

Marmot Office Addition

Proposed Industrial Development



JAG FORM
MEANING IN THE BUILT ENVIRONMENT



Architectural

dA0-00 Cover Page
dA0-02 Contextual Colour Photographs
dA0-10 Survey & Site Plans
dA0-11 Contextual Mapping & Construction Phasing Plan
dA0-12 Landscaping Plan
dA0-13 Fire and Emergency Services
dA0-14 Freight Rail Corridor Policy Information
dA0-15 Airport Vicinity Protection Area

dA1-02 Floor Plan
dA1-04 Roof Plan

dA2-01 Elevations

dA3-01 Cross-Sections

dA9-01 3D Representations

Surveyor

Site Plan



project name

Marmot Office Addition

project address

636 Beaver Dam Rd NE, Calgary, AB

drawing set title / issue purpose

DP Application Submission

issued to

City of Calgary

Planning Services Centre,
3rd floor, Municipal building
800 Macleod Trail SE



drawing issue date

May 29, 2026

AHJ App. / Permit No.

App. No.

Pre. App. No. PE2026-00242

Client / Owner

Marmot Construction Ltd.
636 Beaver Dam Rd NE,
Calgary, AB
(403) 730-8711

Architect

JAG Form Architecture Inc.
522 37 Street SW
Calgary, AB
(825) 935-2724 (ARCH)

Contractor - Trailer

ATCO Structures & Logistics Ltd.
285044 Bluegrass Drive
Rockyview County, AB
(403) 292-7400

Surveyor

Jones Geomatics Ltd.
20, 1323 44 Ave NE,
Calgary, AB
(403) 230-0778



subconsultant

drawn by
Marmot Construction Ltd.

no. revision date

3 DP Application May 29, 2026
2 Client Review May 25, 2026
1 DP Change of Use Application Feb. 17, 2026
no. issued for date

project name
Marmot Office Addition

MARMOT CONSTRUCTION

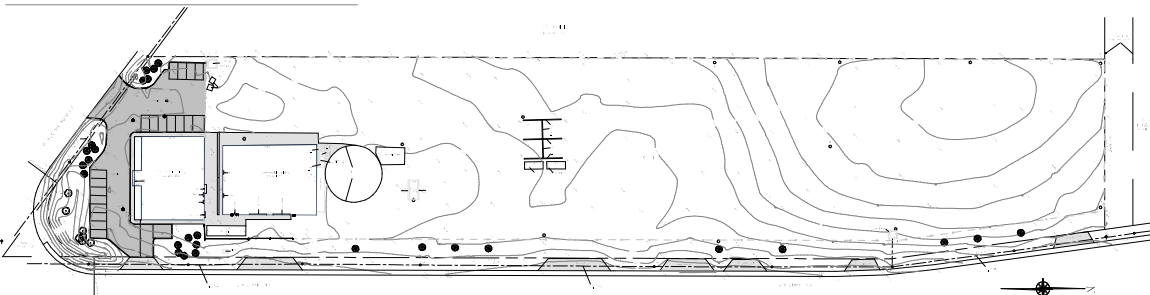
project address
636 Beaver Dam Rd NE, Calgary, AB

drawing title
Survey & Site Plans

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drawn by JAG checked by jon

project no. 26.001 drawing no. dA0-10



1 Survey Plan

Land Use Bylaw Site Statistics

Legal Land Description
BLOCK 1, PLAN 2237 ID
S.E. 1/4 SEC. 3, TWP. 25, RGE. 1, W. 51M.

Land Use Class
IG-Industrial - General

Property Area
2126.9 sqm (2.1 ha)

Civic Address
636 BEAVER DAM ROAD NE

Community
SKYLINE WEST

Land Use
General Industrial - Medium
• where part of the processes and functions associated with the use may be located outside of a building, including the function of using trailer units, as per LUB - IP2007, Part 4, Division 2, Clause 203.3(c)(i).

Existing Gross Usable Floor Area (GOUFA)
1,306.2 sqm (562.3 sqm + 743.9 sqm)

Proposed GOUFA
117.4 sqm (58.8 sqm Connector + 58.6 sqm Trailer)

Parking Stall Review Summary and Statistics

Item	LUB Requirement / Note	Calculation	Required	Existing / Provided	LUB Reference
Ordinary Motor Vehicle Parking Stalls	Not specified as ordinary minimum parking for General Industrial - Medium	N/A	Not specified	20 stalls	Section 121.1 / Table 1.2 applies only for barrier-free calculation base
Barrier-Free Parking Calculation Base	1.0 stall / 100.0 sq.m. GOUFA	1,306.2 / 100.0 = 13.062	14-stall calculation base	1 barrier-free stall provided	Section 121, Section 121.1, Table 1.2
Barrier-Free Stall Quantity	Calculated in accordance with National Building Code, using LUB Table 1.2 calculation base	Based on 14-stall calculation base	Per NBC	1 barrier-free stall provided	Section 121.1
Bicycle Parking - Class 1	Not required for General Industrial - Medium	N/A	0 stalls	0 stalls	Section 203.3(d)
Bicycle Parking - Class 2	1.0 stall / 2,000.0 sq.m. GOUFA	1,306.2 / 2,000.0 = 0.653	1 stall	1 stall provided	Section 203.3(e), Section 121
Loading Stalls	1.0 stall / 9,300.0 sq.m. GFA where cumulative GFA exceeds 930.0 sq.m	1,306.2 / 9,300.0 = 0.140	1 stall	1 stall provided	Section 123(c), Section 121

Parking Stall Comment: The Owner does not anticipate the proposed addition to burden the existing parking stall conditions.

Waste Collection Review Summary and Statistics

Item	Calculation / Basis	Result
Existing waste-generating area	Existing Admin + Warehouse	1,306.2 m ²
Proposed additional waste-generating area	Trailer only	58.6 m ²
Total waste-generating area		1,366.8 m ²
Required combined waste volume	1,366.8 m ² × 3.0 m ³ / 1,000 m ² / week	4.09 m ³ /week
Existing garbage + recycling capacity	2 × 4 yd ³ bins = 0.7646 m ³ /yd ³ × 1 pickup/week	6.12 m ³ /week
Collection method	Existing City front-load collection	WRS exemption No change proposed

2 LUB Site Statistics

Site Plan Notes

1. Base survey information for this drawing is provided by Jones Geomatics Ltd., a registered Alberta Land Surveyor, from a field survey conducted on January 29, 2026.
2. The extents of the property and contour line information has been truncated to the relevant subject area. Refer to the Survey Plan drawing for truncated extents.
3. Existing geodetic datum points and contours to remain, there are no proposed geodetic datum points.
4. Illustrated dimensions are in meters, unless stated otherwise.
5. Parking areas, drive aisles and circulation roads are existing and previously approved under DP2002-1973.
- a. The existing parking stalls are illustrated in orange and dimensioned in millimeters.
- b. The bank of parking stalls less than 5400 mm in depth are compensated by the adjacent, wider-than-required (7200 mm) drive aisle.

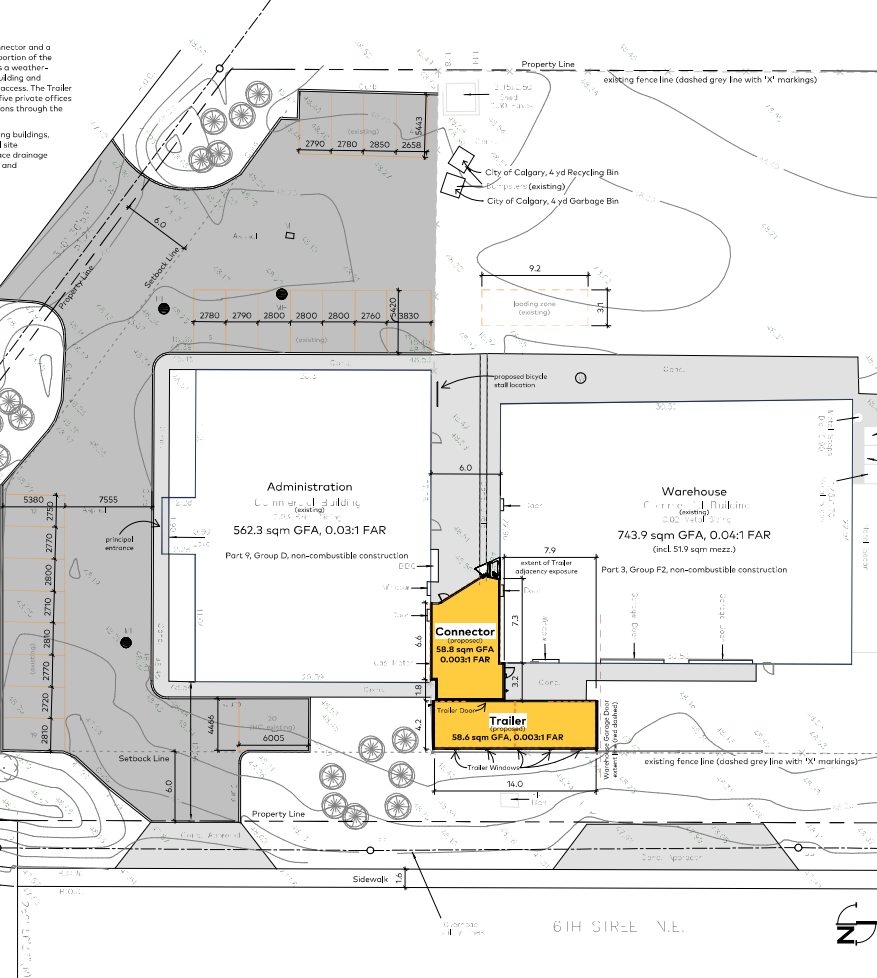
3 Site Plan

1:200

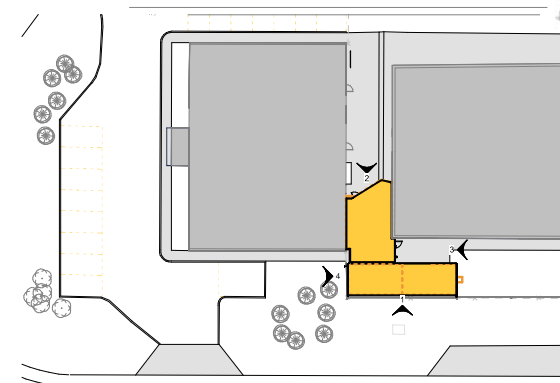
Project Explanation

The proposed development consists of a new enclosed Connector and a proposed five-office modular Trailer within the developed portion of the existing Marmot Construction site. The Connector provides a weather-protected walkway between the existing Administration Building and Warehouse, improving internal circulation and operational access. The Trailer provides additional staff office accommodation, including five private offices and support space, and is linked to the existing site operations through the Connector.

The additions are modest in scale, subordinate to the existing buildings, and compatible with the established commercial/industrial site context. Existing site drainage patterns, including the surface drainage swale between the existing buildings, are to be maintained and coordinated with the proposed work.



DP Exterior Materials Schedule				
Key	Material Category	Material/ System	Profile Configuration	Colour
Connector				
F1	Wall Cladding	Fibre cement siding	Vertical shiplap	Cinder Falls Smooth (brush stroke having variations of greys)
G2	Openings and Frames	Fire rated egress glazing	Clear glazing	Clear
G7	Openings and Frames	Overhead door fern panel	Semi translucent polycarbonate	Clear
L7	Mechanical Openings	Weatherhood kit	45 degree turn down with birdscreen	Concrete Gray, RAL 7023
M2	Wall Cladding	Westman Steel 7/8 Corrugated	Vertical corrugated	Jet Black GC60039
M5	Openings and Frames	Overhead door bottom panel	Insulated steel faced panel	Clear Anodized (Aluminum)
M7	Rainwater Goods	Scuppers/rain downspout	Scupper-fed formed metal conductor to grade	Natural Iron
O1	Roofing	EPDM roofing	Membrane	Black
O5	Openings and Frames	Fire rated egressory frame	Frame	Clear Anodized (Aluminum)
O6	Openings and Frames	Hollow metal door and frame	Smooth	Dark grey
O7	Openings and Frames	Overhead door frame	Side rail	Clear Anodized (Aluminum)
O9	Exterior Lighting	Exterior LED wall-mounted light fixture	Wall-mounted luminaire	Dark Bronze (DDBKD)
T1	Trim / Fascia	Fascia band	Flat band	Corros steel
T4	Trim / Fascia	Fascia band	Sheet metal	Iron Ore GC864
Trailer				
O1	Openings and Frames	Trailer window glazing	Clear glazing	Clear
M1	Wall Cladding	Westman Steel Deluxe Meso metal siding	Vertical	Iron Ore GC864
M6	Wall Cladding	Westman Steel Deluxe Meso metal siding	Horizontal	Royal Blue GC879D
M9	Rainwater Goods	Roof drainage system	Catch gutter, eavestrough, and downspout	Dark grey
O1	Roofing	EPDM roofing	Membrane	Black
O4	Openings and Frames	PVC window frame	Frame	White
O8	Mechanical Equipment	Exterior-mounted A/C unit	Equipment cabinet	White metal



Elevations Key Plan

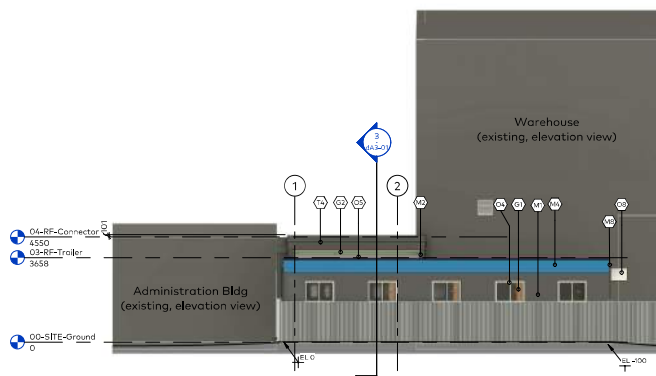
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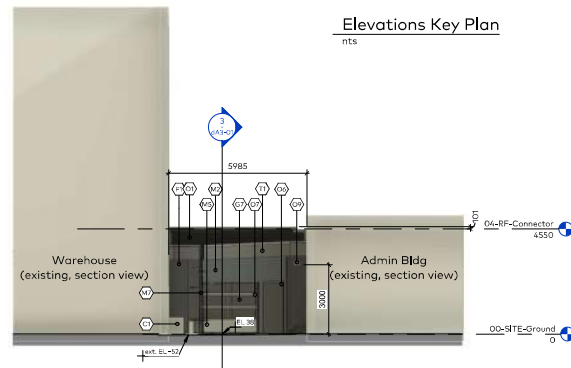
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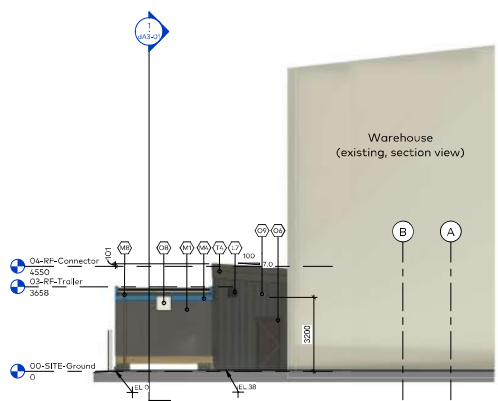
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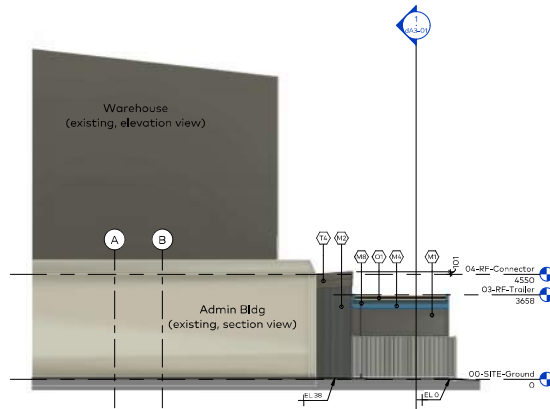
1 East Elevation
1:100



2 West Elevation
1:100



3 North Elevation
1:100



4 South Elevation
1:100

Client / owner
Marmot Construction Ltd.



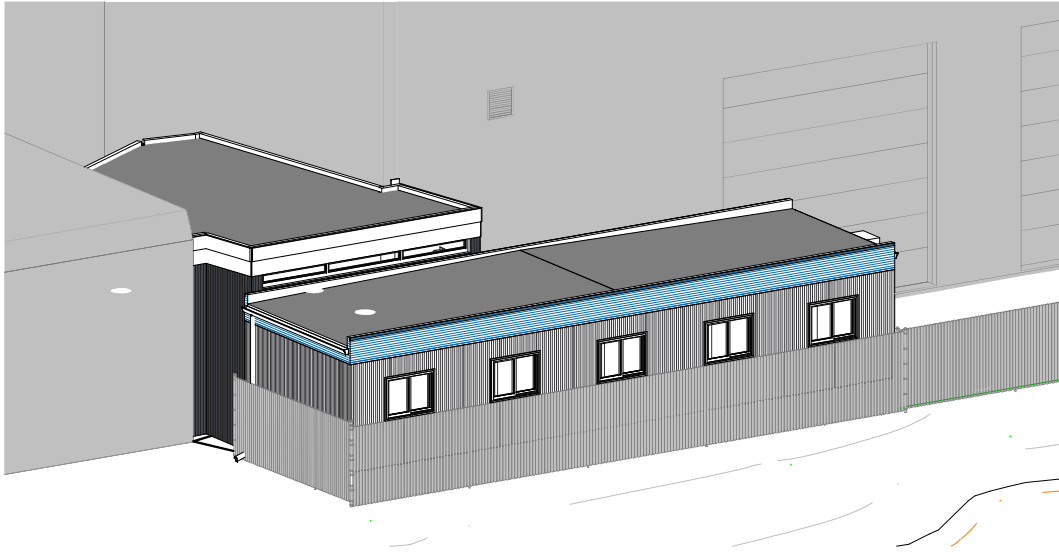
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1 Client Review	May 25, 2026
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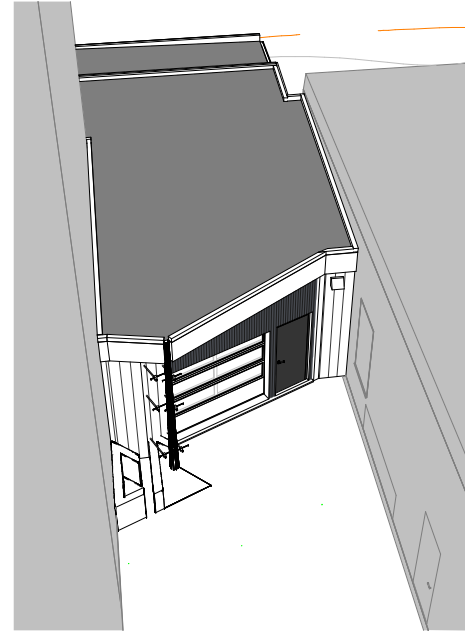
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drawing title
Elevations

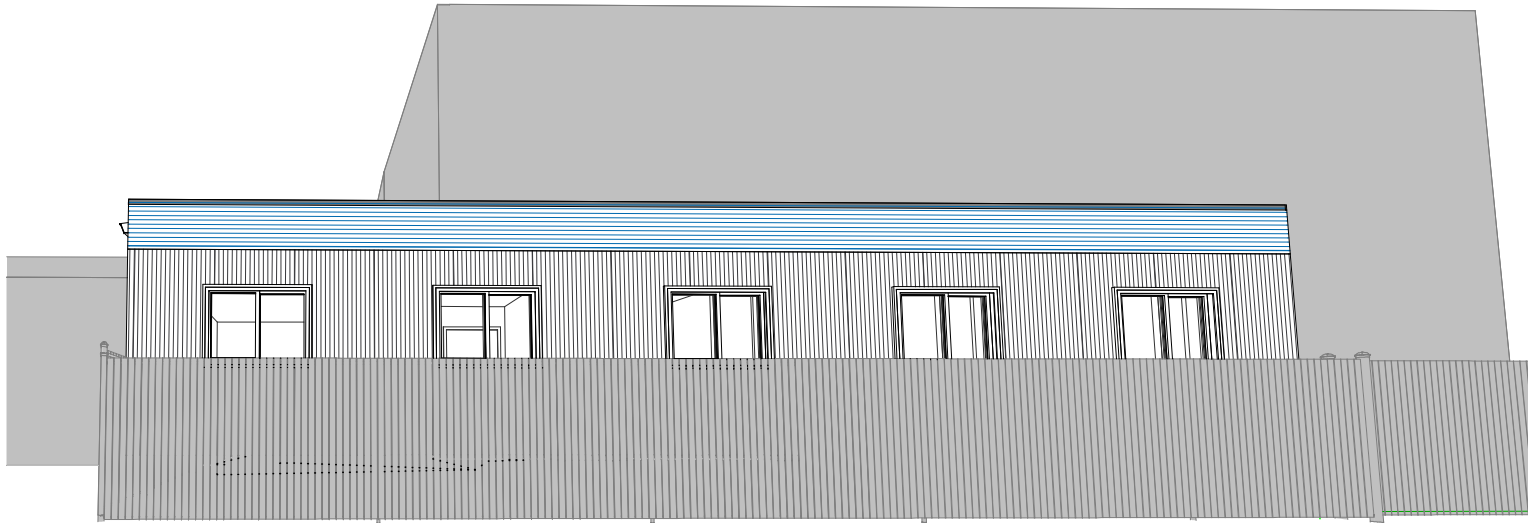
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project no. 26.001 drawing no. dA2-01



1 3D Ortho View - Birds-eye from South East
nts



2 3D Perspective View - birds-eye from West
nts



3 East Elevation Perspective - View from 6th Street Sidewalk
nts



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3D Representations

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