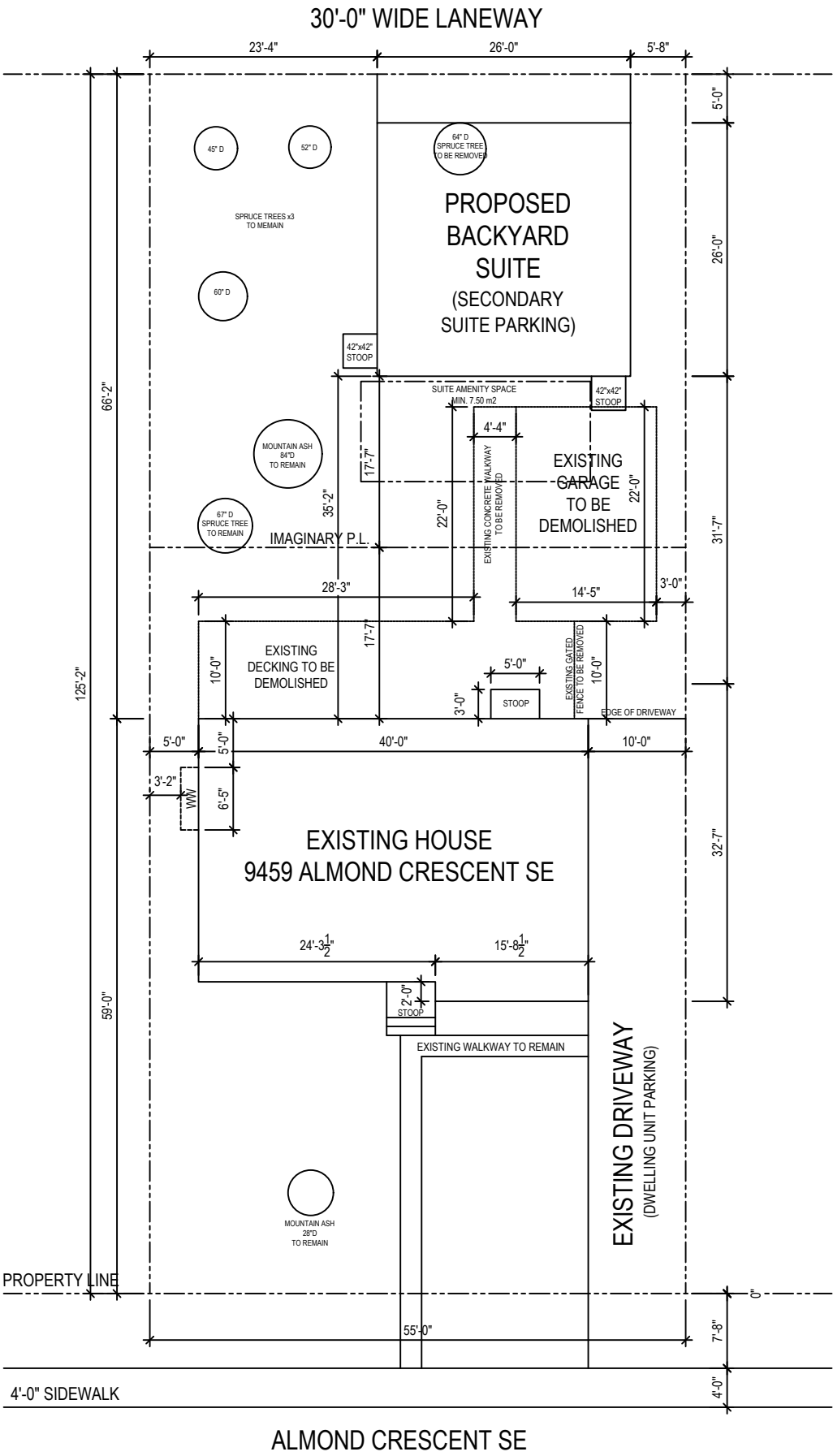
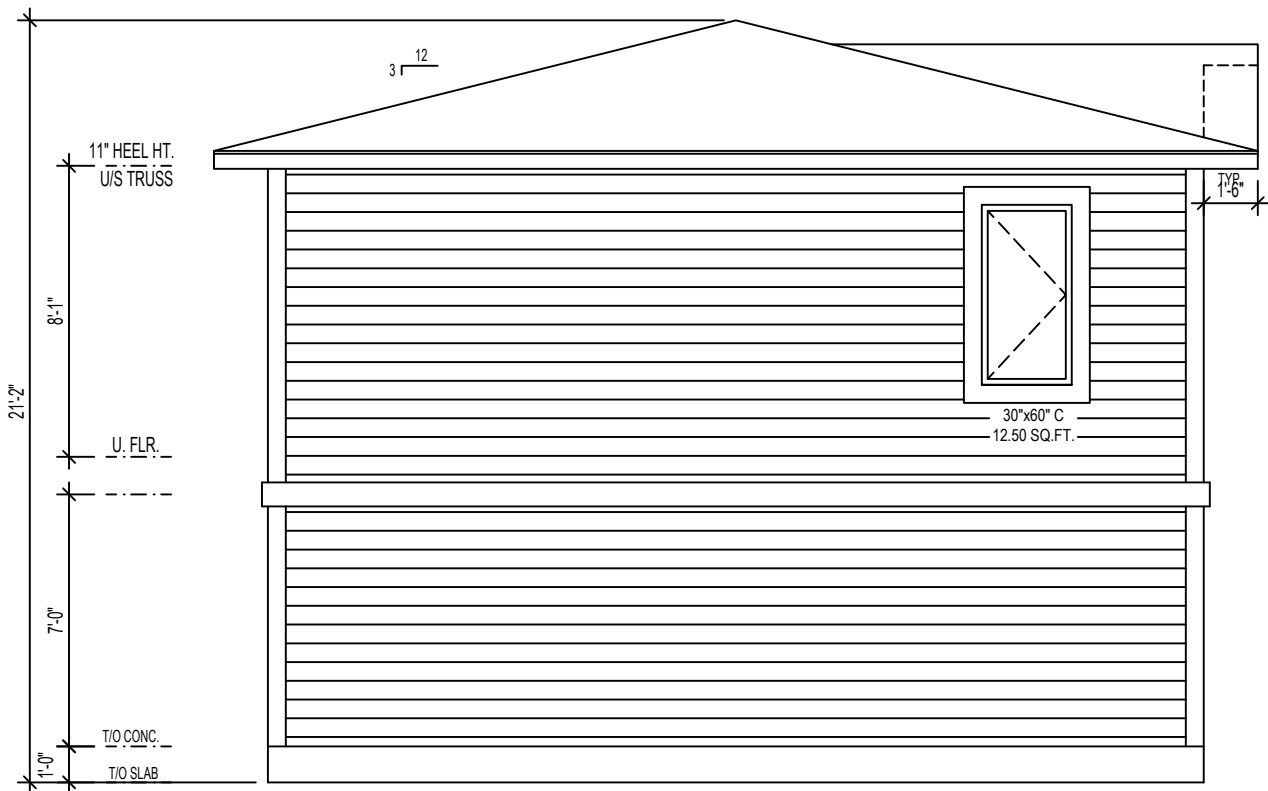


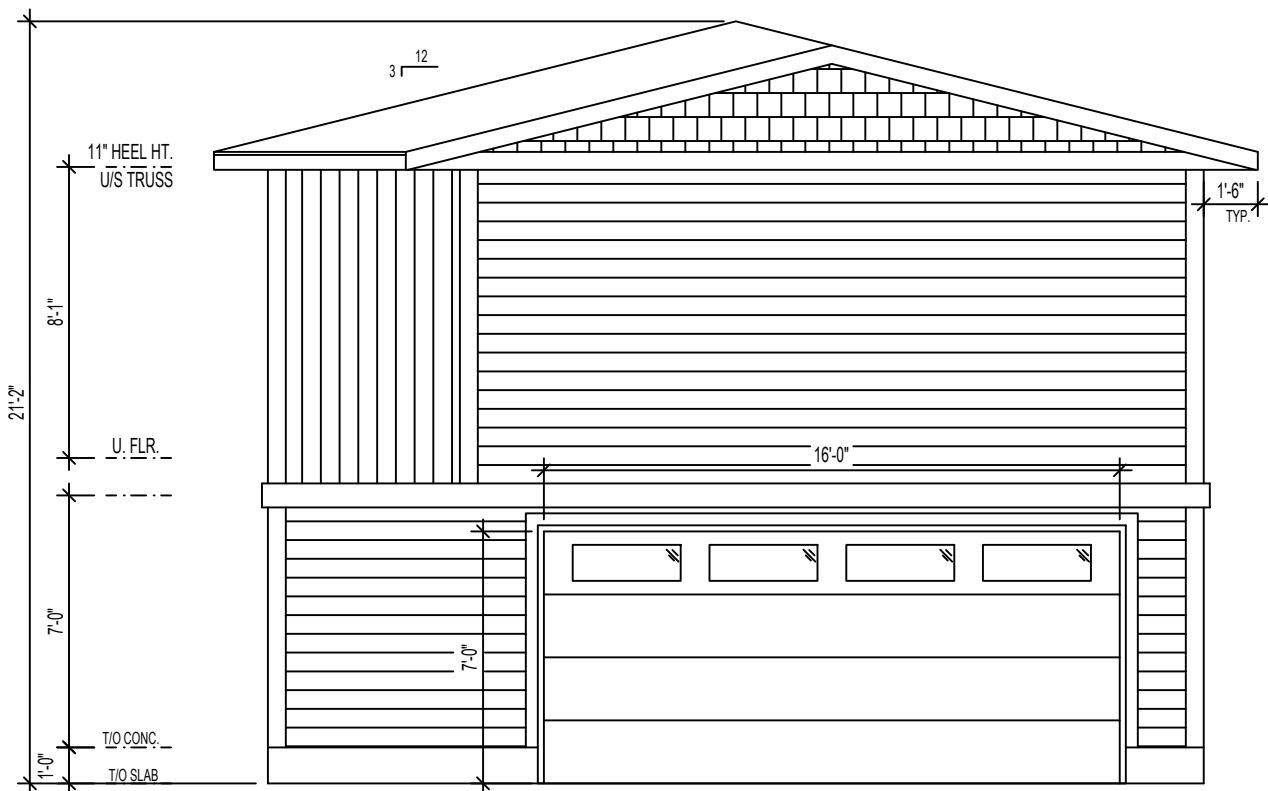


		ZONING:		R-CG	MUNICIPAL ADDRESS
		EXISTING HOUSE AREA:		103.25 m2	9459 ALMOND CRESCENT SE
		PROPOSED SUITE AREA:		62.80 m2	CALGARY, AB. T2J 1B7
		PARKING AREA:		87.46 m2	
SITE PLAN July 31, 2026	SCALE: 1"=1/16"	LOT AREA:		639.43 m2	LEGAL ADDRESS
		TOTAL COVERAGE:		25.97%	LOT 2 BLK 51
					PLAN NUMBER 1042 JK



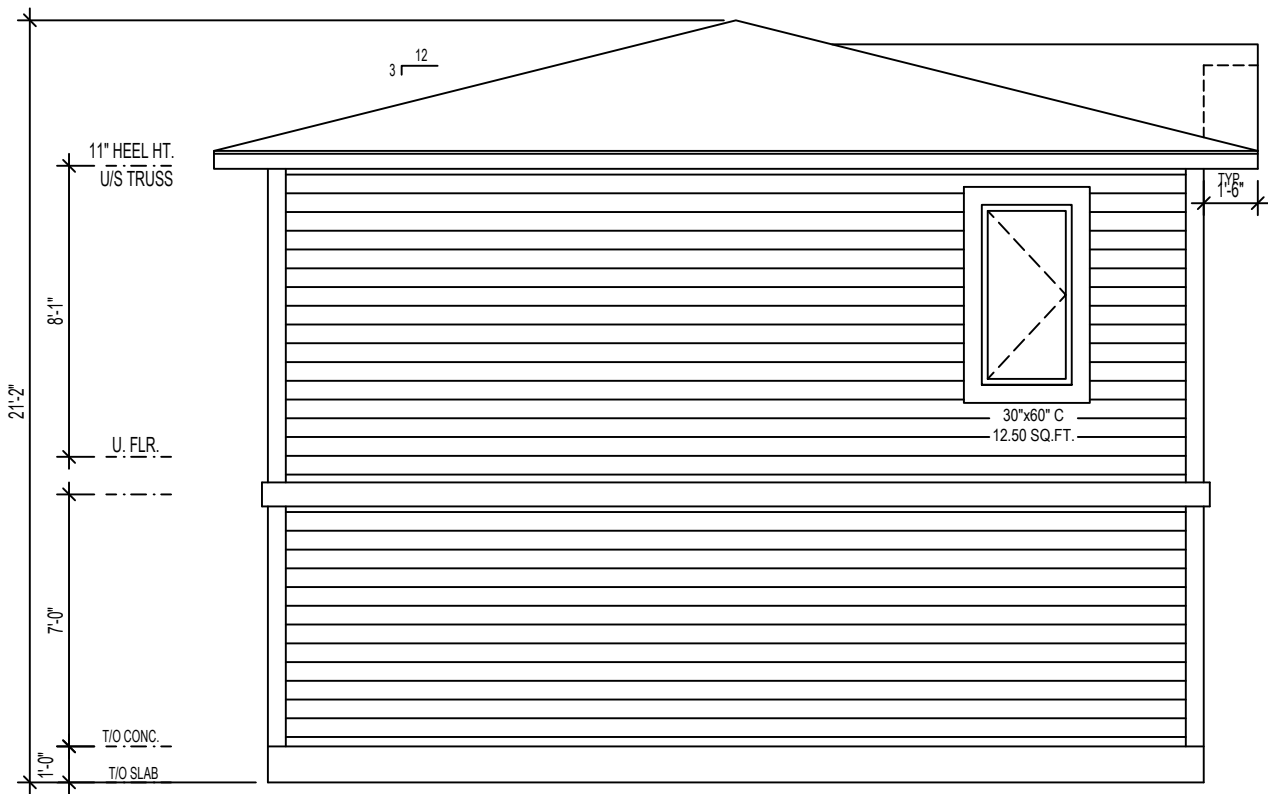
EAST ELEVATION

EXPOSED BUILDING FACE: 443.08 SQ. FT.
OPENINGS: 12.50 SQ. FT.
PERCENTAGE: 2.8%



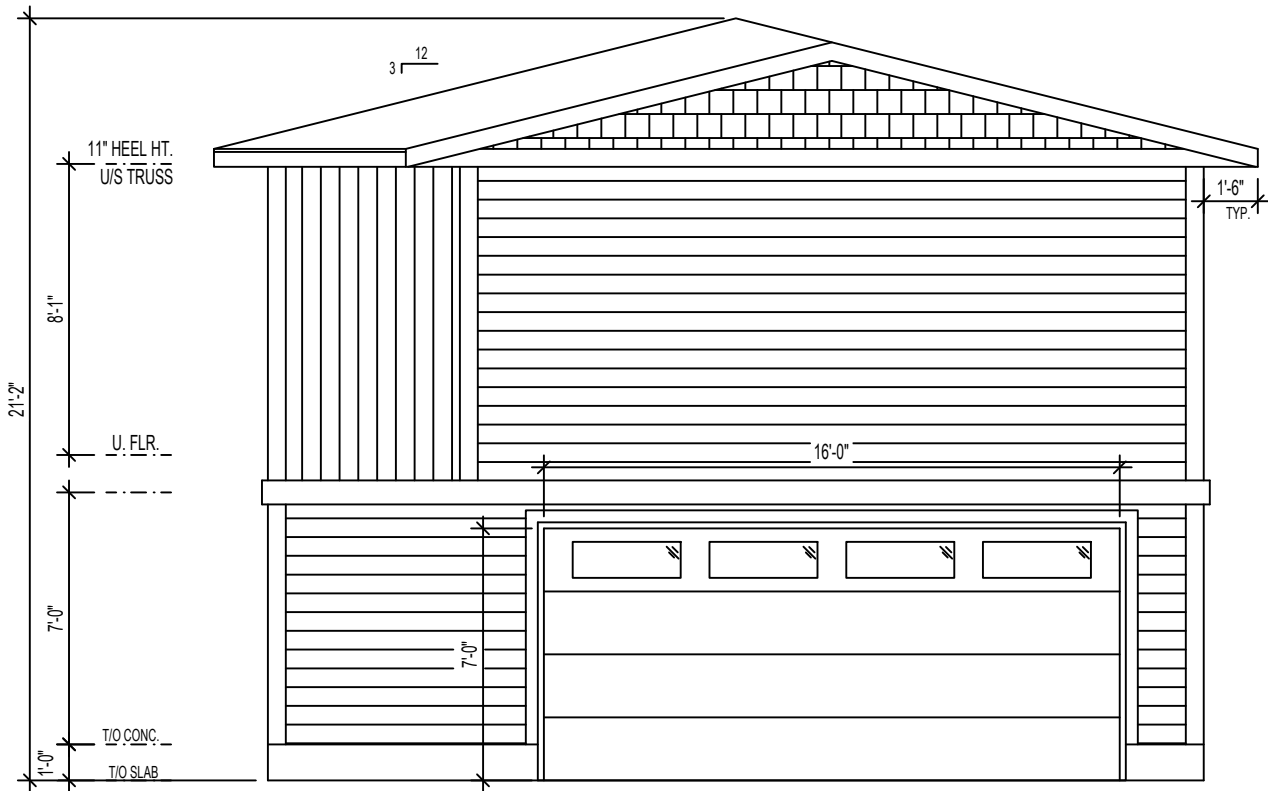
NORTH ELEVATION

MUNICIPAL ADDRESS 9459 ALMOND CRESCENT SE CALGARY, AB T2J 1B7		PROPOSED BACKYARD SUITE R-CG ZONING		BUILDING DEVELOPMENT APPLICATION July 31, 2026	
LEGAL ADDRESS LOT 2/ BLK 51 PLAN NUMBER 1042 JK		SUITE: 676.00 sq.ft / 62.90 m2 GARAGE: 676.00 sq.ft / 62.90 m2		FOUNDATION LEVEL PLAN SCALE: 3/16"=1'-0" *UNLESS NOTED	3 5



EAST ELEVATION

EXPOSED BUILDING FACE: 521.08 SQ. FT.
OPENINGS: 12.50 SQ. FT.
PERCENTAGE: 2.4%



NORTH ELEVATION

MUNICIPAL ADDRESS
9459 ALMOND CRESCENT SE
CALGARY, AB T2J 1B7

LEGAL ADDRESS
LOT 2/ BLK 51
PLAN NUMBER 1042 JK

PROPOSED BACKYARD SUITE
R-CG ZONING

SUITE: 676.00 sq.ft / 62.90 m2
GARAGE: 676.00 sq.ft / 62.90 m2

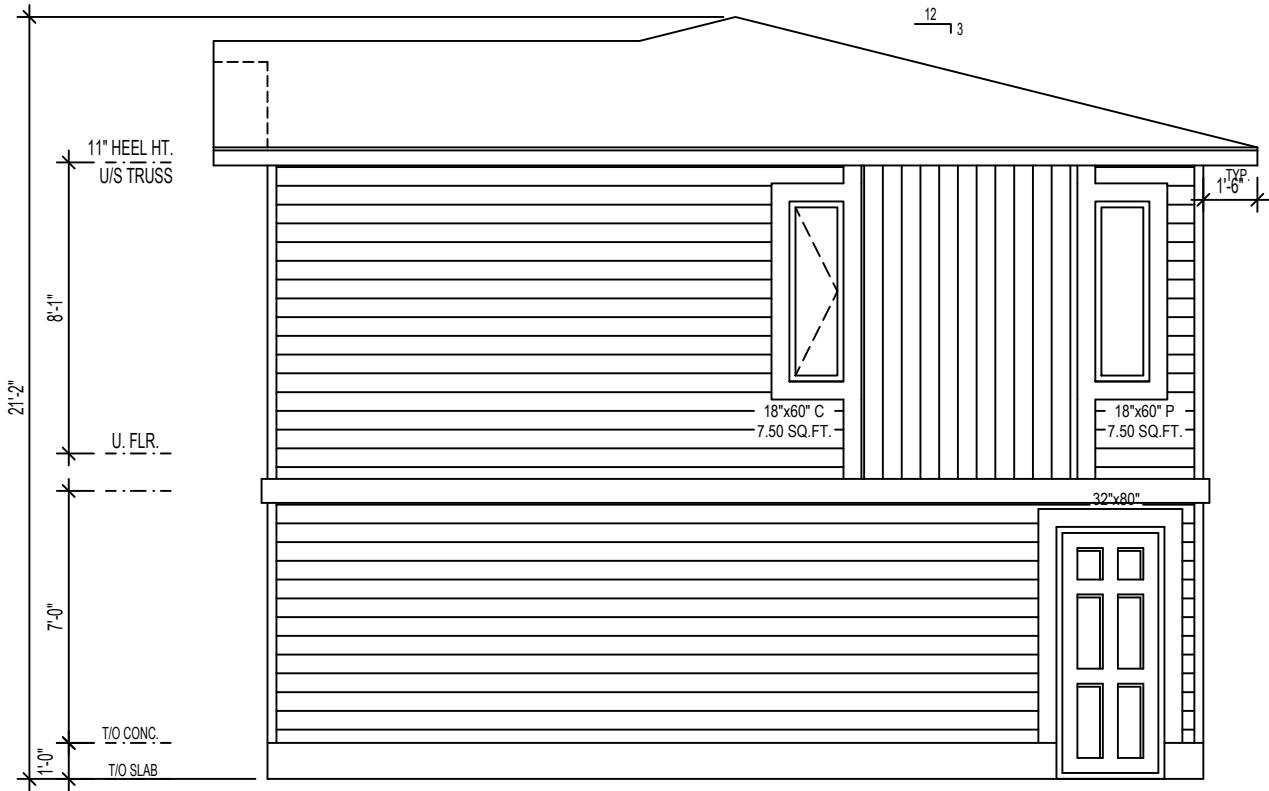
BUILDING DEVELOPMENT
APPLICATION
July 31, 2026

FOUNDATION LEVEL
PLAN

SCALE: 3/16"=1'-0"

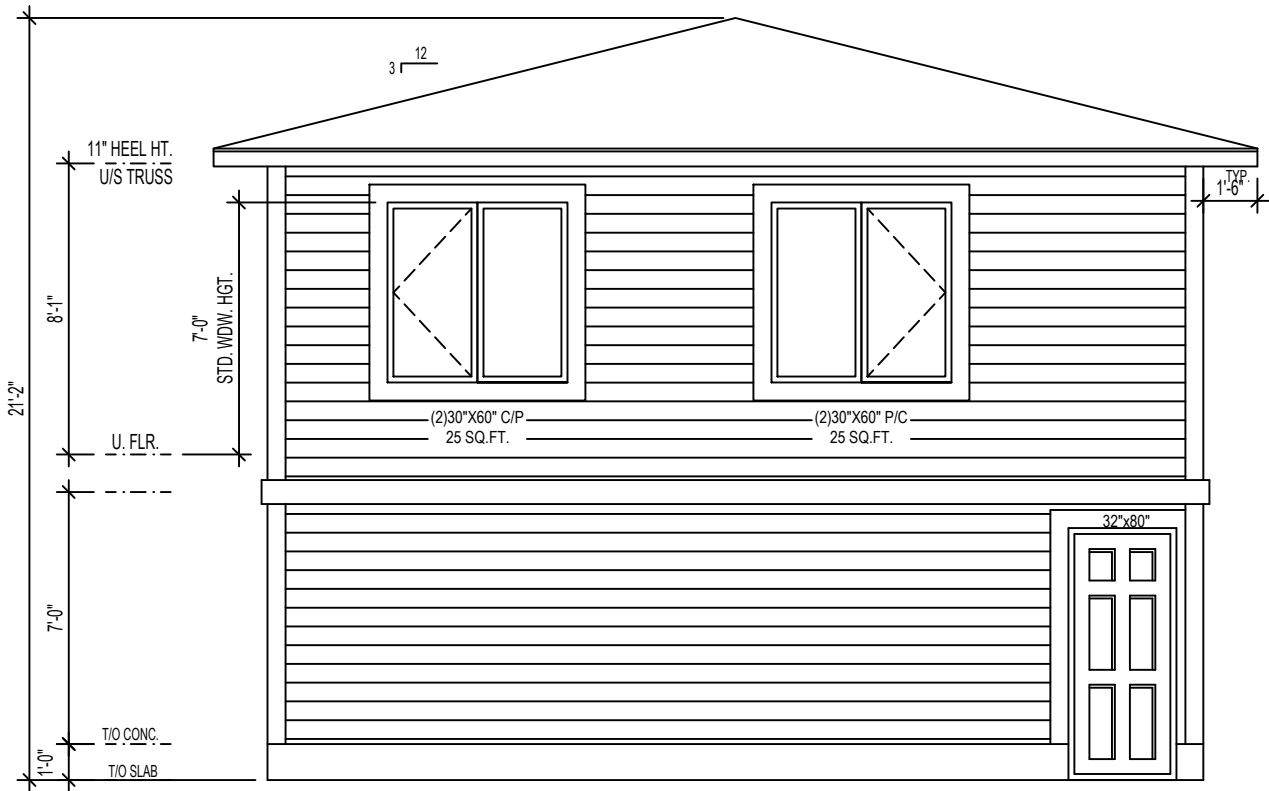
*UNLESS NOTED

3
5



WEST ELEVATION

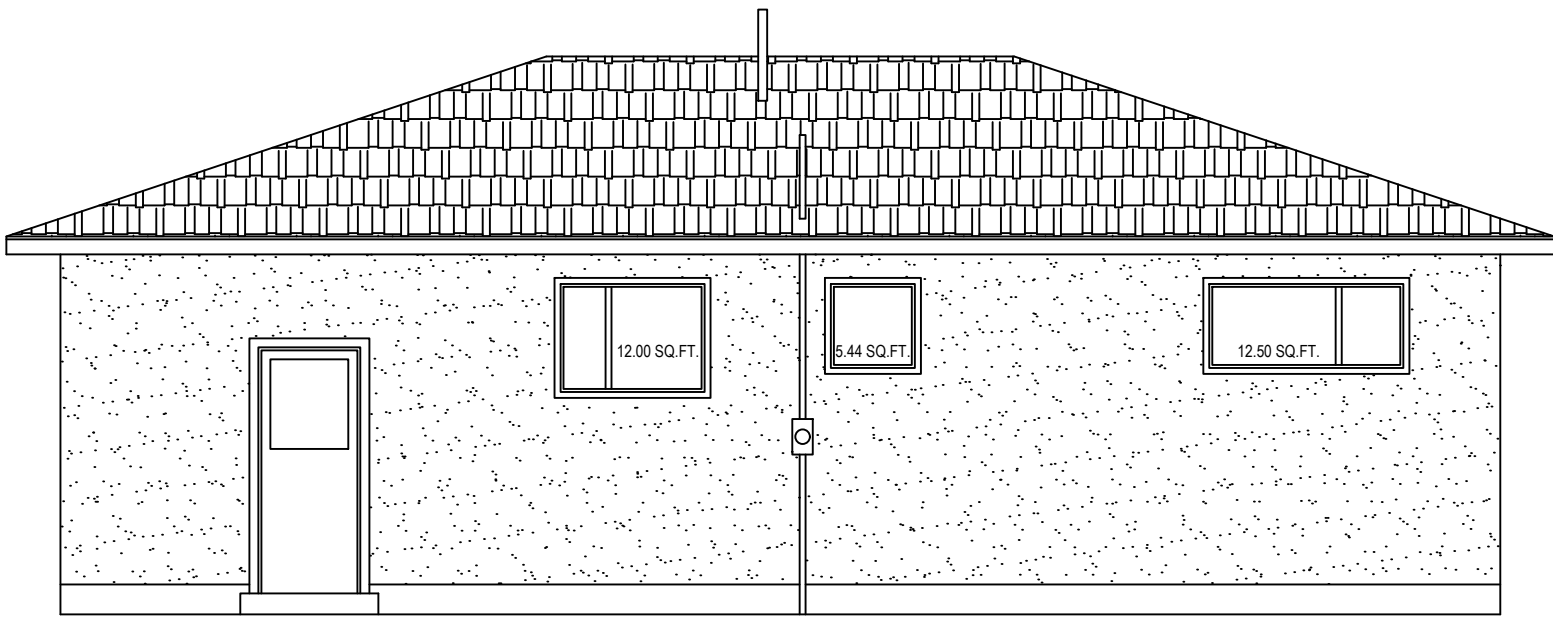
EXPOSED BUILDING FACE: 521.08 SQ. FT.
OPENINGS: 15.0 SQ. FT.
PERCENTAGE: 2.9%



SOUTH ELEVATION

EXPOSED BUILDING FACE: 521.08 SQ. FT.
OPENINGS: 50.0 SQ. FT.
PERCENTAGE: 9.6%

MUNICIPAL ADDRESS 9459 ALMOND CRESCENT SE CALGARY, AB T2J 1B7		PROPOSED BACKYARD SUITE R-CG ZONING		BUILDING DEVELOPMENT APPLICATION July 31, 2026	
LEGAL ADDRESS LOT 2/ BLK 51 PLAN NUMBER 1042 JK		SUITE: 676.00 sq.ft / 62.90 m2 GARAGE: 676.00 sq.ft / 62.90 m2		FOUNDATION LEVEL PLAN SCALE: 3/16"=1'-0" *UNLESS NOTED	4 5



NORTH ELEVATION

EXPOSED BUILDING FACE: 400.00 SQ. FT.
OPENINGS: 29.94SQ. FT.
PERCENTAGE: 7.4%

MUNICIPAL ADDRESS 9459 ALMOND CRESCENT SE CALGARY, AB T2J 1B7 LEGAL ADDRESS LOT 2/ BLK 51 PLAN NUMBER 1042 JK	PROPOSED BACKYARD SUITE R-CG ZONING SUITE: 676.00 sq.ft / 62.90 m2 GARAGE: 676.00 sq.ft / 62.90 m2	BUILDING DEVELOPMENT APPLICATION July 31, 2026 EXISTING DWELLING UNIT NORTH ELEVATION SCALE: 3/16"=1'-0" *UNLESS NOTED 55
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