

## Planning Analysis | The Vibe 2 - 17<sup>th</sup> Ave

April 30, 2026

### Planning & Development Services

The City of Calgary | Mail Code: #8076

Floor 5, Municipal Building, 800 Macleod Trail SE

P.O. Box 2100, Station M, Calgary, AB Canada T2P 2M5

### RE: The Vibe 2 - 17th Ave | Ace File Number 25-133

Site Address: 1904 GLENMOUNT DR SW, 4323-4311 17 AV SW

Community: Glendale

Land Use District: A separate Land Use Amendment (MU-1) is ongoing

The proposed development is a 117-unit multifamily apartment-style project contributing much-needed housing diversity within the community. The building includes a below-grade parkade, shared resident amenities, and private balconies for all dwelling units, supporting a high quality of life for residents. The site benefits from excellent access to public transit, located just blocks from the 45 Street LRT Station, with a bus station located along its 17<sup>th</sup> Ave frontage.

While grade changes across the site and existing overhead utility constraints along both the front and rear property frontages have presented design challenges, the proposed development responds through thoughtful massing considering setbacks to residential areas, building articulation, and a comprehensive landscape strategy. High-quality landscaping is prioritized throughout the site to enhance the public realm and soften building edges despite the limitations imposed by the power lines.

The project is designed to be compatible with the surrounding low-density residential context while introducing a range of unit types, including studio, one-, two-, and three-bedroom homes. In total, the development will provide 206 bedrooms, representing a significant increase in housing capacity compared to the estimated 8–10 bedrooms previously accommodated across the existing lots.

Please see the following page for a description of the requested variances/considerations for this application.

Sincerely,

Ace Architecture Inc.

Per.

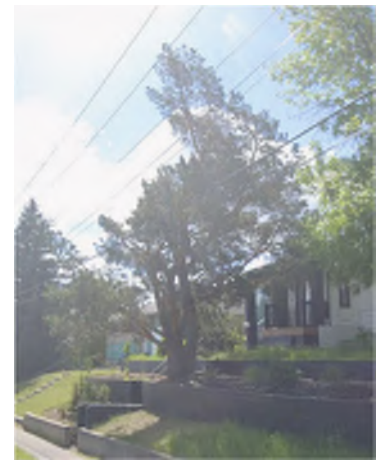
Michelle Bootsma

## VARIANCES/REQUESTS:

### 1. Public Tree Removal

Removal is proposed for one mature City of Calgary lodgepole pine (*Pinus contorta*), 56 cm in trunk diameter, located immediately adjacent to the site. Long-term retention of the tree is not viable due to unavoidable conflicts with overhead power lines and the proposed redevelopment. The tree is situated directly beneath ENMAX electrical infrastructure, and its species and mature height are incompatible with current utility clearance requirements. Ongoing retention would require repeated aggressive pruning, resulting in continued utility conflict, increased maintenance, and declining tree health (see photos of tree, via 2024 Google Streetview). Following existing ENMAX planting guides, this tree would not be allowed to be planted in this location.

Additionally, the proposed 117-unit multi-residential development includes a below-grade parkade to meet parking requirements. Excavation and shoring would be required within the tree's critical root zone where tree protection setbacks cannot be maintained, and construction would pose a high risk of tree failure or mortality. Given the combined constraints of utility conflicts, proximity to the property line, and required excavation, removal of this single tree is requested.



### 2. Ramp/Stairs Off-Property

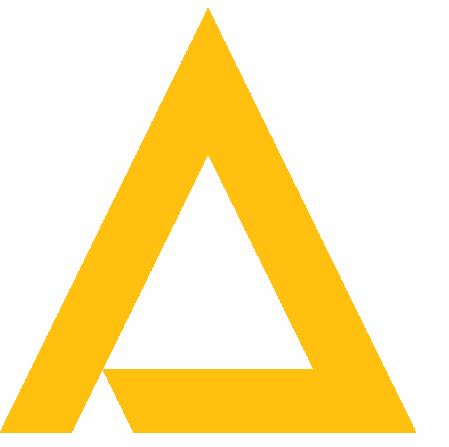
A barrier-free ramp and a set of stairs to the main public entry are proposed partially within City property to provide a safe, accessible, and code-compliant pedestrian connection between the public sidewalk along 17 Avenue directly to the building's main entrance. The ramp and stairs have been located on private property to the greatest extent possible; however, the significant grade change across the site and narrow depth make a fully on-site solution infeasible. In order to provide parking for the residents of the proposed development, due to the narrow nature of the site much of the underground area is taken up by the parkade which limits the area available for stairs and ramps along 17<sup>th</sup> Ave. Additionally, The building's main floor elevation is aligned with the south lane to accommodate parkade access, servicing, and operations, resulting in an elevation difference that cannot be resolved entirely within the property boundary. The single-family homes previously on the lots in this location all also utilized stairs located off property to provide access.

The main entrance and lobby are oriented toward 17 Avenue to improve building functionality, accessibility, and pedestrian connectivity. Locating the lobby along Glenmount Drive would result in long internal travel distances to the elevator core and east units due to the building's width, reducing convenience and equitable access. The selected entrance location provides a centralized and efficient access point while strengthening the building's relationship to the public realm, including proximity to an existing bus stop and an active pedestrian corridor. Overall, the proposed ramp, stairs, and lobby location respond to site topography, accessibility requirements, and urban design objectives while minimizing encroachment onto City property where feasible and utilizing existing strategies of the single family homes located here already for combating the grade changes across the site.

# VIBE 2 - SKYVIEW PROPERTIES

PROJECT NUMBER: 25-133

1904 GLENMOUNT DR SW,  
4323-4311 17 AV SW



IMAGES ON THIS PAGE ARE REPRESENTATIONS ONLY. EXACT CONFIGURATION MAY VARY. REFER TO DRAWINGS CONTAINED HEREIN. BUILDING AND SITE DESIGN SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION.

## DRAWING INDEX

### ARCHITECTURAL

- DP-00 COVER SHEET
- DP-01.1 PROJECT CONTEXT + STATISTICS
- DP-01.2 EXISTING SITE SURVEY
- DP-02.1 SITE PLAN
- DP-03.1 FLOOR PLAN - PARKADE
- DP-03.2 FLOOR PLAN - LEVEL 1 & 2
- DP-03.3 FLOOR PLAN - LEVELS 3-5 & 6
- DP-04.1 ELEVATIONS
- DP-04.2 ELEVATIONS
- DP-05.1 SECTIONS
- DP-05.2 SECTIONS
- DP-06.1 SITE DETAILS
- DP-06.2 SITE DETAILS
- DP-06.3 VEHICLE TURNING ANALYSIS

### CIVIL

### LANDSCAPE

### ELECTRICAL

## ISSUED FOR DP

2026-06-17



### ARCHITECTURAL

Ace Architecture Inc.  
209, 255 - 17 Avenue SW  
Calgary, AB T2S 2T8  
403-212-0626

### CIVIL

Richview Engineering Inc.  
Unit 130, 201 38 Ave NE  
Calgary, AB T2E 2M3  
403-230-3218

### STRUCTURAL

Creative Structural Engineers Ltd.  
780-700-6940

### ELECTRICAL

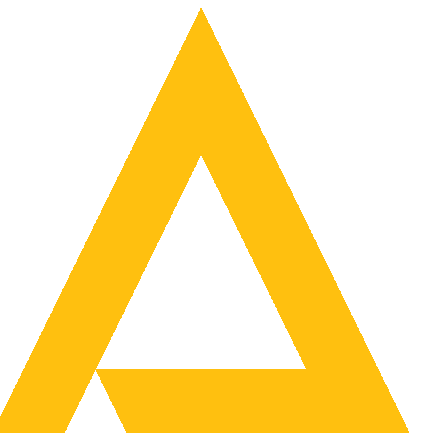
Implicit Engineering Ltd.  
5255 Mullen Crest  
Edmonton, Ab. T6R 0P9  
(780) 668-2754

### LANDSCAPE

W.L.A. Group Ltd.  
12 Richmond Link  
Fort Saskatchewan AB T8L 0S2  
780-554-2545

### MECHANICAL

PMW Engineering  
401, 9945 - 50 Street NW  
Edmonton, Alberta T6A 0L4  
780-424-5539



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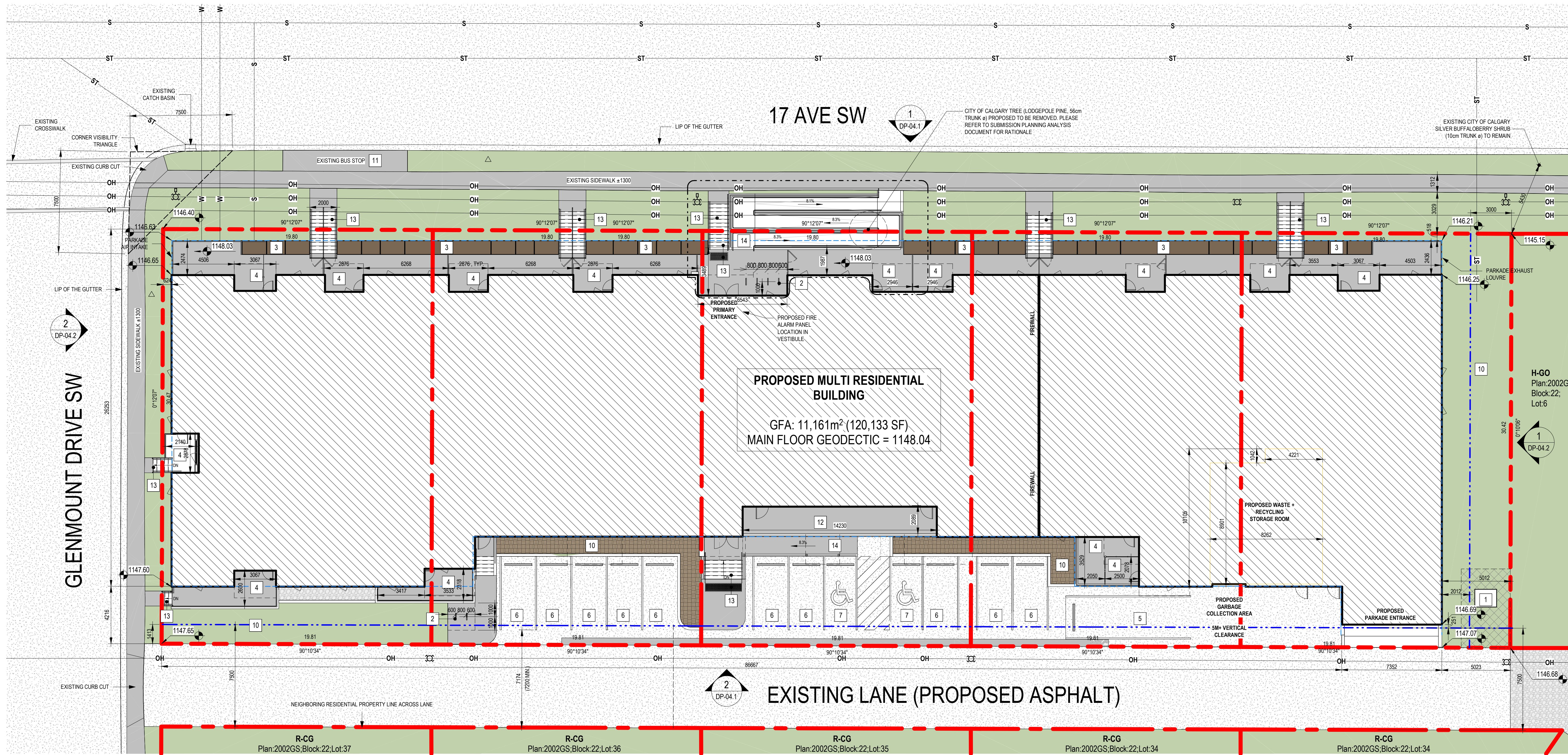
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Revisions:

| No. | Description         | Date       |
|-----|---------------------|------------|
| A   | ISSUED FOR DRAFT DP | 2026-03-27 |
| B   | ISSUED FOR DP       | 2026-06-17 |



1 SITE PLAN  
DP-02.1  
SCALE: 1 : 150

Legends:

|  |                              |
|--|------------------------------|
|  | PROPERTY LINE                |
|  | BYLAW SETBACK LINE           |
|  | OUTLINE OF PARKADE           |
|  | OVERHEAD CLEARANCE LINE      |
|  | OVERHEAD LINE                |
|  | WATER LINE                   |
|  | SANITARY LINE                |
|  | STORM LINE                   |
|  | A.G.T. LINE                  |
|  | GAS LINE                     |
|  | OVERHEAD POWER LINE          |
|  | EXISTING POWER POLE W. LIGHT |
|  | EXISTING POWER POLE          |
|  | EXISTING SITE SIGNAGE        |
|  | BUILDING FOOTPRINT           |
|  | ASPHALT                      |
|  | CONCRETE                     |
|  | LANDSCAPE                    |
|  | MULCH                        |
|  | GRAVEL                       |

| PROJECT INFORMATION  |  | KEYNOTES  |  |
|--|--|---|--|
| <b>MUNICIPAL ADDRESS</b><br>43114315/4319 17 AVENUE SW & 1904 GLENMOUNT DRIVE SW   | <b>GROSS FLOOR AREA:</b><br>MAIN: 1,775 m <sup>2</sup> (19,107 SF)<br>2ND: 1,895 m <sup>2</sup> (20,389 SF)<br>3-5TH: 1,894 m <sup>2</sup> (20,389 SF)<br>6TH: 1,809 m <sup>2</sup> (19,467 SF)<br><b>TOTAL: 11,161 m<sup>2</sup> (120,133 SF)</b> | <b>PARKING STALL</b><br><b>REQUIRED:</b><br>PARKING STALL = 0.75 PER UNIT = 0.75 x 117 = 88<br>VISITOR PARKING STALL = 0.1 PER UNIT = 0.1 x 117 = 12<br>BARRIER-FREE STALL = 4 PER 51-100 (REQUIRED) STALLS = 4<br><b>PROVIDED:</b><br>PARKING STALL = 102 + 2 ACCESSIBLE<br>VISITOR PARKING STALL = 10 + 2 ACCESSIBLE  | 1 PROPOSED ENMAX TRANSFORMER                                       |
| <b>LEGAL ADDRESS</b><br>LOTS 1 TO 5, BLOCK 22, PLAN 2002GS   | <b>FLOOR AREA RATIO:</b><br>PROPOSED = 3.7   | <b>AMENITY SPACE</b><br><b>REQUIRED:</b><br>5.0 m <sup>2</sup> PER UNIT = 117 x 5m <sup>2</sup> = 585 m <sup>2</sup> TOTAL<br>MINIMUM DIMENSION OF 2M<br><b>PROVIDED:</b><br>PRIVATE PATIOS & BALCONIES = 5+ m <sup>2</sup> PER UNIT, REFER TO PLANS<br>AMENITY SPACE = GYM, COWORK, RESIDENTS LOUNGE, PATIO, REFER TO PLANS, TOTAL AREA = ±280m <sup>2</sup> | 2 PROPOSED BIKE RACKS - CLASS 2. REFER TO SITE DETAILS PAGE        |
| <b>LAND USE ZONING</b><br>MU-1 (CONCURRENT LAND USE AMENDMENT)   | <b>DENSITY:</b><br>PROPOSED = 117 UNITS / 0.3 HA = 390 UNITS/HA  | <b>PROPOSED DWELLINGS:</b><br>1-BED = 27<br>1-BED + DEN = 9<br>2-BED = 44<br>2-BED + DEN = 29<br>3-BED = 8<br><b>TOTAL 117 UNITS</b>  | 3 PROPOSED PLANTERS - REFER TO LANDSCAPE DRAWINGS                  |
| <b>MAXIMUM BUILDING HEIGHT</b><br>22m  | <b>WASTE AND RECYCLING</b><br>0.3 YD <sup>3</sup> X UNIT NUMBERS = 0.3 x 117 = 35.1 YD <sup>3</sup> OF WASTE ANTICIPATED PER WEEK<br><b>PROVIDED:</b> 7 x 6 YD <sup>3</sup> + 4 x 240 L = 43.3 YD <sup>3</sup>                                     | <b>BICYCLE PARKING STALL</b><br><b>REQUIRED:</b><br>CLASS 1 = 0.5 PER UNIT = 0.5 x 117 = 59<br>CLASS 2 = 0.1 PER UNIT = 0.1 x 117 = 12<br><b>PROVIDED:</b><br>CLASS 1 = 59<br>CLASS 2 = 12  | 4 PROPOSED PRIVATE PATIO - BRUSHED CONCRETE FINISH                 |
| <b>SITE SETBACKS</b><br>SIDE SETBACK (EAST) = 3m<br>SIDE SETBACK (WEST) = 0<br>REAR SETBACK = 7.5m FROM PROPERTY LINE THAT THE ADJACENT RESIDENTIAL PARCEL SHARES WITH THE LANE<br>FRONT SET BACK = 0 (MAIN STOREY MAX 4.5m FOR 60% OF THE LENGTH OF FACADE FACING STREET) |  |   | 5 PROPOSED LOADING STALL - REFER TO SITE DETAILS PAGE              |
| <b>SITE AREA:</b><br>3,015.2 m <sup>2</sup> (32,456 SF) (0.30 HA)  |  |   | 6 PROPOSED VISITOR PARKING STALL - REFER TO SITE DETAILS PAGE      |
| <b>BUILDING AREA:</b><br>1,928 m <sup>2</sup> (20,756 SF)  |  |   | 7 PROPOSED BARRIER-FREE PARKING STALL - REFER TO SITE DTLS         |
| <b>LANDSCAPING:</b><br>REFER TO LANDSCAPE DRAWINGS FOR PLANTING LOCATIONS AND DETAILS  |  |   | 8 NOT USED   |
|  |  |   | 9 PROPOSED SIDEWALK  |
|  |  |   | 10 PROPOSED PLANTED AREA - REFER TO LANDSCAPE DRAWINGS             |
|  |  |   | 11 EXISTING BUS STOP - EB 17 AV SW @ GLENMOUNT DR, ROUTE #2        |
|  |  |   | 12 PROPOSED OUTDOOR SHARED AMENITY (NOT REQUIRED)                  |
|  |  |   | 13 PROPOSED EXTERIOR STAIR W. CSA B651 COMPLIANT TACTILE INDICATOR |
|  |  |   | 14 PROPOSED EXTERIOR RAMP  |

Client:

Project:

VIBE 2 - SKYVIEW PROPERTIES

Address: 1904 GLENMOUNT DR SW,  
4323-4311 17 AV SW

Sheet Name:

SITE PLAN

Project Number:

25-133

Date:

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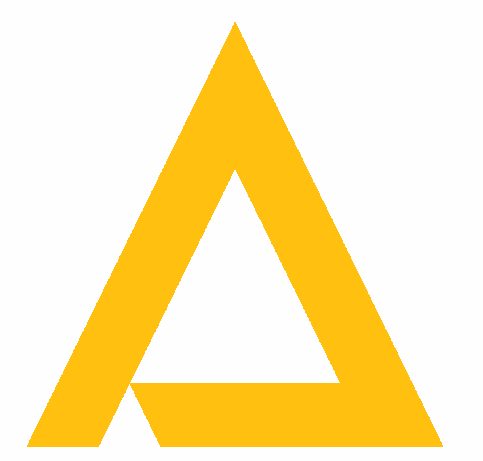
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DP-02.1

Scale:

As indicated

**PROJECT INFORMATION**  
**MUNICIPAL ADDRESS**  
 431143154319 17 AVENUE SW & 1904 GLENMOUNT DRIVE SW  
**LEGAL ADDRESS**  
 LOTS 1 TO 5, BLOCK 22, PLAN 2020GS



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**1 NORTH ELEVATION**  
 DP-04.1 SCALE: 1:150



**2 SOUTH ELEVATION**  
 DP-04.1 SCALE: 1:150

**MATERIAL LEGEND**

- 1 FIBRE CEMENT SMOOTH - AGED PEWTER LAP SIDING
- 2 FIBRE CEMENT - COBBLESTONE PANEL
- 3 FIBRE CEMENT - COBBLESTONE LAP SIDING
- 4 FIBRE CEMENT - SUMMER WHEAT WOOD-LOCK LAP SIDING
- 5 CORRUGATED METAL - BLACK VERTICAL SIDING
- 6 GLAZING CLEAR
- 7 MULLION / TRIM - WHITE PVC
- 8 GLASS RAILING - BLACK HARDWARE GLASS
- 9 PICKET RAILING - BLACK METAL
- 10 PAVING NEUTRAL GREY COLOUR

NOTE: REFER TO LANDSCAPE DRAWINGS FOR PLANTING LOCATIONS AND DETAILS

Client: \_\_\_\_\_

Project: **VIBE 2 - SKYVIEW PROPERTIES**

Address: 1904 GLENMOUNT DR SW, 4323-4311 17 AV SW

**ELEVATIONS**

Project Number: 25-133  
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 Author: \_\_\_\_\_  
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 Checker: \_\_\_\_\_

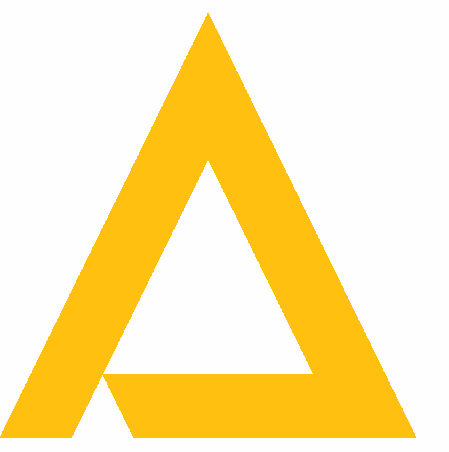
**DP-04.1**

Scale: As indicated

**PROJECT INFORMATION**

**MUNICIPAL ADDRESS**  
431143154319 17 AVENUE SW & 1904 GLENMOUNT DRIVE SW

**LEGAL ADDRESS**  
LOTS 1 TO 5, BLOCK 22, PLAN 2002GS



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Legends:

**MATERIAL LEGEND**

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- 2 FIBRE CEMENT - COBBLESTONE PANEL
- 3 FIBRE CEMENT - COBBLESTONE LAP SIDING
- 4 FIBRE CEMENT - SUMMER WHEAT WOOD-LOOK LAP SIDING
- 5 CORRUGATED METAL - BLACK VERTICAL SIDING
- 6 GLAZING CLEAR
- 7 MULLION / TRIM - WHITE PVC
- 8 GLASS RAILING - BLACK HARDWARE GLASS
- 9 PICKET RAILING - BLACK METAL
- 10 PARKING NEUTRAL GREY COLOUR

NOTE: REFER TO LANDSCAPE DRAWINGS FOR PLANTING LOCATIONS AND DETAILS

Client:

Project:

**VIBE 2 - SKYVIEW PROPERTIES**

Address: 1904 GLENMOUNT DR SW,  
4323-4311 17 AV SW

Sheet Name:

**ELEVATIONS**

Project Number:

25-133

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Author

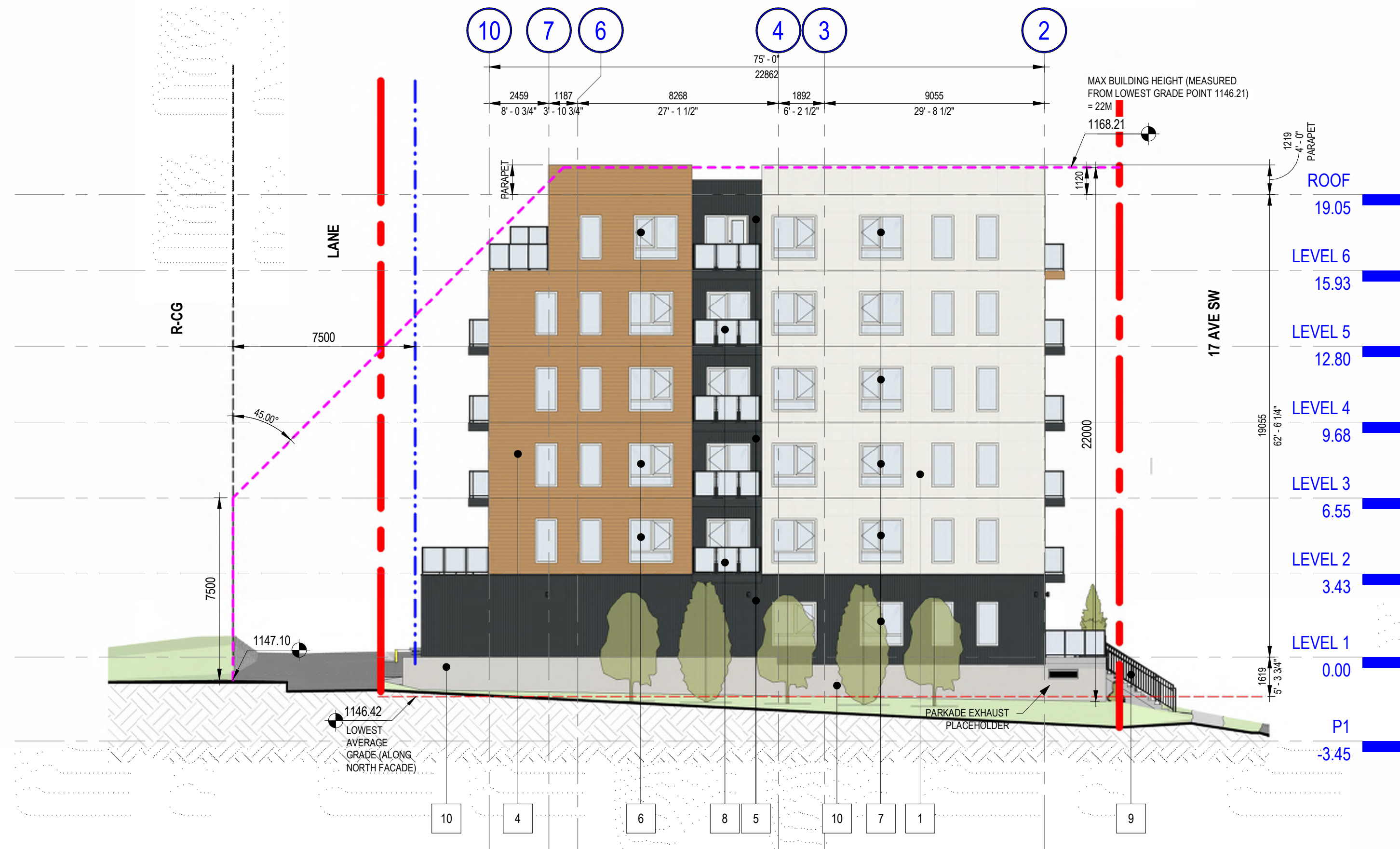
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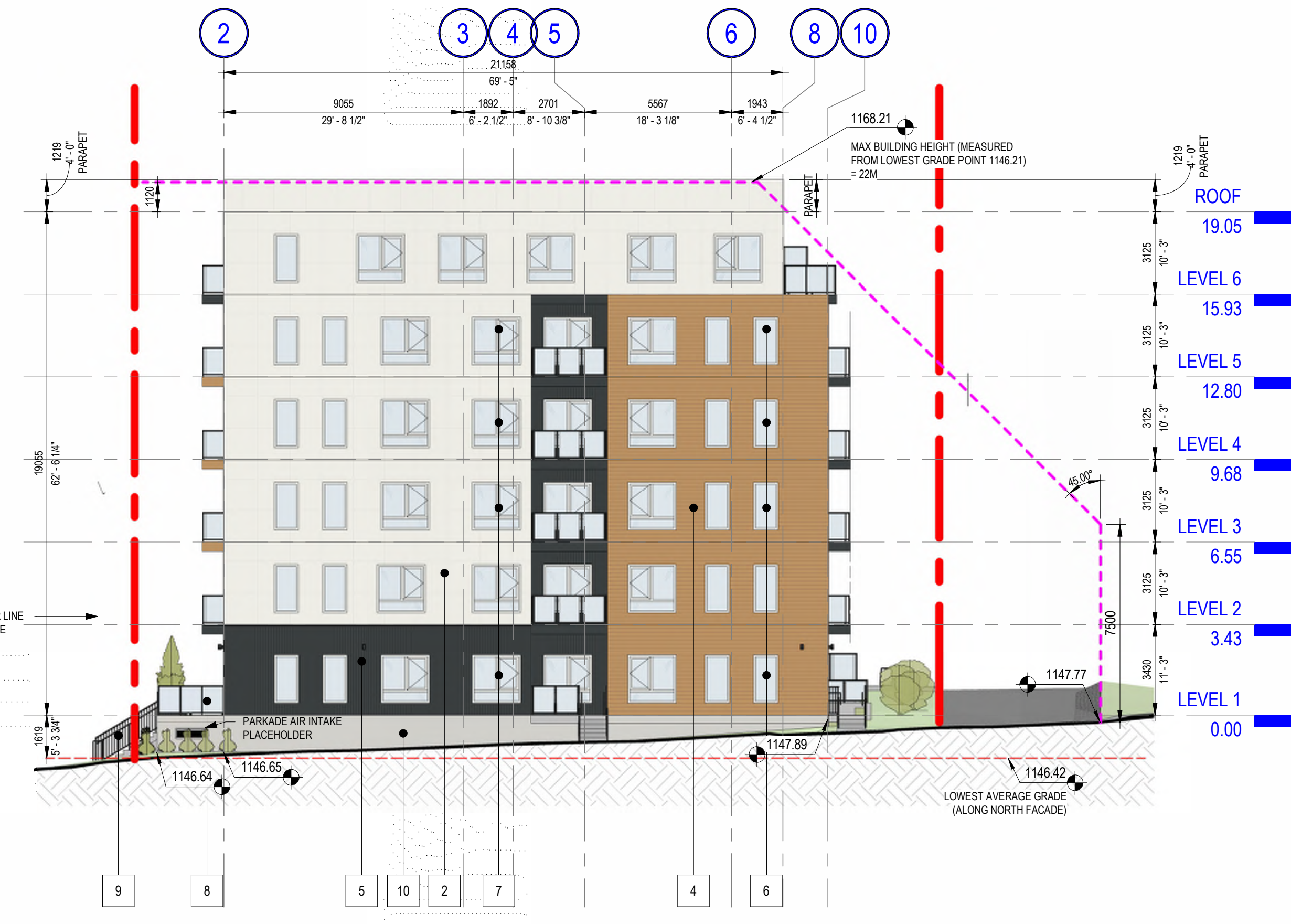
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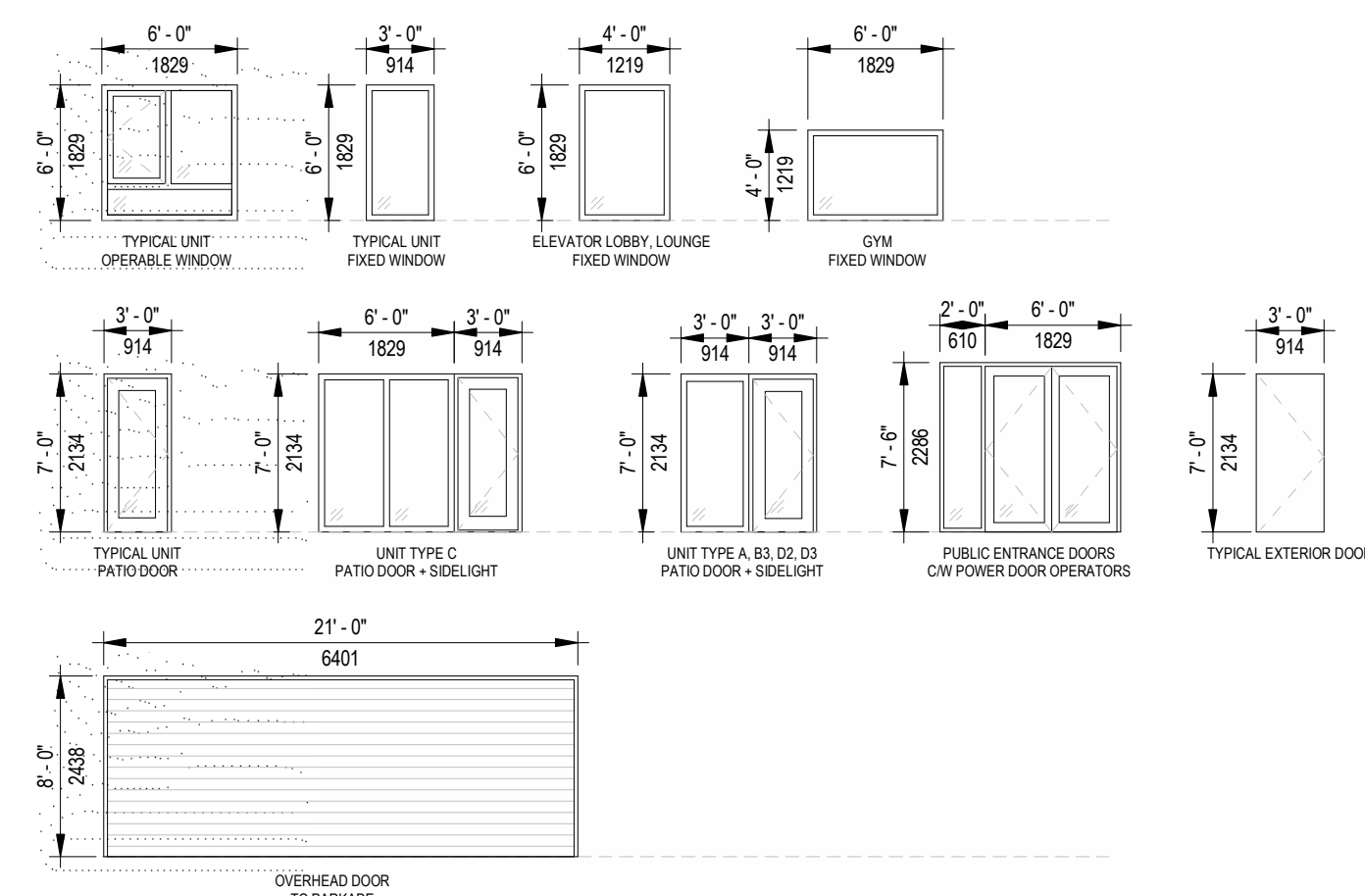
**DP-04.2**



**1 EAST ELEVATION**  
SCALE: 1 : 150



**2 WEST ELEVATION**  
SCALE: 1 : 150



**DOOR AND WINDOW SIZES**  
SCALE: 1 : 100