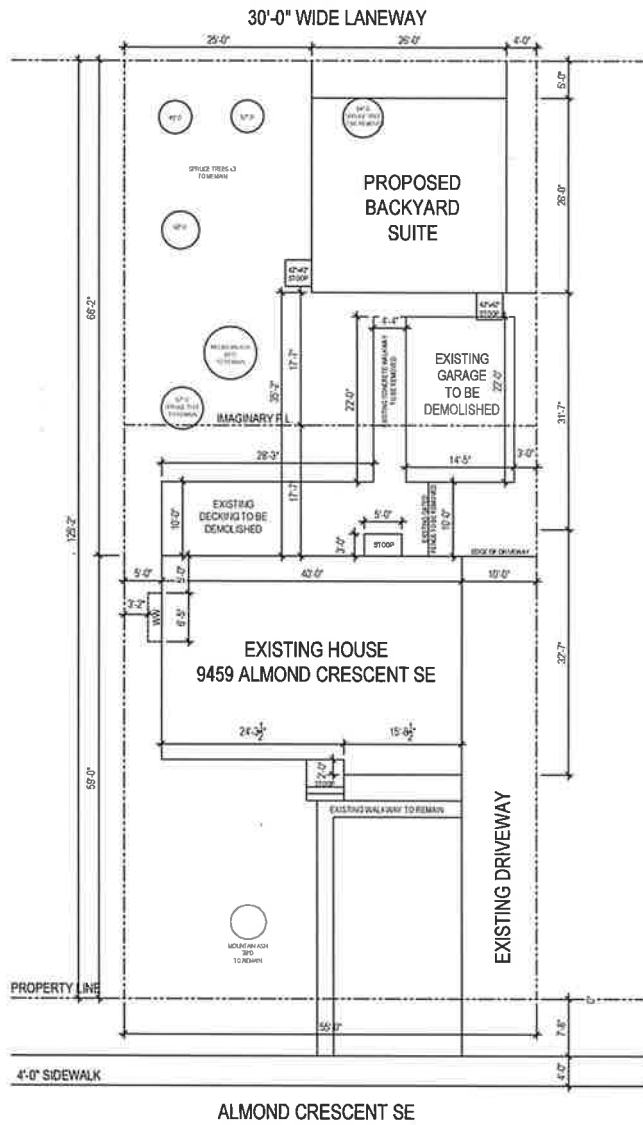
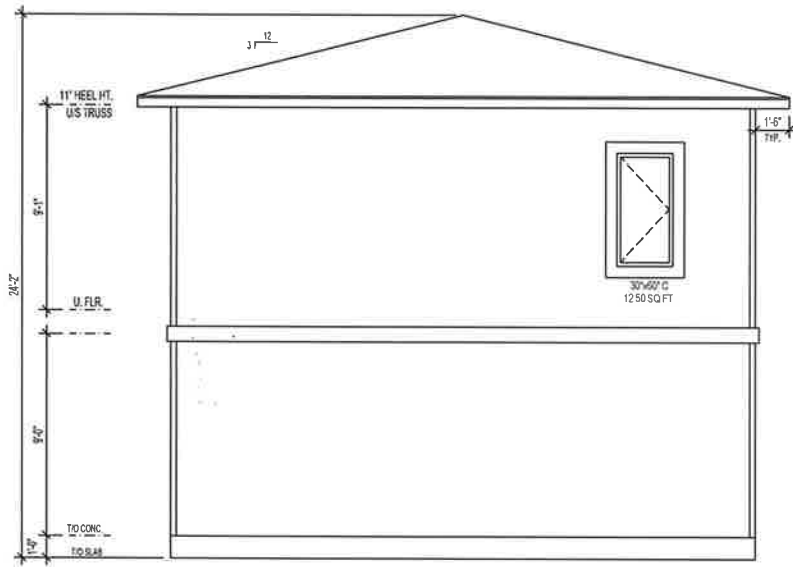




SITE PLAN
May 31, 2026

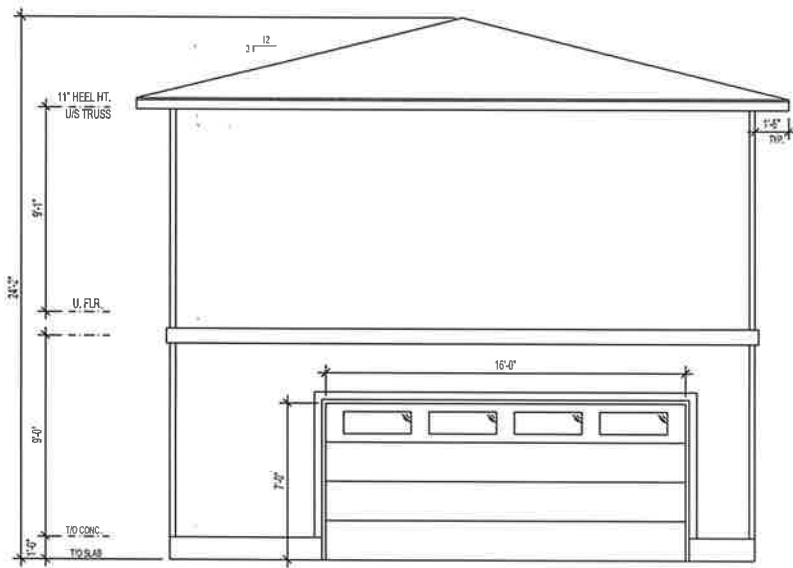
SCALE: 1"=1/16"

ZONING:	R-CG	MUNICIPAL ADDRESS
EXISTING HOUSE AREA:	103.25 m ²	9459 ALMOND CRESCENT SE
PROPOSED SUITE AREA:	62.80 m ²	CALGARY, AB, T2J 1B7
PARKING AREA:	87.46 m ²	
LOT AREA:	639.43 m ²	LEGAL ADDRESS
TOTAL COVERAGE:	25.37%	LOT 2 BLK 51
		PLAN NUMBER 1042 JK



EAST ELEVATION

EXPOSED BUILDING FACE 521.06 SQ. FT.
OPENINGS 12.50 SQ. FT.
PERCENTAGE 2.4%



NORTH ELEVATION

MUNICIPAL ADDRESS
9459 ALMOND CRESCENT SE
CALGARY, AB T2J 1B7

LEGAL ADDRESS
LOT 2/ BLK 51
PLAN NUMBER 1042 JK

PROPOSED BACKYARD SUITE
R-CG ZONING

SUITE 676.00 sq ft / 62.90 m²
GARAGE 676.00 sq ft / 62.90 m²

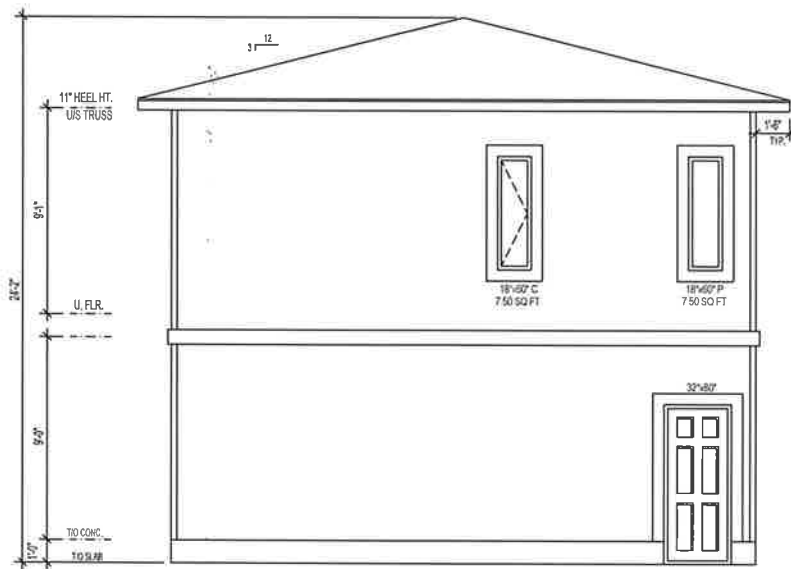
BUILDING DEVELOPMENT
APPLICATION
May 14, 2026

FOUNDATION LEVEL
PLAN

SCALE: 3/16"=1'-0"

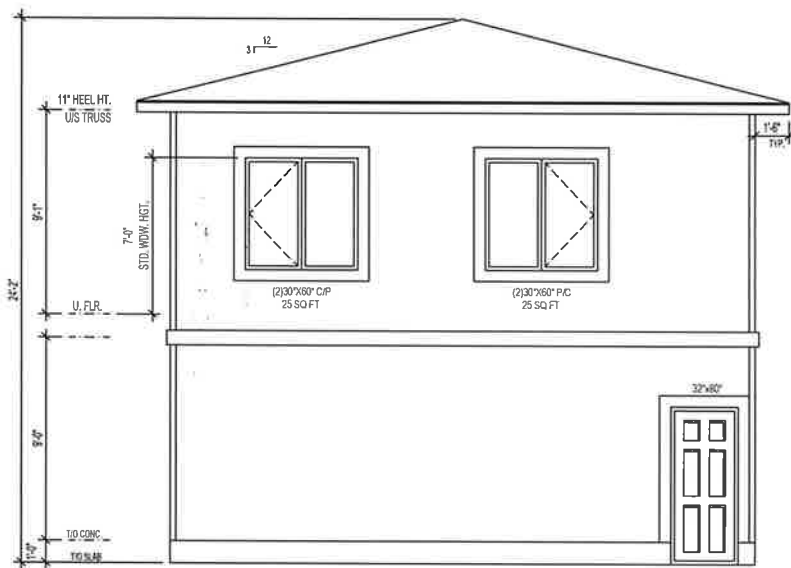
*UNLESS NOTED

3/4



WEST ELEVATION

EXPOSED BUILDING FACE 521.08 SQ. FT
OPENINGS 15.0 SQ. FT
PERCENTAGE 2.9%



SOUTH ELEVATION

EXPOSED BUILDING FACE 521.08 SQ. FT
OPENINGS 50.0 SQ. FT
PERCENTAGE 9.6%

MUNICIPAL ADDRESS
9459 ALMOND CRESCENT SE
CALGARY, AB T2J 1B7

LEGAL ADDRESS
LOT 2/ BLK 51
PLAN NUMBER 1042 JK

PROPOSED BACKYARD SUITE
R-CG ZONING

SUITE: 676.00 sq ft / 62.90 m²
GARAGE: 676.00 sq ft / 62.90 m²

BUILDING DEVELOPMENT
APPLICATION
May 14, 2026

FOUNDATION LEVEL
PLAN

SCALE 3/16"=1'-0"

*UNLESS NOTED

4
4