

PROJECT INFORMATION

- DRAWINGS ARE NOT TO BE SCALED
- ALL CONSTRUCTION METHODS AND SPECIFICATIONS SHALL CONFORM TO THE LATEST LOCAL BUILDING CODE
- BUILDER IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS + INFORMATION ON DRAWINGS
- ANY DISCREPANCIES MUST BE REPORTED TO SDP FOR CONFIRMATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- **ALL LOAD BEARING DOOR AND WINDOW LINTELS ARE 2-2x10 #2 SPRUCE OR BETTER UNLESS OTHERWISE NOTED**
- ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER OR AS NOTED.
- ALL STUDS TO BE CONSTRUCTION GRADE SPRUCE OR BETTER.
- PROVIDE FULL END BEARING SUPPORT TO STRUCTURAL MEMBERS WHERE REQUIRED
- ALL EXTERIOR WOOD FRAMING, WOOD SLEEPERS, AND WOOD IN CONTACT WITH CONC. TO BE PRESSURE TREATED
- CONTRACTOR TO CALK AND FLASH OVER ALL EXTERIOR DOOR AND WINDOW LINTELS AS REQUIRED
- EXCEPT WHERE OTHERWISE NOTED ALL EXTERIOR DOORS TO BE 1-3/4" THK AND INTERIOR DOORS TO BE 1-3/8" THK

LEGAL ADDRESS:

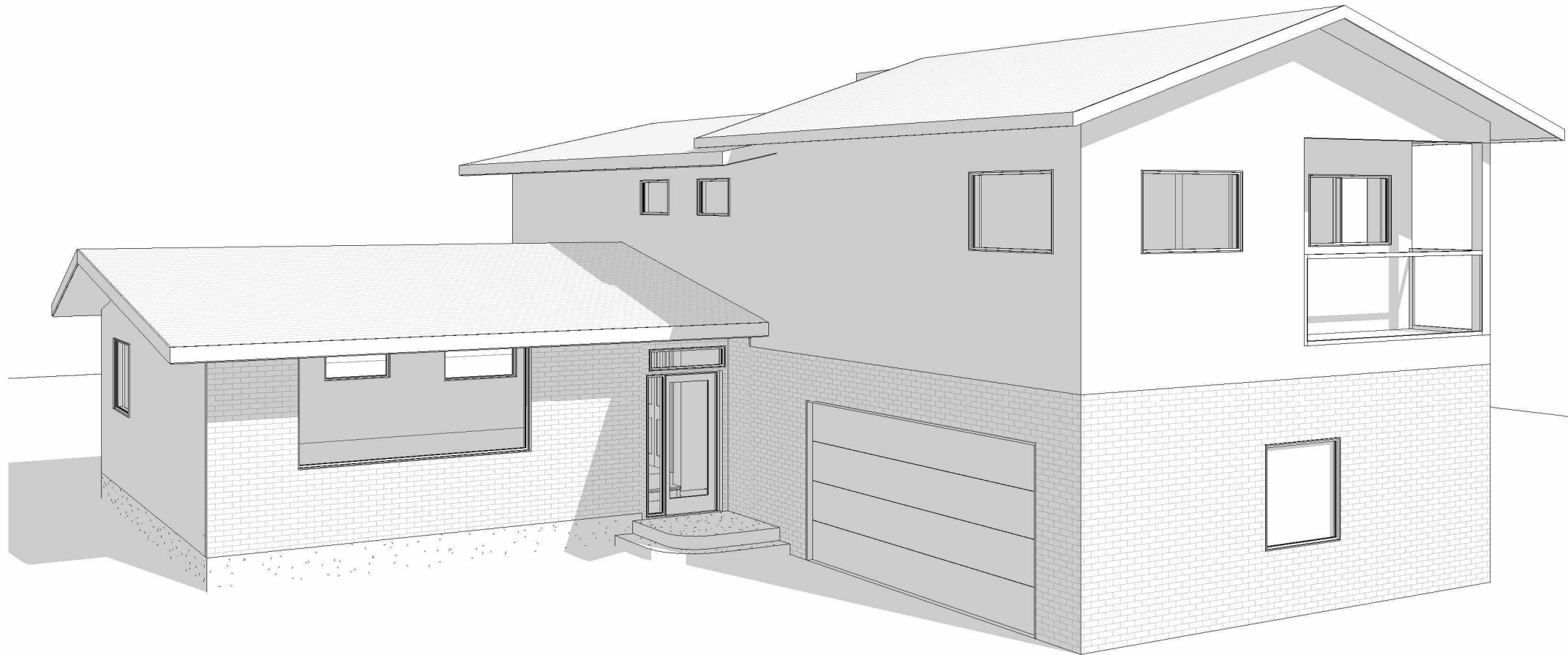
PLAN: 5224JK
BLOCK: 36
LOT: 16

PROPERTY INFORMATION:

LAND-USE DISTRICT = R-CG
YEAR OF CONSTRUCTION = 1968
WALK-OUT = ☐ YES / ☒ NO
FLOOD FRINGE = ☐ YES / ☒ NO
*IF YES: DP REQ'D FOR EXTERIOR CHANGES
*IF YES AND ADDITION: CHECK GFA
AVPA = ☐ YES / ☒ NO
*IF YES CHECK NEF FOR SUITES
ZERO LOT LINE = ☐ YES / ☒ NO
LANLESS LOT = ☒ YES / ☐ NO
*IF YES: CHECK SETBACKS
OVERHEAD POWER LINES = ☐ YES / ☒ NO
*IF YES CHECK CLEARANCE ON BACKYARD SUITES

PROPERTY INFORMATION (DEVELOPMENT PERMIT):

EXISTING CONTEXTUAL DWELLING = ☐ YES / ☒ NO
*IF RELAXATION IDENTIFIED CHECK IF DWELLING IS CONTEXTUAL
*RELAXATIONS ARE NOT PERMITTED ON CONTEXTUAL DWELLINGS
PUBLIC TREES = ☒ YES / ☐ NO
*IF YES: TREE PROTECTION PLAN REQUIRED
ESCARPMENT = ☐ YES / ☒ NO
*IF YES: REVIEW TITLE FOR COVENANTS
NEW RETAINING WALLS (> 1.2m) = ☐ YES / ☒ NO
*IF YES: SHOW ON SITE W/ GEODETICS



Drawing List

- A0.0 Cover Sheet
- A0.1 Drawing Legends
- A0.2 Project Specific Notes
- A0.3 General Notes
- A0.4 Construction Assemblies
- A1.0 Site Plan
- A1.1 Public Tree's
- A2.0 Main Floor Plan
- A2.1 Second Floor (Existing)
- A2.2 Second Floor (Proposed)
- A2.4 Roof Plan
- A3.0 Elevations
- A3.1 Elevations
- A3.2 Elevations
- A4.0 Sections
- A4.1 Sections
- A5.0 Details
- A5.1 Details
- A6.0 Energy Code (Walls)
- A6.1 Energy Code (Floor)
- A6.2 Energy Code (Roof)



Email: rob@sevendaypermits.ca
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• CONCRETE: REBAR + FORM WORK PRIOR TO POUR
• FRAMING: ENGINEERED BEAMS/LINTELS/POSTS/TALL WALLS/ETC.
• SCREW PILES: TORQUE REPORT
• SCREEN ROOMS + SUNROOMS: EXISTING STRUCTURE + CONNECTIONS

EMAIL PHOTOS TO THE ENGINEER THAT HAS STAMPED THESE PLANS
CONTACT SEVEN DAY PERMITS FOR ANY QUESTIONS.

GENERAL CONTRACTOR



ENGINEER

PROJECT SCOPE

- ADDITION
- -
- -

RELAXATIONS

- -
- -
- -

32 VARCREST PL NW
CALGARY, AB

ADDITION

2026-07-06 11:26:42 AM

Cover Sheet

Project : 2026-119DP

Scale:

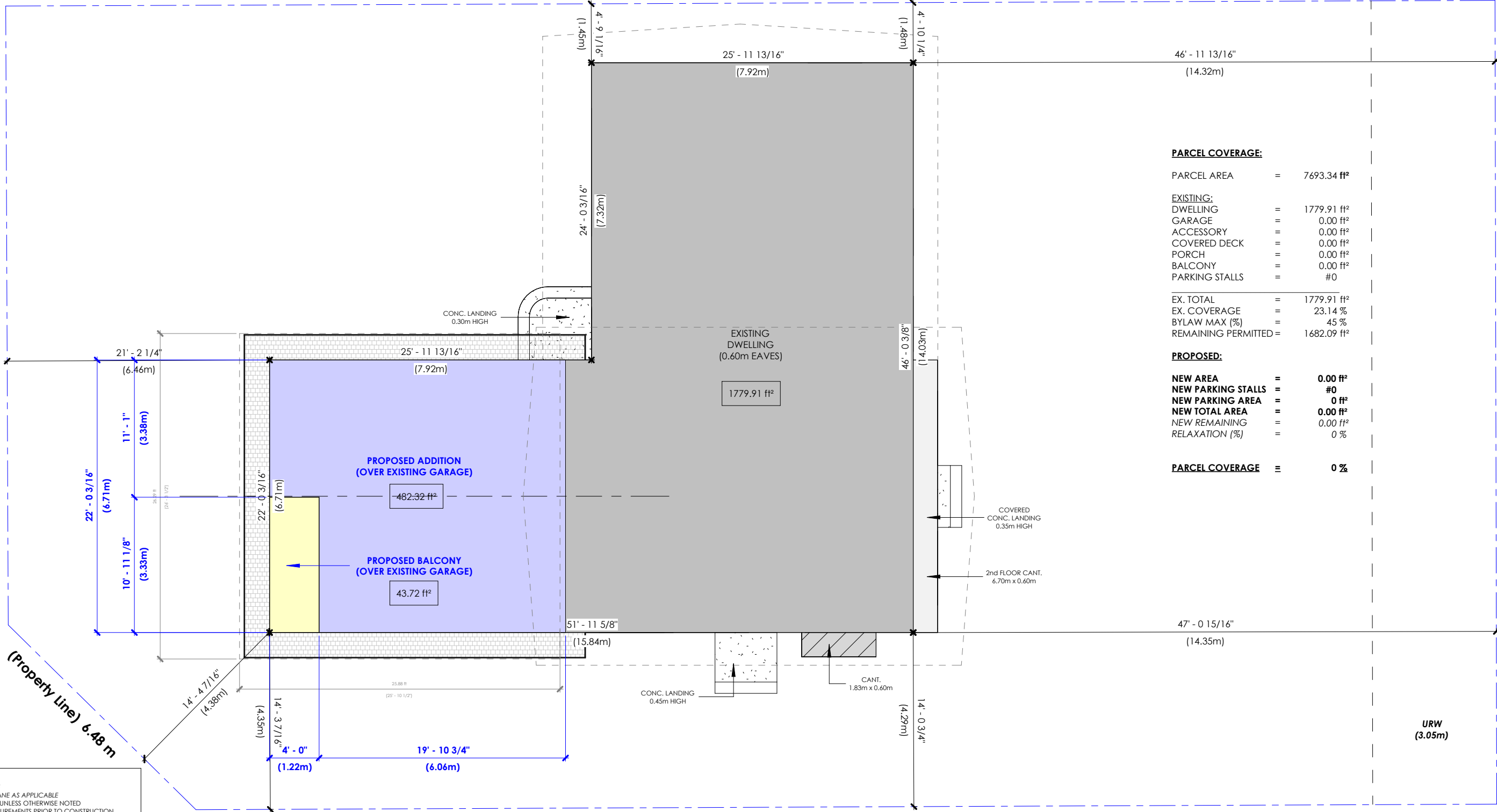
Drawn By: RFC

A0.0

ADJACENT LOT
(Property Line) 36.65 m

32 VARCREST PL NW
(Property Line) 15.24 m

ADJACENT LOT
(Property Line) 19.79 m



PARCEL COVERAGE:		
PARCEL AREA	=	7693.34 ft²
EXISTING:		
DWELLING	=	1779.91 ft²
GARAGE	=	0.00 ft²
ACCESSORY	=	0.00 ft²
COVERED DECK	=	0.00 ft²
PORCH	=	0.00 ft²
BALCONY	=	0.00 ft²
PARKING STALLS	=	#0
EX. TOTAL	=	1779.91 ft²
EX. COVERAGE	=	23.14 %
BYLAW MAX (%)	=	45 %
REMAINING PERMITTED	=	1682.09 ft²

PROPOSED:		
NEW AREA	=	0.00 ft²
NEW PARKING STALLS	=	#0
NEW PARKING AREA	=	0 ft²
NEW TOTAL AREA	=	0.00 ft²
NEW REMAINING	=	0.00 ft²
RELAXATION (%)	=	0 %

PARCEL COVERAGE = **0 %**

NOTE:
• ALL MATERIAL STORAGE ON SITE
• SITE ACCESS FROM ROAD OR LANE AS APPLICABLE
• ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED
• BUILDER TO CONFIRM ALL MEASUREMENTS PRIOR TO CONSTRUCTION
• BUILDER TO CONFIRM ROOF SLOPE AND HEEL HEIGHT PRIOR TO CONSTRUCTION (IF APPLICABLE)

NOTE:
PROPERTY LINE VALUES AND EXISTING SITE INFORMATION TO BE CONFIRMED PRIOR TO CONSTRUCTION. DIMENSIONS FOR THIS PLAN ACQUIRED FROM SUPPLIED RPR/SURVEY



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ENGINEER

GENERAL CONTRACTOR



1 Site
1 : 100

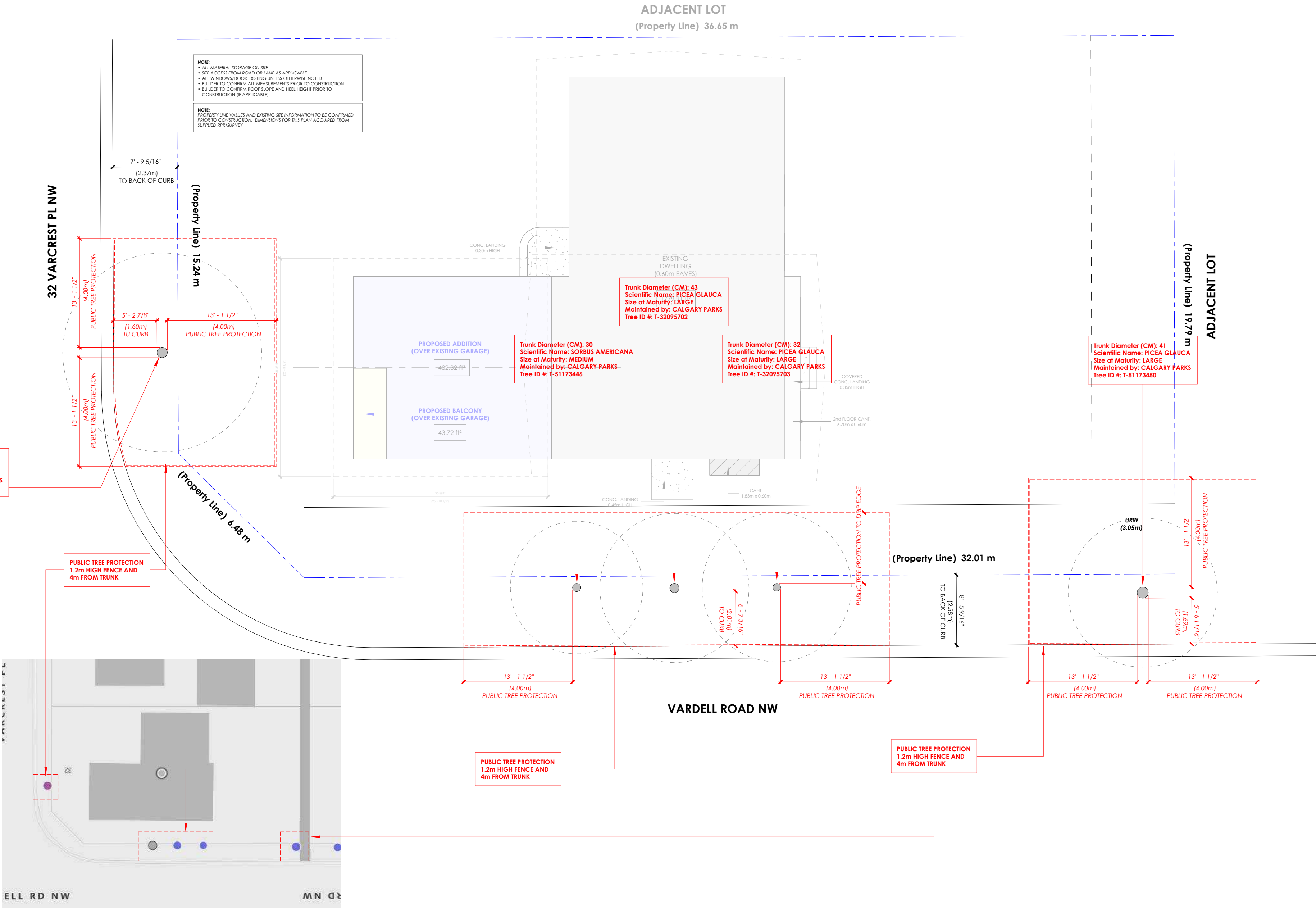
32 VARCREST PL NW
CALGARY, AB

ADDITION

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Site Plan	
Project :	2026-119DP
Scale:	1 : 100
Drawn By:	RFC

A1.0



1 Public Trees
1 : 100



SEVEN DAY PERMITS
Robert Carpenter
owner
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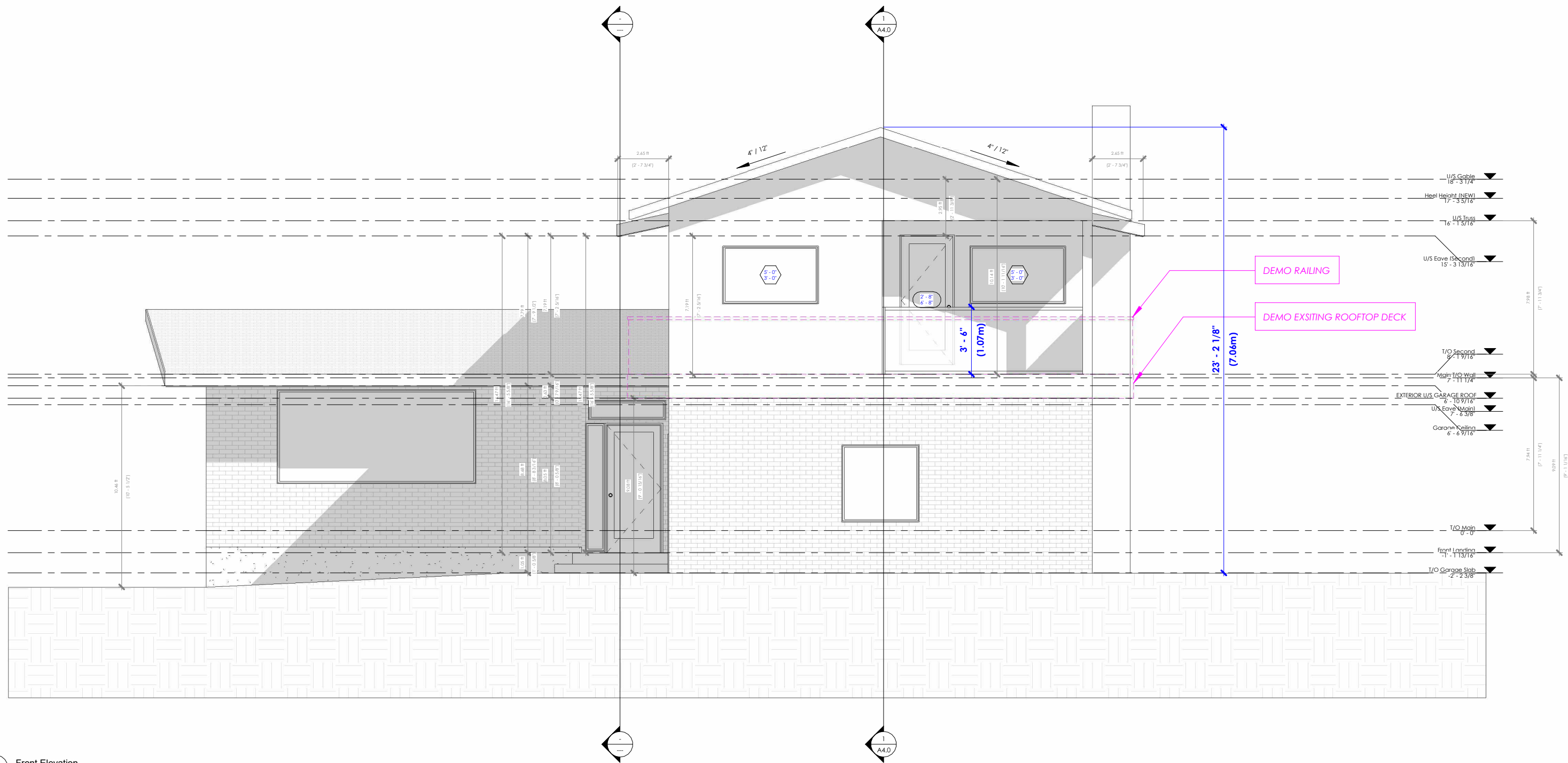
REVISIONS:		
1.	Client Review	dd / mm / yyyy
2.	-	dd / mm / yyyy
3.	-	dd / mm / yyyy
4.	-	dd / mm / yyyy
5.	-	dd / mm / yyyy

32 VARCREST PL NW
CALGARY, AB

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Public Tree's		
Project :	2026-119DP	
Drawn By:	RFC	Scale: 1 : 100
A1.1		



1 Front Elevation
3/16" = 1'-0"



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ENGINEER

GENERAL CONTRACTOR



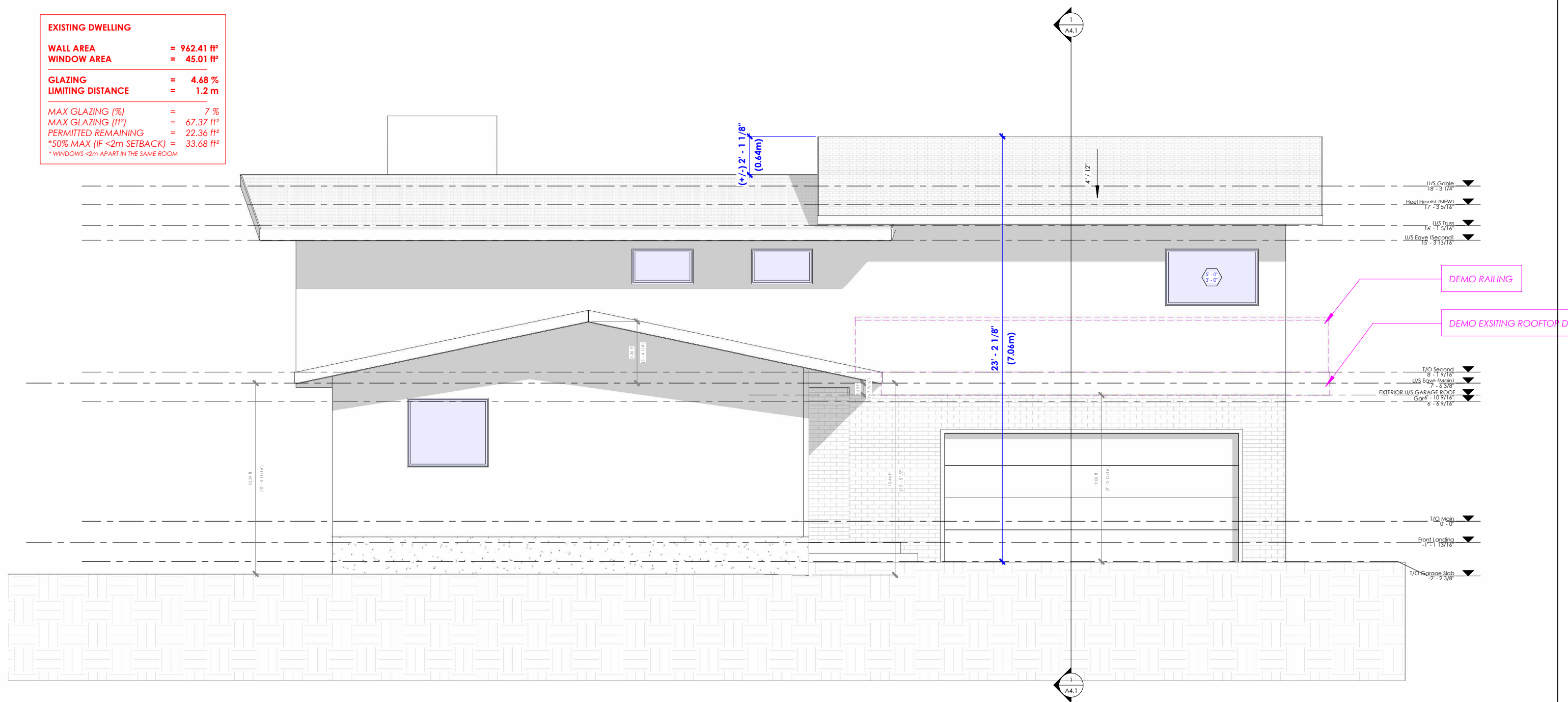
32 VARCREST PL NW
CALGARY, AB

ADDITION

2026-07-06 11:26:49 AM

Elevations	
Project :	2026-119DP
Scale:	3/16" = 1'-0"
Drawn By:	RFC
A3.0	

EXISTING DWELLING	
WALL AREA	= 962.41 ft²
WINDOW AREA	= 45.01 ft²
GLAZING	= 4.68 %
LIMITING DISTANCE	= 1.2 m
MAX GLAZING (%)	= 7 %
MAX GLAZING (ft²)	= 67.37 ft²
PERMITTED REMAINING	= 22.36 ft²
*50% MAX (IF <2m SETBACK)	= 33.68 ft²
* WINDOWS <2m APART IN THE SAME ROOM	



1 Left Elevation
3/16" = 1'-0"



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32 VARCREST PL NW
CALGARY, AB
ADDITION

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Elevations

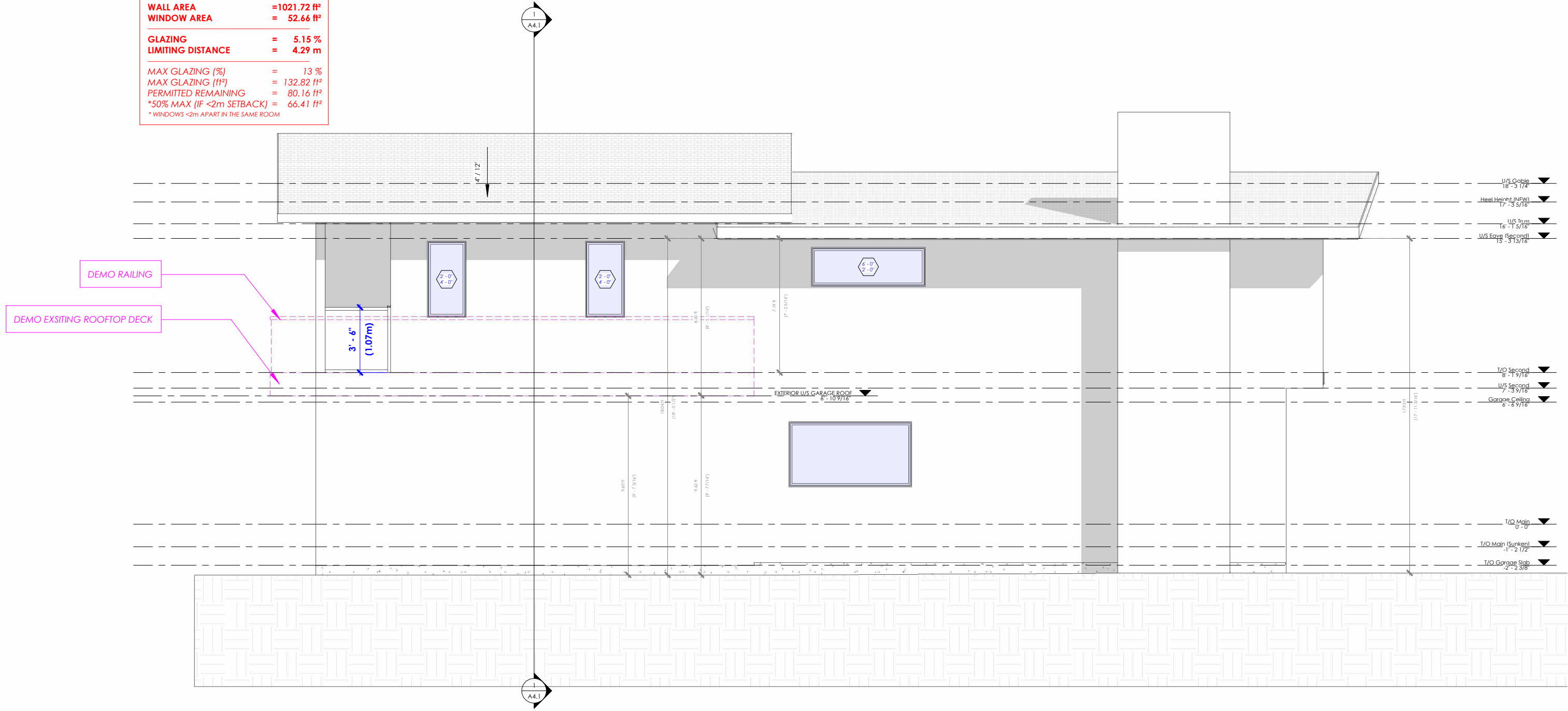
Project :	2026-119DP
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Scale: $3/16" = 1'-0"$

Drawn By:	RFC
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A3.1

EXISTING DWELLING	
WALL AREA	=1021.72 ff²
WINDOW AREA	= 52.66 ff²
GLAZING	= 5.15 %
LIMITING DISTANCE	= 4.29 m
MAX GLAZING (%)	= 13 %
MAX GLAZING (ff²)	= 132.82 ff²
PERMITTED REMAINING	= 80.16 ff²
*50% MAX (IF <2m SETBACK)	= 66.41 ff²
* WINDOWS <2m APART IN THE SAME ROOM	



1 Right Elevation
3/16" = 1'-0"



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32 VARCREST PL NW
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Elevations

Project : 2026-119DP

Scale: 3/16" = 1'-0"

Drawn By: RFC

A3.2