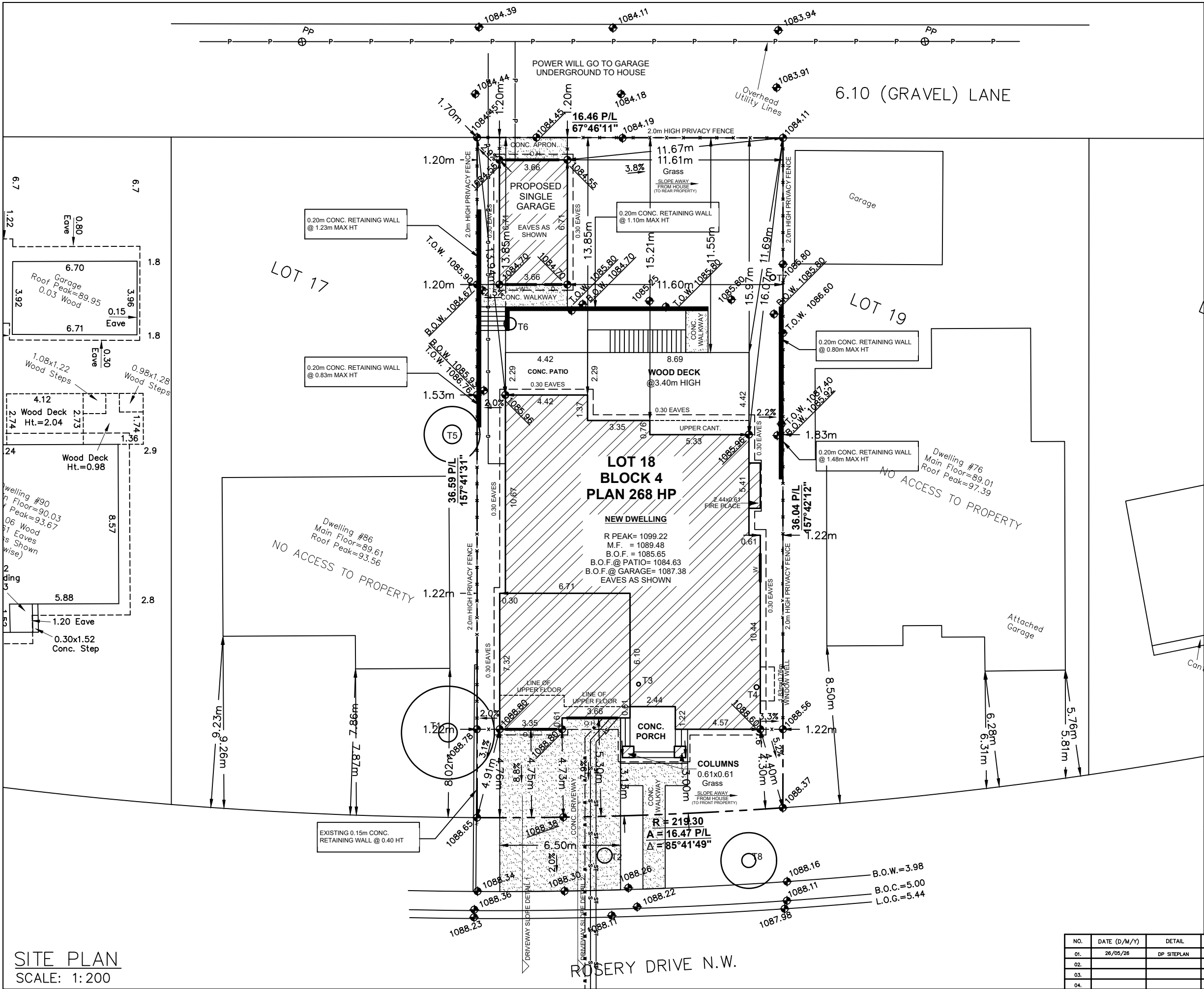




SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 140368
ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

■	denotes Calculation points
⊠	denotes Water Valve
◇	denotes Gas Valve
●	denotes Manhole
⊙	denotes Tree
⊕	denotes Power Pole
△	denotes Sign
☼	denotes Light Standard
—X—X—	denotes Fence
—S—	denotes Sanitary Line
—ST—	denotes Storm Line
—W—	denotes Water Line
—G—	denotes Gas Line
—E—	denotes Electrical Line
—A.G.T—	denotes A.G.T Line
—	denotes Utility Right of Way Line
---	denotes Property Line
---	denotes Door
---	denotes Main Floor Windows
---	denotes Second Floor Windows
---	denotes Basement Floor Windows
---	denotes Shed Hatch
---	denotes Detached Garage Hatch
---	denotes Main Building Hatch
---	denotes Concrete and Asphalt Hatch
---	denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:
Lot 18
Block 4
Plan 268 HP

MUNICIPAL ADDRESS:
82 - ROSERY DRIVE N.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)
LOT SIZE: 599.489 SQ M
HOUSE: 174.054 SQ M
COVERED PORCH: 0.000 SQ M
CANT.: 1.486 SQ M
WING WALL: 0.743 SQ M
GARAGE: 73.579 SQ M
TOTAL: 249.863/599.489
= 41.68%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	26/05/26	DP SITEPLAN	D.L.	82 ROSERY DRIVE NW Calgary, Alberta	SINGLE HOUSE	1: 200
02.				Lot 18 Block 4 Plan 268 HP	DATE:	DIVISION NUMBER:
03.					MAY 26, 2026	S 01
04.						

SITE PLAN
SCALE: 1:200



FLOOR AREA

BASEMENT = 1866.47 SQ. FT.
ATT. GARAGE = 528.00 SQ. FT.
MAIN FLOOR = 1782.00 SQ. FT.
UPPER FLOOR = 2032.42 SQ. FT.
TOTAL = 3814.42 SQ. FT.

LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.1	Front & Rear Elevation
A-2.2	Right Elevation
A-2.3	Left Elevation
A-4.0	Garage Plans, Elevations & Sections



GENERAL NOTES:

MUNICIPAL ADDRESS:
82 Rosery Drive N.W.
CALGARY, ALBERTA

PROJECT:
NEW HOME

PROJECT NUMBER:
248 - 26

STATUS:
DP

LEGAL LAND DISCRIPTION:
LOT: BLOCK: PLAN:

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NO.	DATE(D/M/Y)	DETAIL	BY
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FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-05-28 2:20:04 PM

SCALE:

PAGE:

A-0.0



EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" METAL FASCIA
- 3

STONE FINISH
- 4

STUCCO FINISH
- 5

METAL TRIM FINISH
- 6

METAL PANEL FINISH
- 7

CONCRETE PARGING
- 8

CAST-IN PLACE CONCRETE
- 9

METAL ROOF

FRONT ELEVATION
SCALE: 1/4" = 1'-0"



VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" METAL FASCIA
- 3

STONE FINISH
- 4

STUCCO FINISH
- 5

METAL TRIM FINISH
- 6

METAL PANEL FINISH
- 7

CONCRETE PARGING
- 8

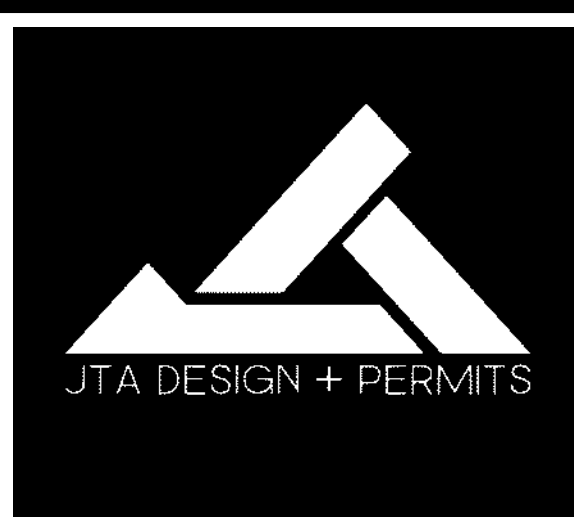
CAST-IN PLACE CONCRETE
- 9

METAL ROOF

REAR ELEVATION
SCALE: 1/4" = 1'-0"



VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
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CALGARY, ALBERTA

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NEW HOME

PROJECT NUMBER:
248 - 26

STATUS:
DP

LEGAL LAND DISCRPTION:
LOT: BLOCK: PLAN:
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LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

SHEET NAME:

Front & Rear Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-05-28 2:20:15 PM

SCALE: 1/4" = 1'-0"

PAGE:

A-2.1

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	6	METAL PANEL FINISH
2	8" METAL FASCIA	7	CONCRETE PARGING
3	STONE FINISH	8	CAST-IN PLACE CONCRETE
4	STUCCO FINISH	9	METAL ROOF
5	METAL TRIM FINISH		

MATERIAL SOFFIT NOTES:

ALL SOFFIT ARE METAL SOFFIT - DARK GREY/BLACK
EXCEPT FRONT ENTRY SOFFIT AND REAR PATIO SOFFIT
WHICH IS CEDAR

WINDOW CALCULATION

WALL AREA = 1456.89 SQ. FT.
WINDOW AREA = 101.19 SQ. FT.
TOTAL: 101.19 / 1456.89 = 6.95%

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
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(SOFFIT ARE PRE-FIN ALUM)



GENERAL NOTES:

MUNICIPAL ADDRESS:

82 Rosery Drive N.W.
CALGARY, ALBERTA

PROJECT:

NEW HOME

PROJECT NUMBER:

248 - 26

STATUS:

DP

LEGAL LAND DISCRIPTION:

LOT: BLOCK: PLAN:

-- -- --

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BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:

Right Elevation

DESIGN BY: JT

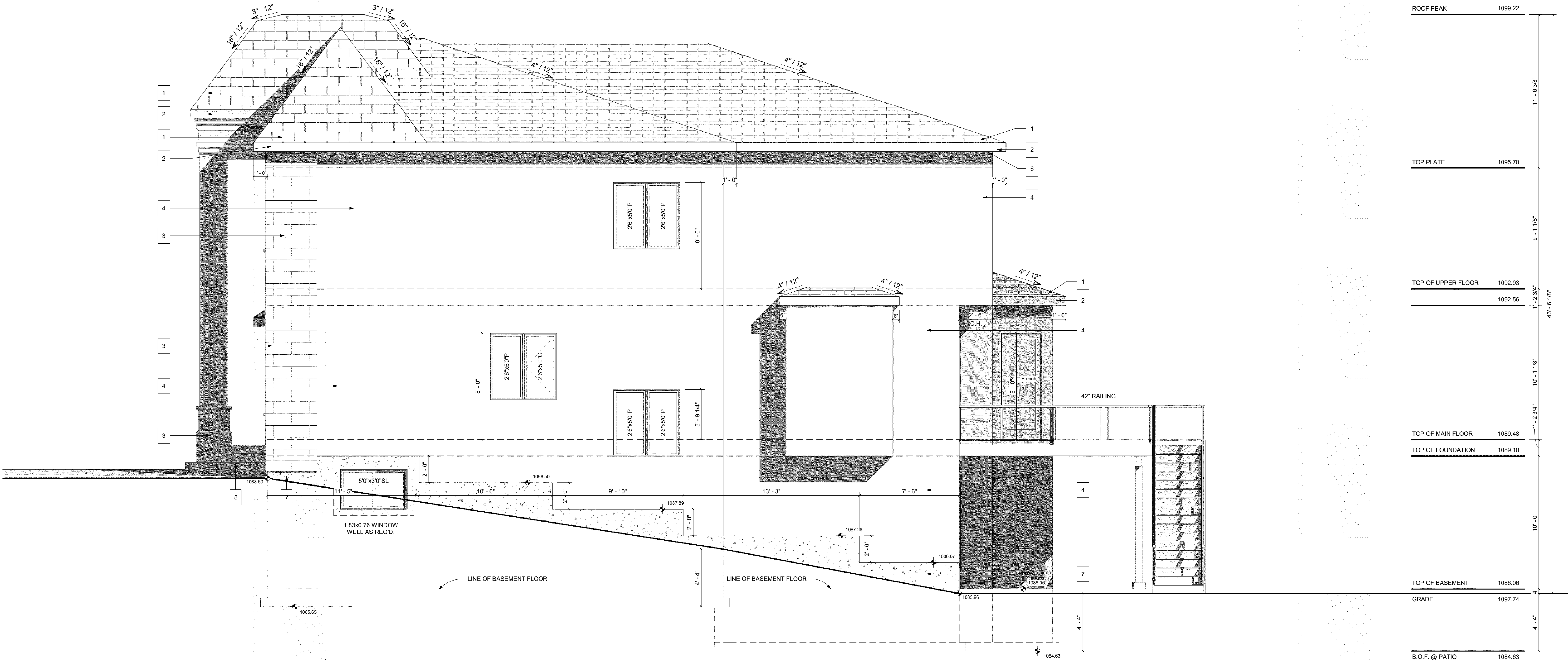
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SCALE: 1/4" = 1'-0"

PAGE: A-2.2



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	6	METAL PANEL FINISH
2	8" METAL FASCIA	7	CONCRETE PARGING
3	STONE FINISH	8	CAST-IN PLACE CONCRETE
4	STUCCO FINISH	9	METAL ROOF
5	METAL TRIM FINISH		

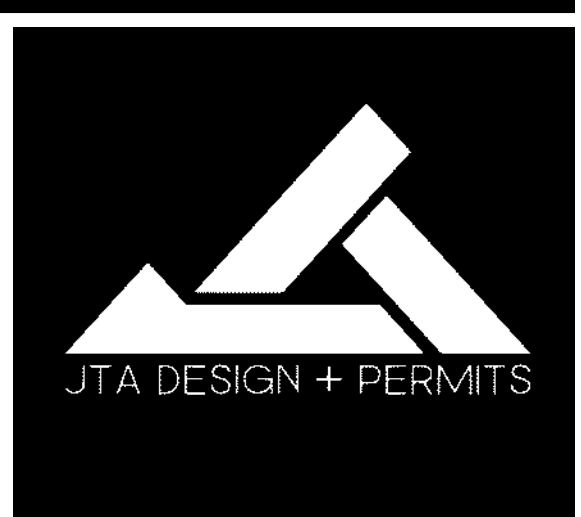
WINDOW CALCULATION

WALL AREA = 1497.05 SQ. FT.
WINDOW AREA = 83.03 SQ. FT.

TOTAL: 83.03 / 1497.05 = 5.55%

VENTED SOFFIT NOTES:

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248 - 26

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DP

LEGAL LAND DIScription:

LOT: BLOCK: PLAN:

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TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:

Left Elevation

DESIGN BY:

JT

DRAWN BY:

JT

LAST REVISION BY:

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SCALE:

1/4" = 1'-0"

PAGE:

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LEFT ELEVATION

SCALE: 1/4" = 1'-0"

