

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

FD. 1.
C.S. 0.5
SURVEYED BY
W.PANG, A.L.S.
JANUARY 2005

89°51'47"
27.07

r=108.15
a=32.39
d=17°09'42"

REAL ESTATE & DEVELOPMENT SERVICES

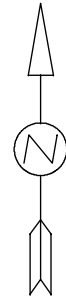
October 30, 2025

LANE
5'42.17"
17.52

PLAN 5763 JK

MAPLEGLADE CLOSE S.E.

r=108.15
a=20.73
d=10°59'05"



LOT 22

LOT 21

LOT 20

LOT 23

BLOCK 3

LOT 2

LOT 3

LOT 6

LOT 7

LOT 17

LOT 16

LANE (ASPHALT)

CONCRETE
0.39 INTO
LANE

C.S. 0.2
BENT

NOTE:
ROOF COVERED AREA = 308 m²
TOTAL AREA = 905 m²
COVERED AREA = 32.4%

REAL ESTATE & DEVELOPMENT SERVICES

The City of Calgary Real Estate & Development Services

Encroachment Advisory

An encroachment(s) has been identified in this Real Property Report. Encroachments into City of Calgary property may require authorization to be permitted to remain. Please contact Encroachments@calgary.ca

DATE: October 30, 2025 Bonnie Jarmah

THIS APPROVAL IN NO WAY
RECOGNIZES HOT TUBS OR
ACCESSORY BUILDINGS LESS
THAN 10m2 IN AREA

The City of Calgary Planning and Development

Provided that all of the information shown on this survey plan is accurate the location of the building as shown complies with the Calgary Land Use Bylaw 1P2007. This Certificate of Compliance relates only to the building location requirements of the Land Use Bylaw 1P2007 and does not relate to the requirements of any federal, provincial or other municipal legislation nor to the terms and conditions of any easement, covenant, building scheme agreement or other document affecting the building or land.

Date: Sep 25, 2025

- The following items may not be shown on the RPR:
- Detached sheds that are less than 10 sq.m.
 - Retaining walls or interior fences that do not define the property line
 - Hot tubs
 - Patios less than 0.60m in height
 - Planters, garden borders and ground level landscaping features
 - Items that in the opinion of the surveyor do not substantially increase the value of the property

LEGAL DESCRIPTION :

LOT 21
BLOCK 3 (the "Property")
PLAN 5763 JK

CLIENT : BOROWSKI (the "Client")

CIVIC ADDRESS :
3 MAPLEGLADE CLOSE S.E.
CALGARY, ALBERTA

Date of Title Search : SEPTEMBER 17 ,2025 ; Title No. 251 082 988
Date of Survey : SEPTEMBER 18 ,2025.

CERTIFICATION :

I hereby certify that this Report and related survey, was prepared and performed under my supervision, direction, and control and in accordance with standards and rules for the practice of surveying prescribed by the Alberta Land Surveyors' Association. Accordingly within those standards and as of the date of this Report, I am of the opinion that:

1. the Plan illustrates the boundaries of the property, the improvements as defined in Part C, Section 6.5 of the Alberta Land Surveyors Association's Manual of Standard Practice, registered easements and right-of-way affecting the extent of the title to the property;
2. the improvements are entirely within the boundaries of the property;
EXCEPT CONCRETE AND FENCE INTO LANE AS SHOWN
3. no visible encroachments exist on the Property from any improvements situated on an adjoining property;
4. no visible encroachments exist on registered easements, or right-of-way affecting the extent of the property.

LEGEND :

All dimensions are in metres and decimals thereof.
Statutory Iron Post found shown thus : ●
Iron Bar found shown thus : ◆
C.S. denotes counter sunk. // denotes break line
Unless otherwise specified, the dimensions shown relate to distances from property boundaries to extent of the foundation walls only at the time of the survey.
Fences are within 0.20 metres of property line unless otherwise noted.
Fences shown thus : —X—X—X—X—X—X—
Fences dimensioned to the fascia line and shown thus: -----
Subject property is outlined thus : _____

PURPOSE :

This Report and attached plan have been prepared for the benefit of the Property owner, subsequent owners, and any of their agents, for the purpose of a real estate transaction. Copying is permitted only for the benefit of these parties, and only if the plan remains attached. Where applicable, registered easements and utility rights-of-way affecting the extent of the Property have been shown on the attached plan. Unless shown otherwise, property corner markers have not been placed during the survey for this Report.
The attached plan should not be used to establish boundaries (e.g., for fencing) because of the risk of misinterpretation or measurement error by the user. The information shown on this Report reflects the status of this Property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements because subsequent development changes on the property will not be reflected on the Report.

Dated at Calgary, Alberta
this 23 day of SEPTEMBER 2025.

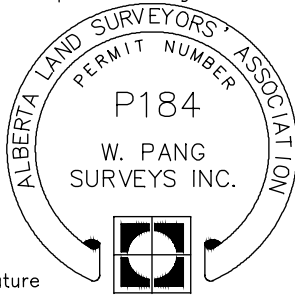
Nina Holdbrook, A.L.S.

(Copyright reserved)

This Report is not valid unless it bears the original signature or digital signature of an Alberta Land Surveyor and a W. Pang Surveys Inc. permit stamp.

SCALE = 1:250

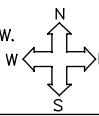
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W PANG SURVEYS INC.
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Calgary, AB T2W 4X9
TEL: 242-8040
info@pangsurveys.com

FILE: 2025-1829

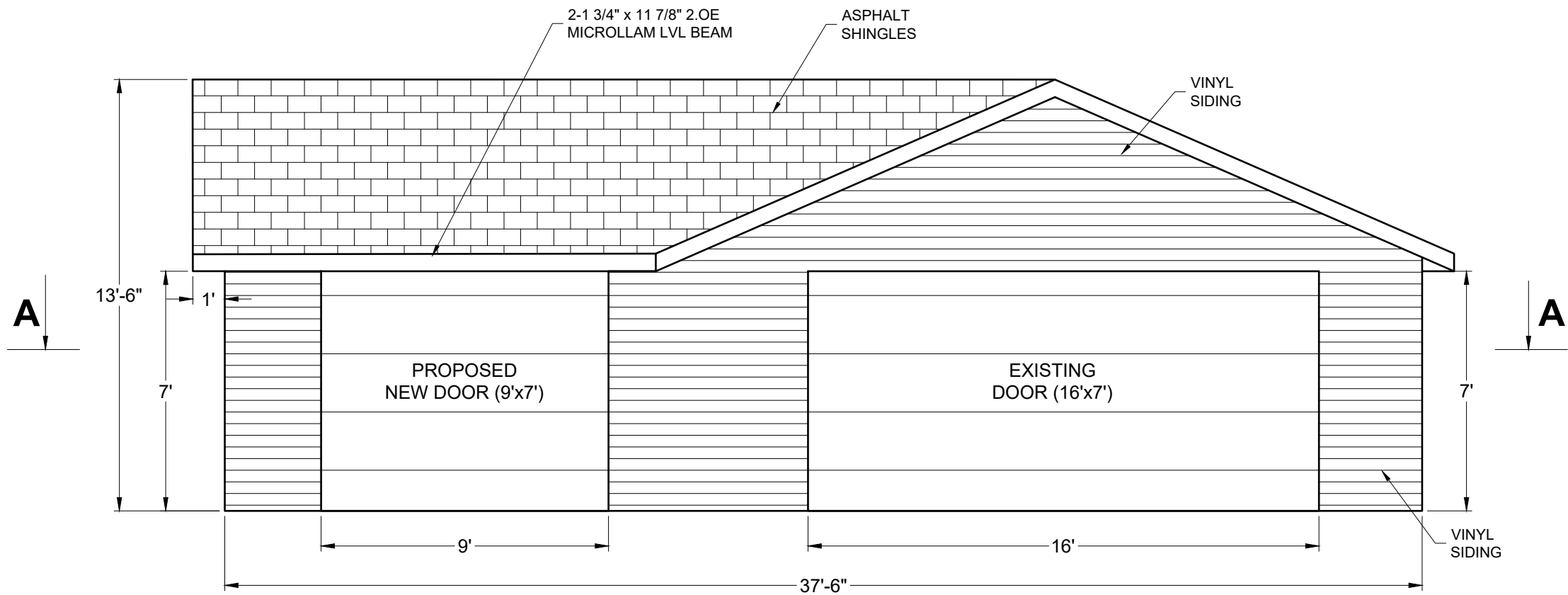
Drawn by: P.C.



Note: For subsequent real estate transactions, the vendor is encouraged to obtain an up to date Real Property Report from W. Pang Surveys Inc. to limit potential future liability, especially in the case that a Statutory Declaration was used for the Real Estate transaction. W. Pang Surveys Inc. will not be held responsible for any error or omissions if an updated Real Property Report is not used for the Real Estate transaction.

The owner is responsible for the review of this Real Property Report and to report any discrepancies or omissions within 3 months of the issuance of this report to the surveyor. Failure to report the discrepancies relieves W. Pang Surveys Inc. of any future liabilities or claims.

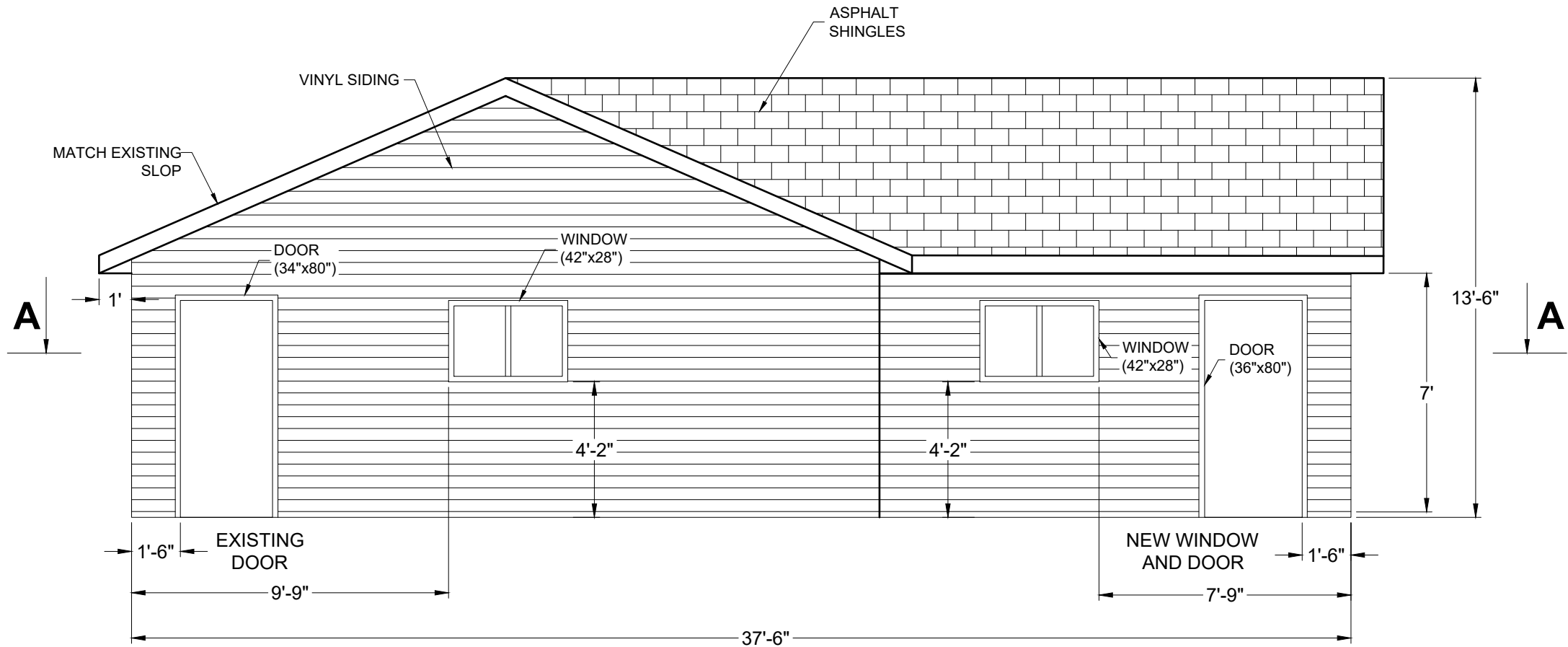
GARAGE MODIFICATION PROJECT
(FRONT ELEVATION VIEW)



NOTE: ALL DIMENSIONS ARE IN FEET & INCHES UNLESS OTHERWISE SPECIFIED.

GARAGE MODIFICATION PROJECT	
3 MAPLEGLADE CLOSE SE, CALGARY, AB T2J 2H1	
DESIGNED BY: LES JOHNSON	
DRAWN BY: KUSUM GYAWALI	
DESIGN DATE: 2026-MAY-18	
SCALE: 1/4" = 1'	SHEET: 2 OF 8

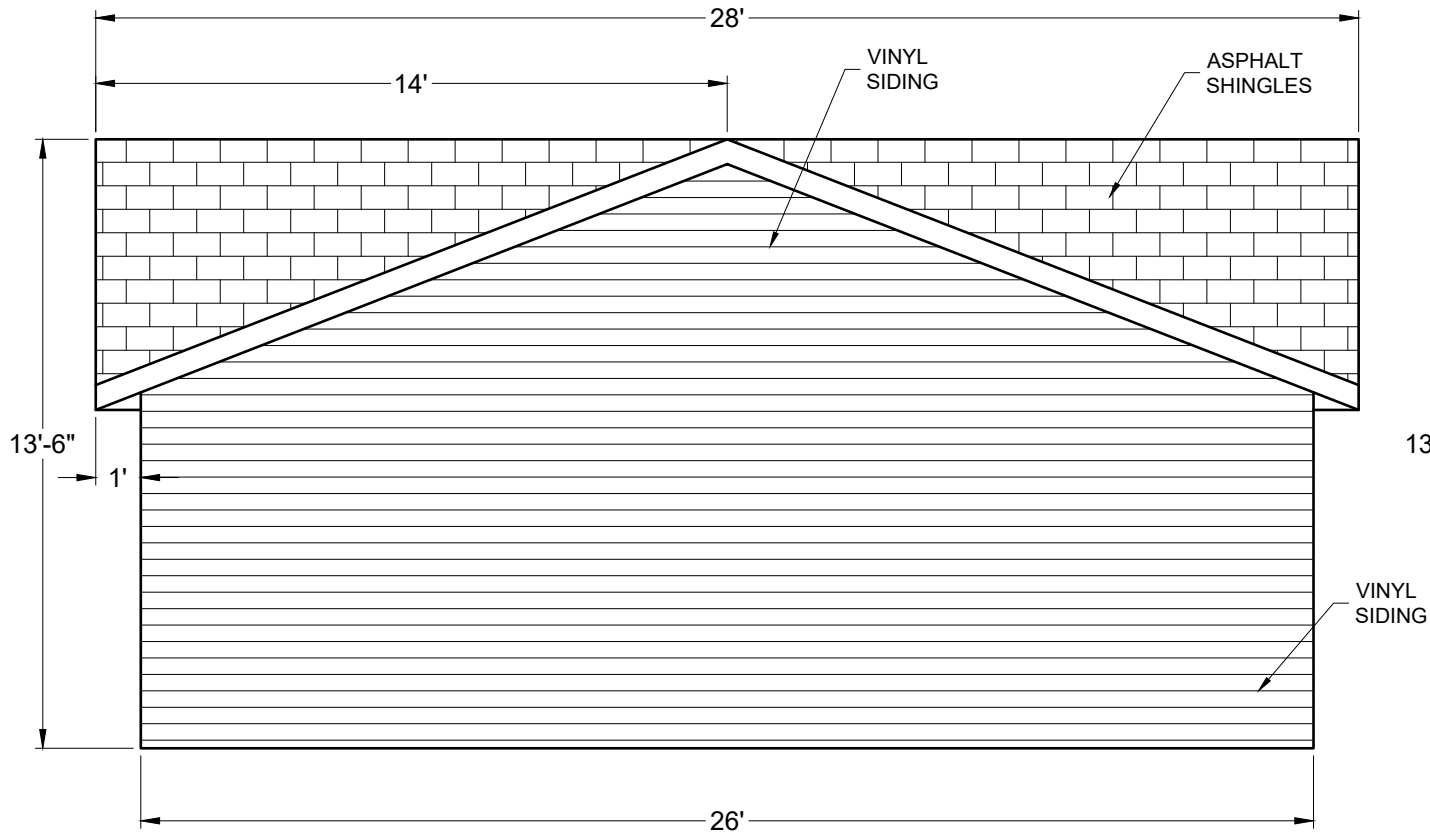
GARAGE MODIFICATION PROJECT
(REAR ELEVATION)



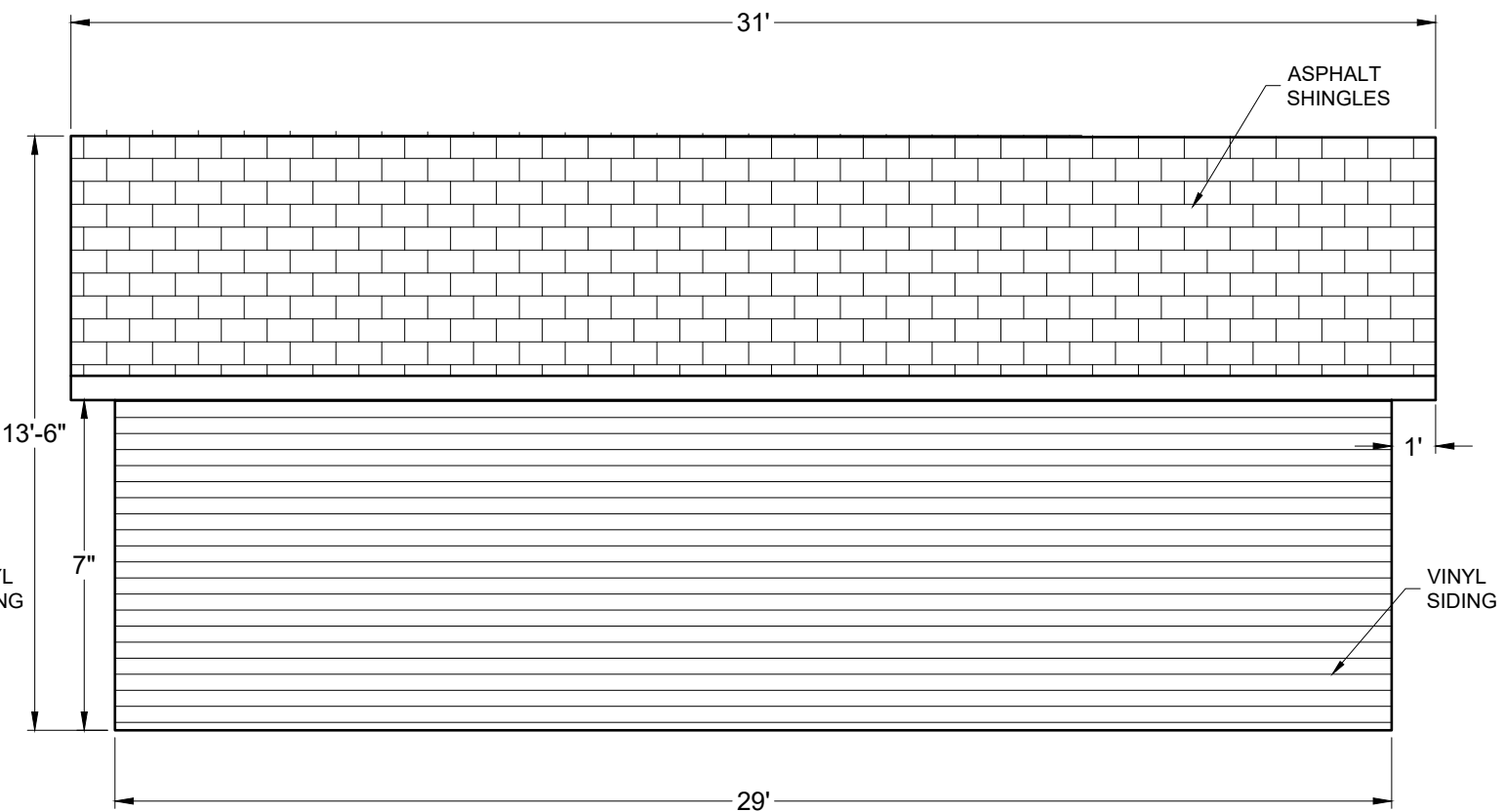
NOTE: ALL DIMENSIONS ARE IN FEET & INCHES UNLESS OTHERWISE SPECIFIED.

GARAGE MODIFICATION PROJECT	
3 MAPLEGLADE CLOSE SE, CALGARY, AB T2J 2H1	
DESIGNED BY: LES JOHNSON	
DRAWN BY: KUSUM GYAWALI	
DESIGN DATE: 2026-MAY-18	
SCALE: 1/4" = 1'	SHEET: 4 OF 8

GARAGE MODIFICATION PROJECT
(RIGHT AND LEFT SIDE ELEVATION)



(LEFT SIDE ELEVATION)



(RIGHT SIDE ELEVATION)

NOTE: ALL DIMENSIONS ARE IN FEET & INCHES UNLESS OTHERWISE SPECIFIED.

GARAGE MODIFICATION PROJECT	
3 MAPLEGLADE CLOSE SE, CALGARY, AB T2J 2H1	
DESIGNED BY: LES JOHNSON	
DRAWN BY: KUSUM GYAWALI	
DESIGN DATE: 2026-MAY-18	
SCALE: 1/4" = 1'	SHEET: 6 OF 8