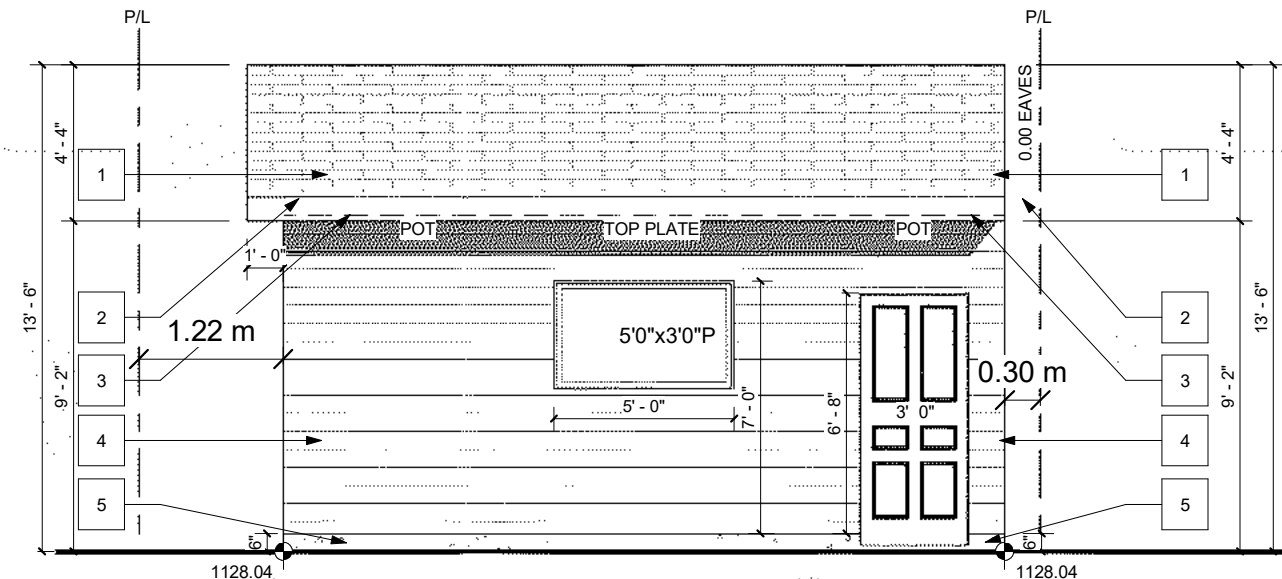
- 1 ASPHALT SHINGLES
- 2 8" ALUMINUM FASCIA
- 3 ALUMINUM SOFFIT
- 4 HARDIE FINISH
- 5 CONC. PARGING



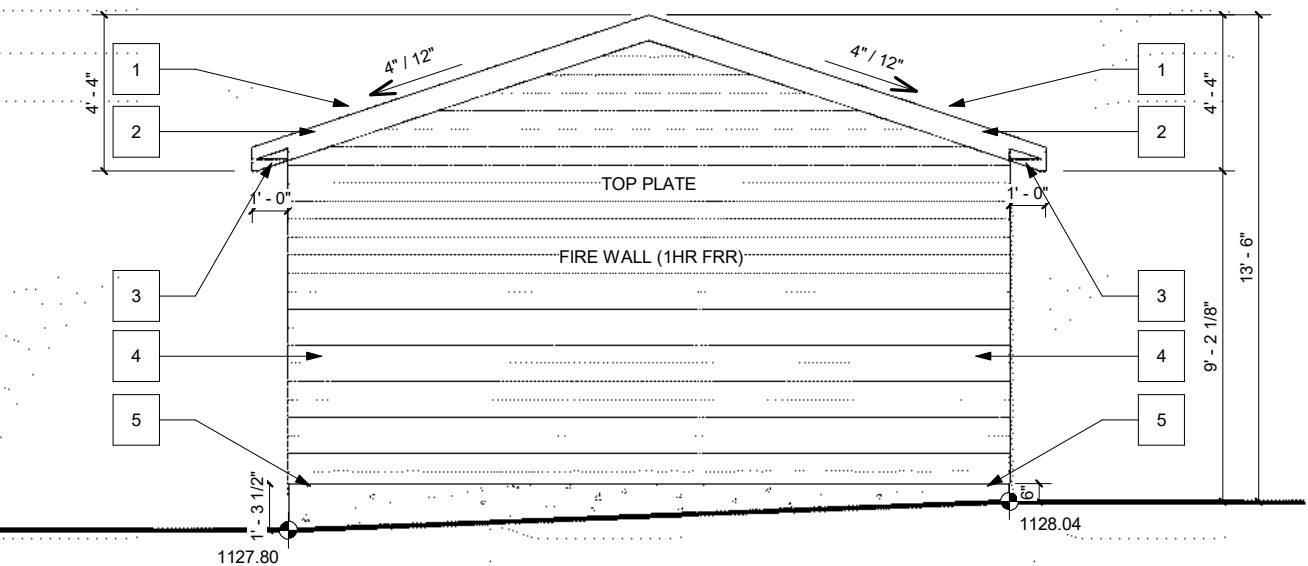
GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"



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PROJECT:
NEW HOME

STATUS:

SIGNATURES:
X

PRINTED: 2026-07-28 12:09:14 PM

PROJECT NAME:
2236 & 2238 34 STREET S.W.
NORTH
CALGARY, ALBERTA

DESIGNER:	JOB #:
JT	231-26
SCALE:	SHEET:
AS SHOWN	A-4.1



JTA DESIGN + PERMITS

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X _____

PRINTED: 2026-07-28 12:09:14 PM

PROJECT NAME:

2236 & 2238 34 STREET S.W.
NORTH
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

231-26

SCALE:

AS SHOWN

SHEET:

A-4.3

TYPICAL TRUSS ROOF (4:12 Slope, uninsulated)
asphalt shingles or equivalent roofing felt
3/8" plywood or OSB sheathing c/w H-clips
engineered roof trusses (as per supplier's layout)
prefinished metal or clear cedar soffit (non-vented @ sideyards), as per builder's spec on exterior

CONFIRM HEEL HEIGHT WITH BUILDER

TYPICAL 2X4 GARAGE WALL
smooth acrylic stucco (as per elevation drawings)
2-ply building paper
3/8" ply or OSB sheathing
2x4 studs @ 24" o.c. (unless otherwise noted)

TYPICAL GARAGE SLAB
4" sitecast concrete
10M rebar at 18" on center both ways
6" compacted gravel

LINE OF GROUND

THICKENED SLAB

TYPICAL TRUSS ROOF (4:12 Slope, uninsulated)
asphalt shingles or equivalent roofing felt
3/8" plywood or OSB sheathing c/w H-clips
engineered roof trusses (as per supplier's layout)
prefinished metal or clear cedar soffit (non-vented @ sideyards), as per builder's spec on exterior

CONFIRM HEEL HEIGHT WITH BUILDER

TYPICAL 2X4 GARAGE WALL
smooth acrylic stucco (as per elevation drawings)
2-ply building paper
3/8" ply or OSB sheathing
2x4 studs @ 24" o.c. (unless otherwise noted)

TYPICAL GARAGE SLAB
4" sitecast concrete
10M rebar at 18" on center both ways
6" compacted gravel

LINE OF GROUND

THICKENED SLAB

TYPICAL TRUSS ROOF (4:12 Slope, uninsulated)
asphalt shingles or equivalent roofing felt
3/8" plywood or OSB sheathing c/w H-clips
engineered roof trusses (as per supplier's layout)
prefinished metal or clear cedar soffit (non-vented @ sideyards), as per builder's spec on exterior

TYPICAL 2X4 GARAGE WALL
smooth acrylic stucco (as per elevation drawings)
2-ply building paper
3/8" ply or OSB sheathing
2x4 studs @ 24" o.c. (unless otherwise noted)

TYPICAL GARAGE SLAB
4" sitecast concrete
10M rebar at 18" on center both ways
6" compacted gravel

LINE OF GROUND

THICKENED SLAB

TYPICAL TRUSS ROOF (4:12 Slope, uninsulated)
asphalt shingles or equivalent roofing felt
3/8" plywood or OSB sheathing c/w H-clips
engineered roof trusses (as per supplier's layout)
prefinished metal or clear cedar soffit (non-vented @ sideyards), as per builder's spec on exterior

FIRE-RATED GARAGE WALL
smooth acrylic stucco (as per elevation drawings)
2-ply building paper
3/8" densglass sheathing
2x4 studs @ 24" o.c. (unless otherwise noted)
5/8" type "X" gypsum board to run to underside of roof sheathing

TYPICAL GARAGE SLAB
4" sitecast concrete
10M rebar at 18" on center both ways
6" compacted gravel

LINE OF GROUND

THICKENED SLAB

GARAGE SECTION 1

SCALE: 3/16" = 1'-0"

GARAGE SECTION 2

SCALE: 3/16" = 1'-0"

APPLICANT RESPONSE TO ENMAX COMMENTS

1-

- Please confirm grade changes with the detailed retaining wall. No grade decreases allowed within 3m of utility pole. Grade increases up to 0.5m are permitted within a 3m radius of utility poles (gradient no greater than 4:1). Grade increases greater than 0.5m to be submitted to ENMAX for review.

RESPONSE: No grade changes are proposed within 3m of the utility pole. All grades within a 3m radius from the pole are existing. Refer to S.01.

2-

- The proposed fence installation is within 2.00m of the existing utility pole as shown on the attached redline. Please confirm in writing that ENMAX's Ground Disturbance Guidelines will be followed prior to and during construction around the pole.

RESPONSE: The proposed fence location was revised to be over 3m away from the utility pole. Refer to S.01.

3-

- Development on south side of property is within 3m from the overhead transformer. As per CSA C22.3 No. 1:25 Overhead Systems, section 5.7.6.2, no combustible materials can be within 3m from an overhead transformer. Please remove combustible materials from within 3m of the transformer.

RESPONSE: Garage was relocated to be over 3m away from the overhead transformer.

4-

- The proposed development is in close proximity electrical clearance zone for the secondary line. Please see below for more information. Please complete the attached questionnaire and return to ENMAX for review.

RESPONSE: Refer to Construction Safety Management Plan in the next page.

CONSTRUCTION SAFETY MANAGEMENT PLAN

LIMITS OF APPROACH: Construction activities will be planned and supervised to ensure all workers, equipment, temporary access systems, and building materials remain outside the minimum limits of approach required by the Alberta Occupational Health and Safety Code and ENMAX. If work cannot maintain the required clearances, ENMAX will be contacted in advance to implement the appropriate protective measures before construction proceeds.

SITE CONTROLS: The contractor will establish appropriate site controls, including safety signage, designated work zones, and physical barriers where required, to prevent encroachment into the safe work zone. The site supervisor will monitor construction activities and ensure all workers and subcontractors are informed of the overhead power line hazard and required clearance distances through site orientations and regular safety meetings.

COORDINATION WITH ENMAX: Prior to commencing construction within proximity of the overhead power line, the contractor will contact lineinspection@enmax.com to determine the applicable limits of approach and coordinate any required line protection, temporary de-energization, or other protective measures necessary to safely complete the work.