

ALENA DEVELOPMENTS

SINGLE DWELLING
2416 29 AVE SW
CALGARY, ALBERTA
LOT 8, BLOCK 19, PLAN 4479p



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SHEET LIST

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BLDG 2 - GARAGE FOUNDATION PLAN & SECTIONS	A5.1

PROJECT INFO

CLIENT/PROJECT: [REDACTED]
LEGAL ADDRESS: Lot 8, Block 19, Plan 4479p
CIVIC ADDRESS: 2416 29 AVE SW

DRAWING INFORMATION

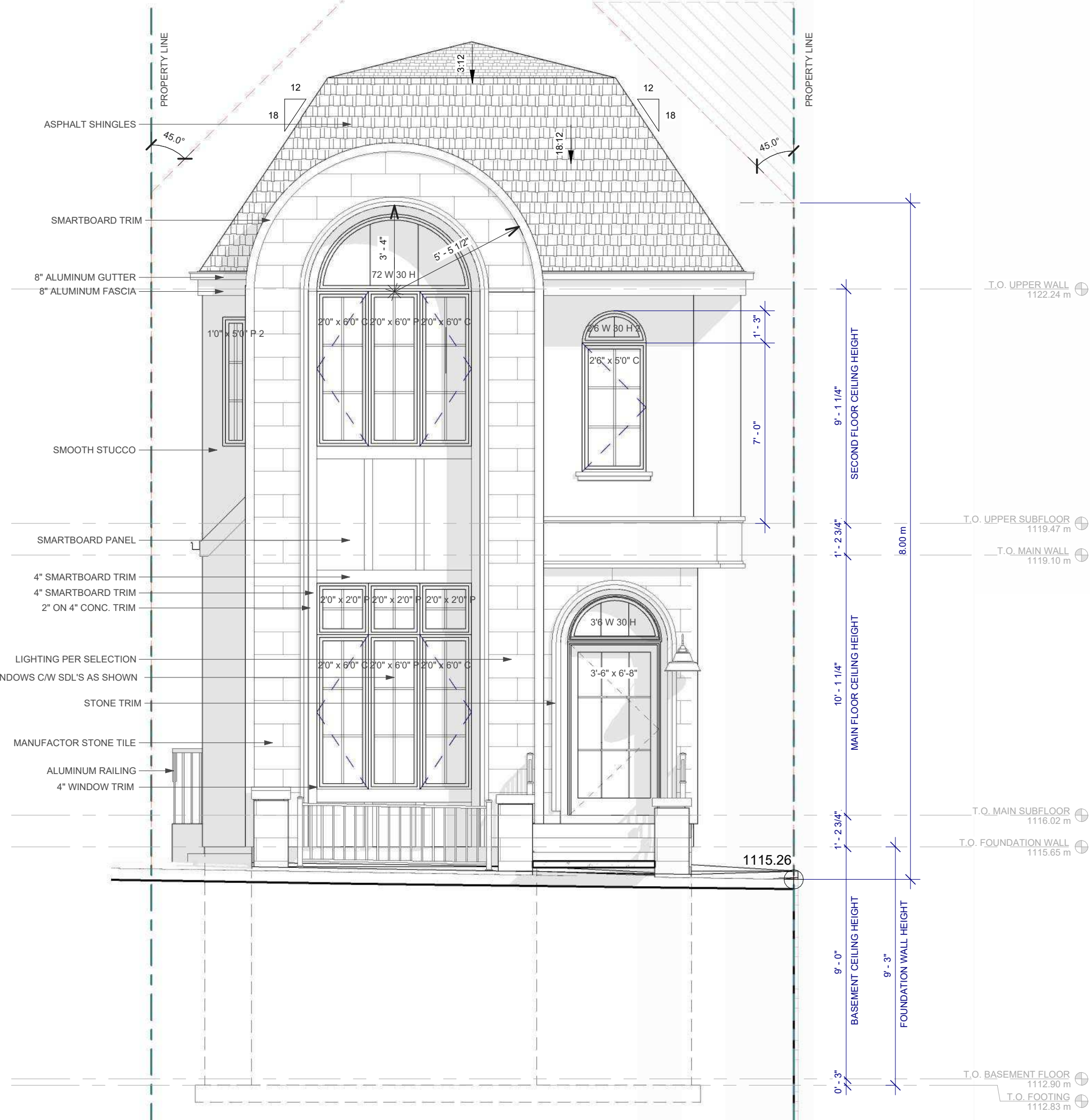
PROJECT LEAD: TM
CHECKED BY: EMC
STATUS: ISSUED FOR DP
SCALE: 1/4" = 1'-0"
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REVISION HISTORY

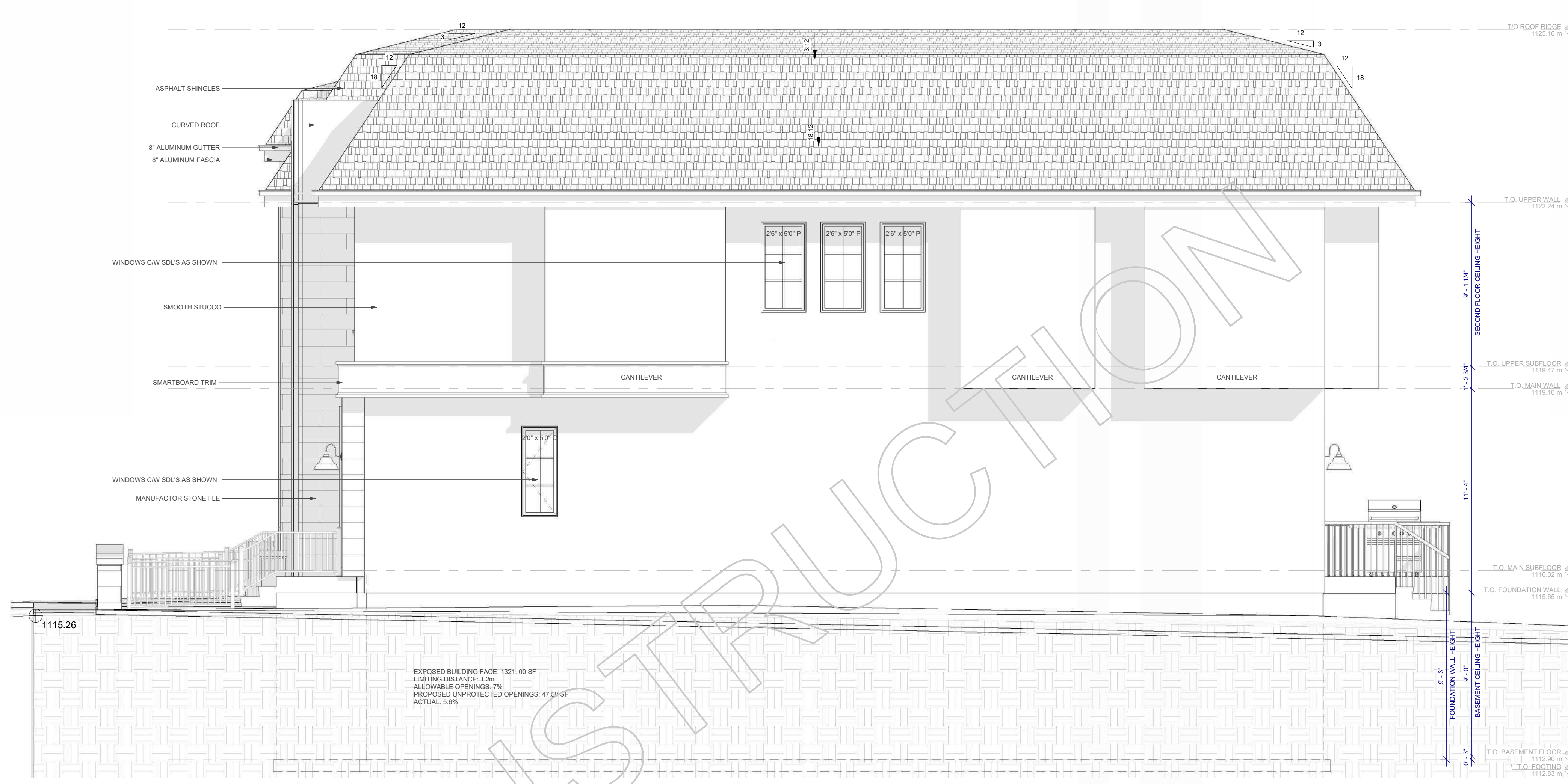
REVISION	DATE
PRESENTATION 1	04.20
PRESENTATION 2	04.22
ISSUED FOR DP	05.22

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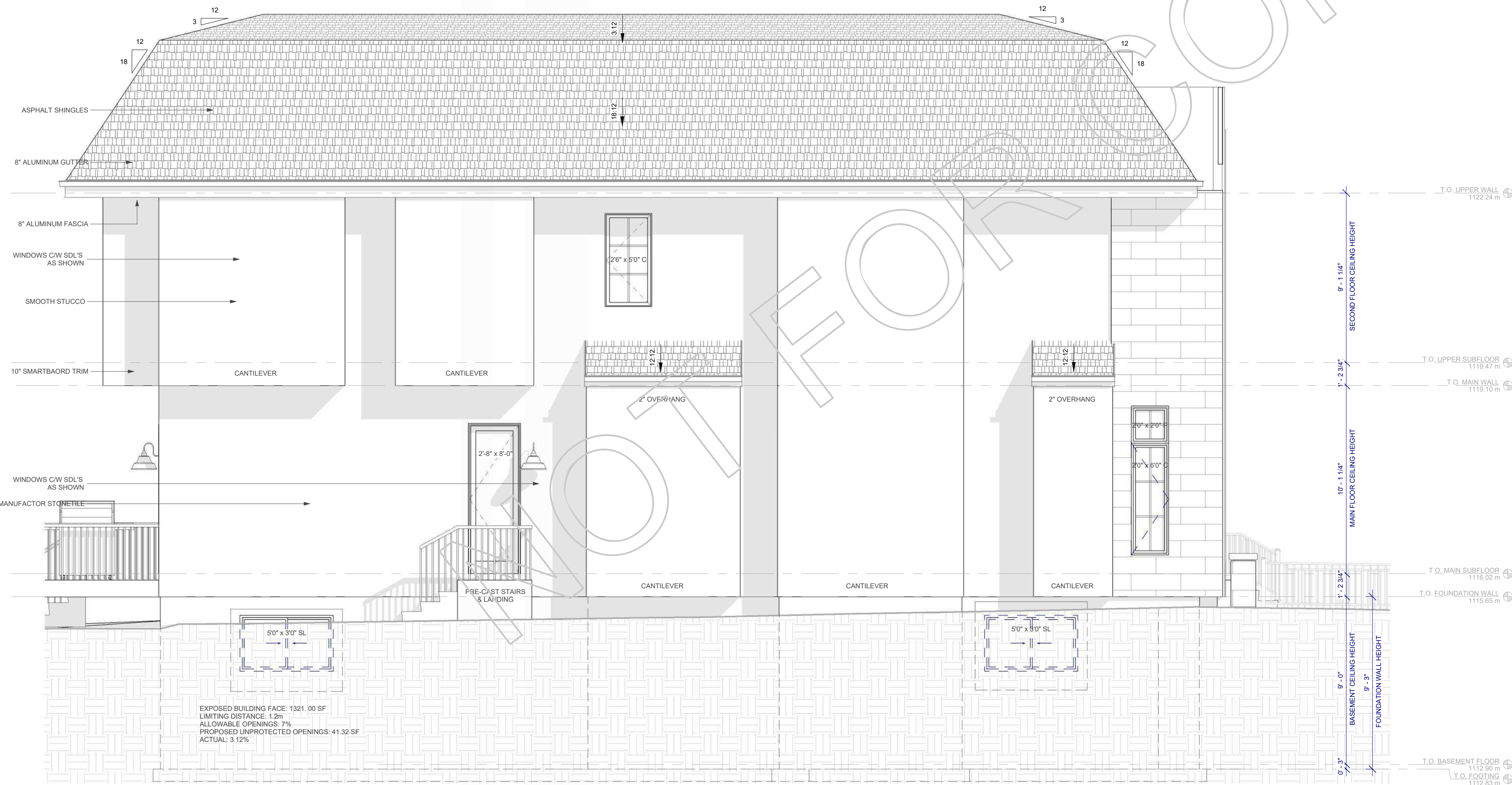
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BUILDING 2 - FRONT ELEVATION
1/4" = 1'-0"



BUILDING 2 - RIGHT ELEVATION
1/4" = 1'-0"

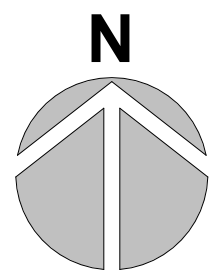


BUILDING 2 - LEFT ELEVATION
1/4" = 1'-0"



BUILDING 2 - REAR ELEVATION
1/4" = 1'-0"

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REVISION HISTORY	
PRESENTATION 1	04.26
PRESENTATION 2	04.22
ISSUED FOR DP	05.22

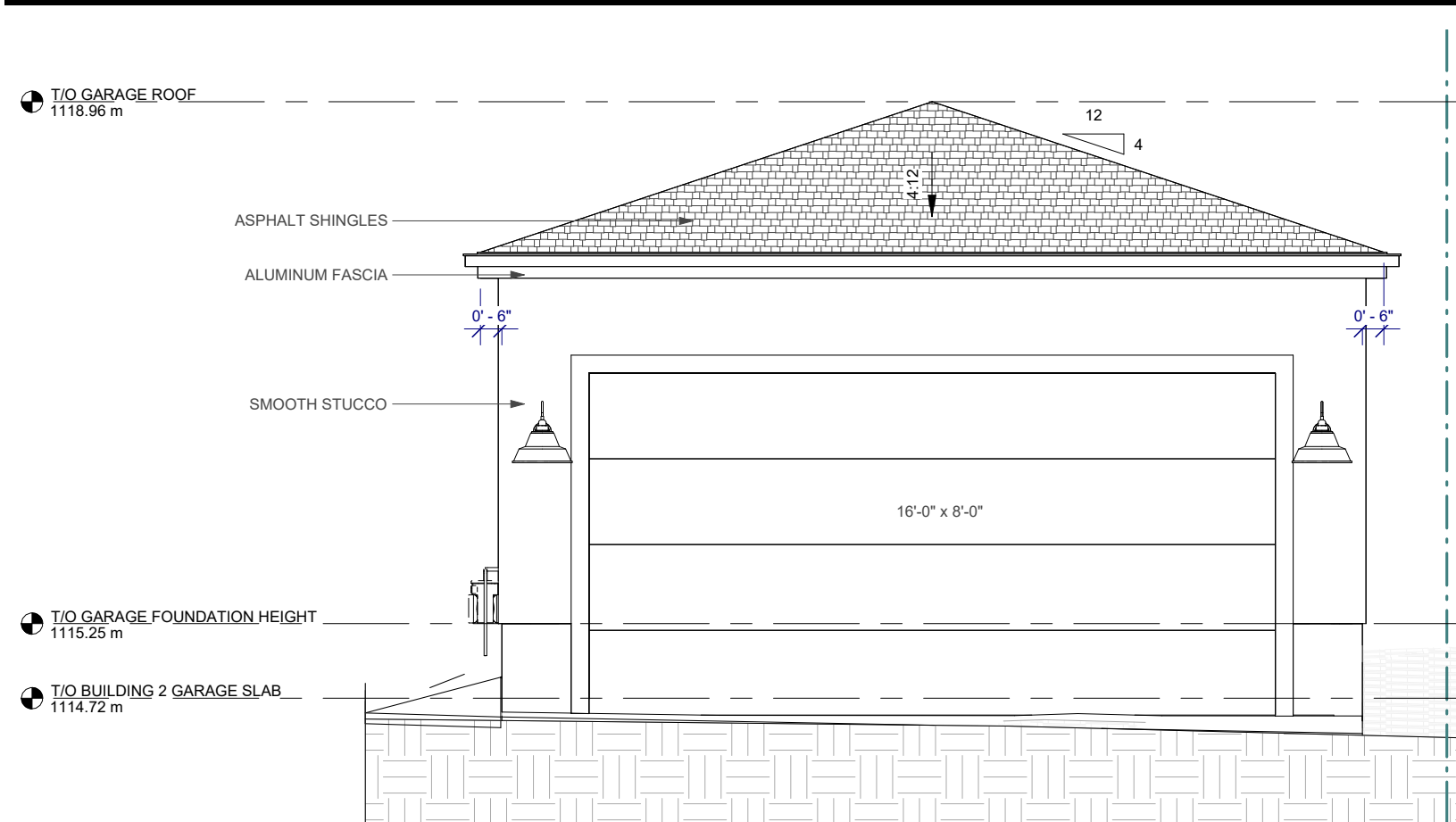


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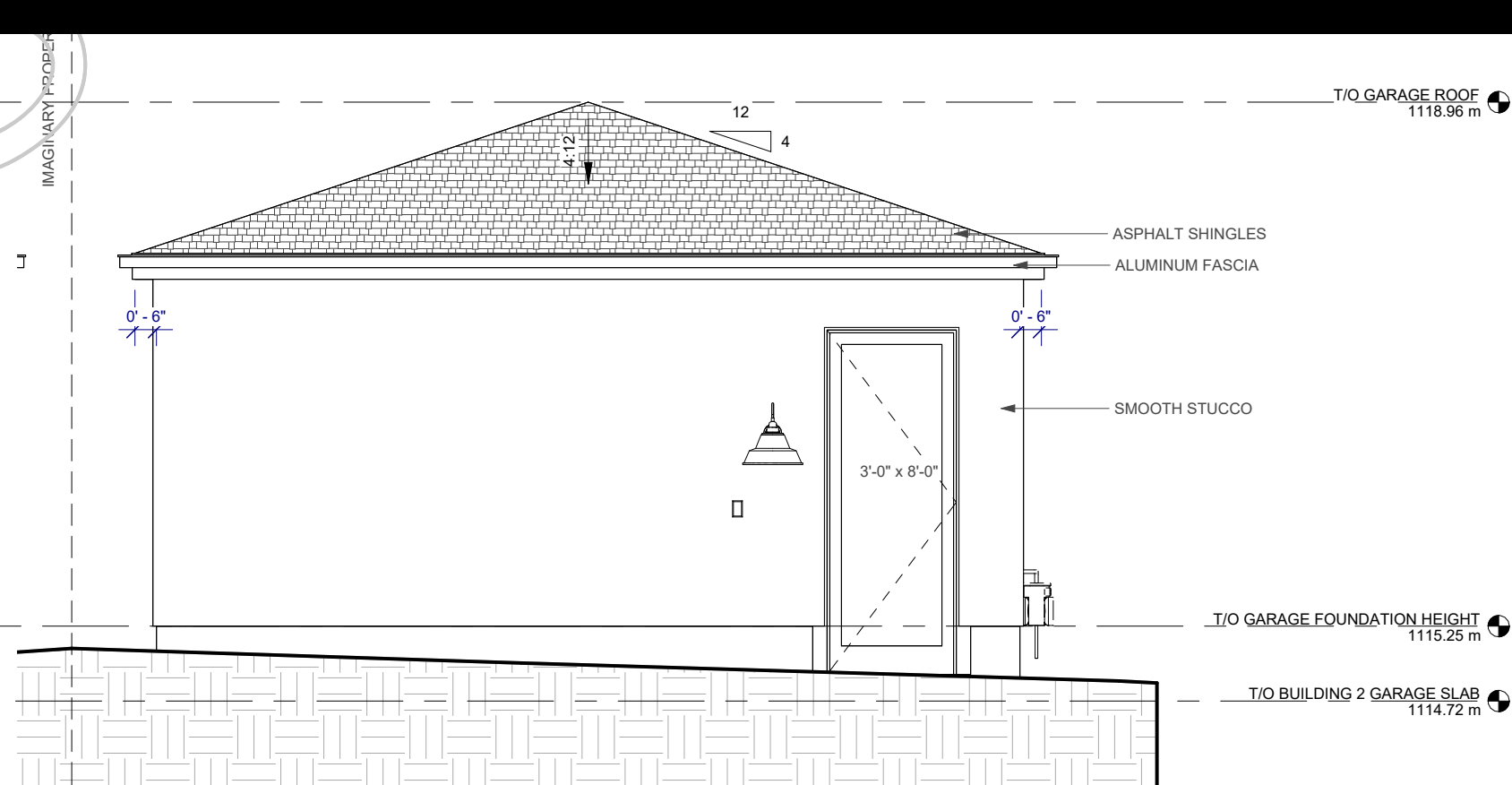
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ELECTRICAL FIXTURE LEGEND

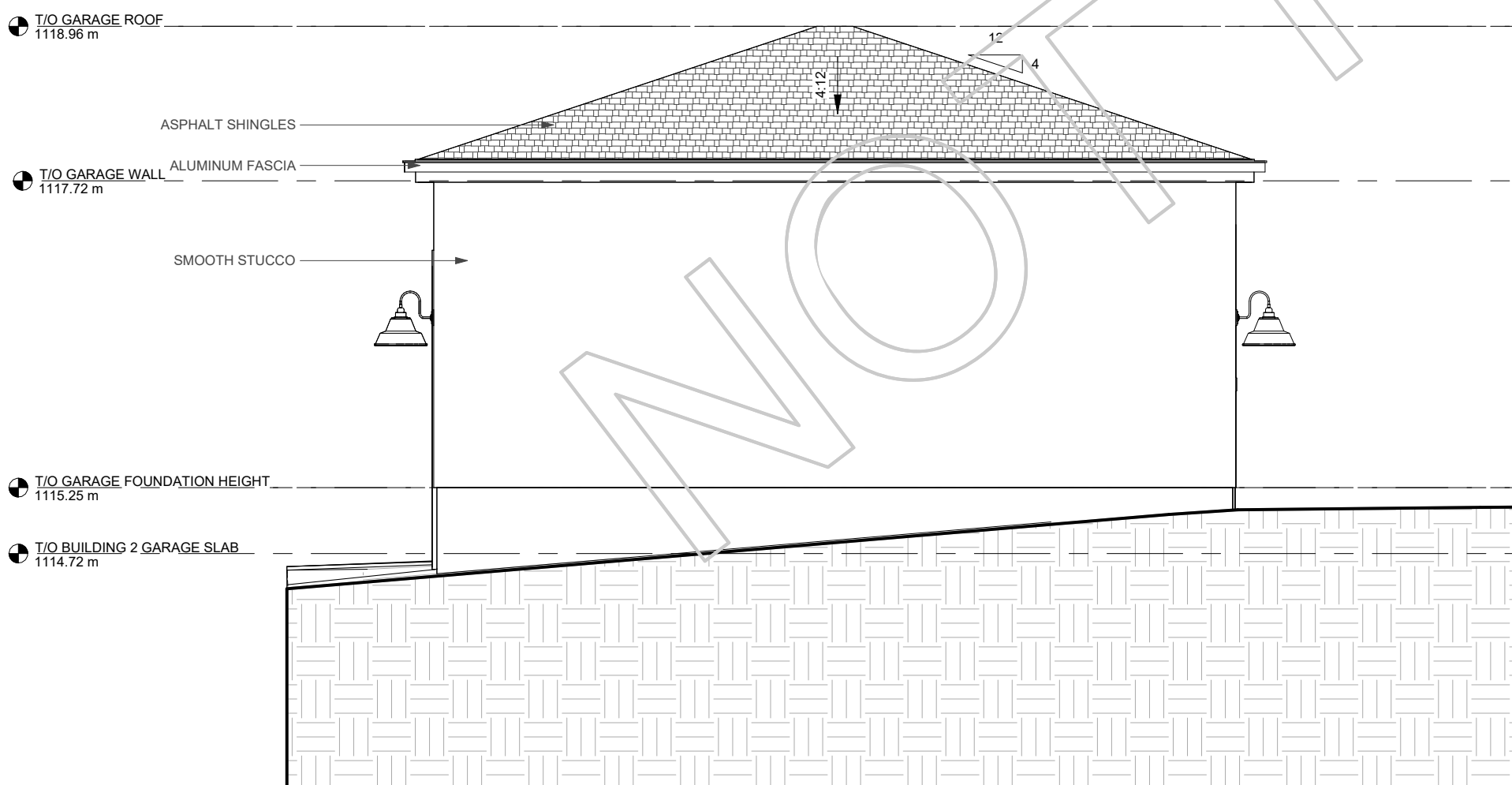
SYMBOL	DESCRIPTION
	NEW POT LIGHT
	NEW STANDARD CEILING MOUNT FIXTURE
	NEW BATH FAN LOCATION
	NEW SUSPENDED PENDANT FIXTURE
	NEW SURFACE MOUNTED TRACKLIGHT
	NEW WALL MOUNTED SCONCE
	NEW WALL MOUNTED FIXTURE
	NEW SMOKE AND CO2 DETECTOR
	NEW UNDER COUNTER LIGHT
	DUPLEX WALL MOUNTED POWER RECEPTACLE 14\"/>
	DUPLEX RECEPTACLE, CEILING OR SOFFIT MOUNTED POWER OUTLET
	DUPLEX RECEPTACLE, FLOOR MOUNTED POWER OUTLET
	REFERS TO LIGHT SWITCH FOR THE CONTROL OF LIGHT WITHIN THE ROOM/AREA. "X" REFERS TO SWITCHING PATTERN. "3" REFERS TO 3-WAY LIGHT CONTROL SWITCH "4" REFERS TO 4-WAY LIGHT CONTROL SWITCH "D" REFERS TO DIMMER CONTROL SWITCH
	220V RECEPTACLE MOUNTED AT 14\"/>
	RECEPTACLE FOR CEILING MOUNTED GARAGE DOOR RECEPTACLE
	DOUBLE DUPLEX GROUND FAULT INTERRUPT RECEPTACLE MOUNTED AT 14\"/>
ELECTRICAL WIRING AS PER ELECTRICAL CODE. QUANTITY AND LOCATION OF SWITCHES AND OUTLETS ON PLANS ARE A GUIDELINE ONLY.	



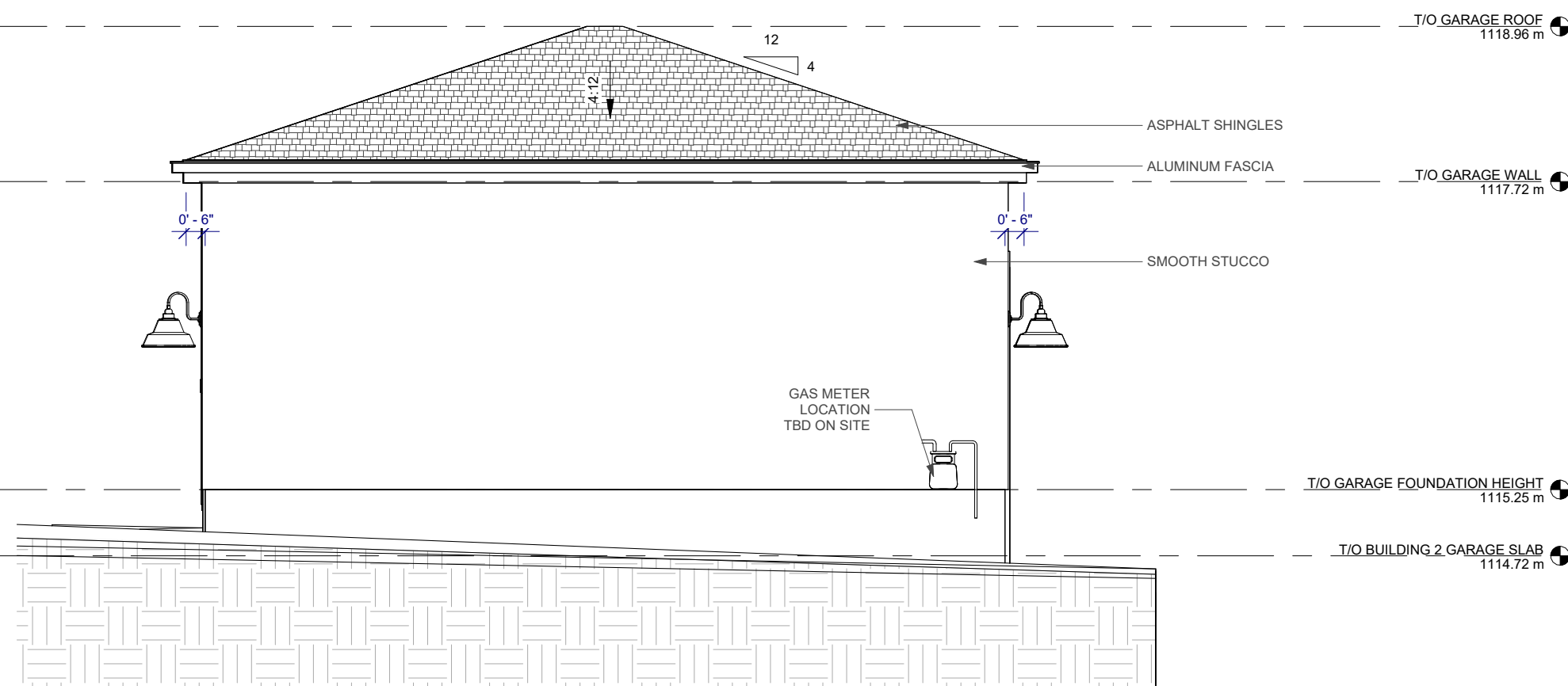
3 BLDG 2 - GARAGE FRONT ELEVATION
1/4" = 1'-0"



4 BLDG 2 - GARAGE REAR ELEVATION
1/4" = 1'-0"



5 BLDG 2 - LEFT ELEVATION
1/4" = 1'-0"



6 BLDG 2 - GARAGE RIGHT ELEVATION
1/4" = 1'-0"

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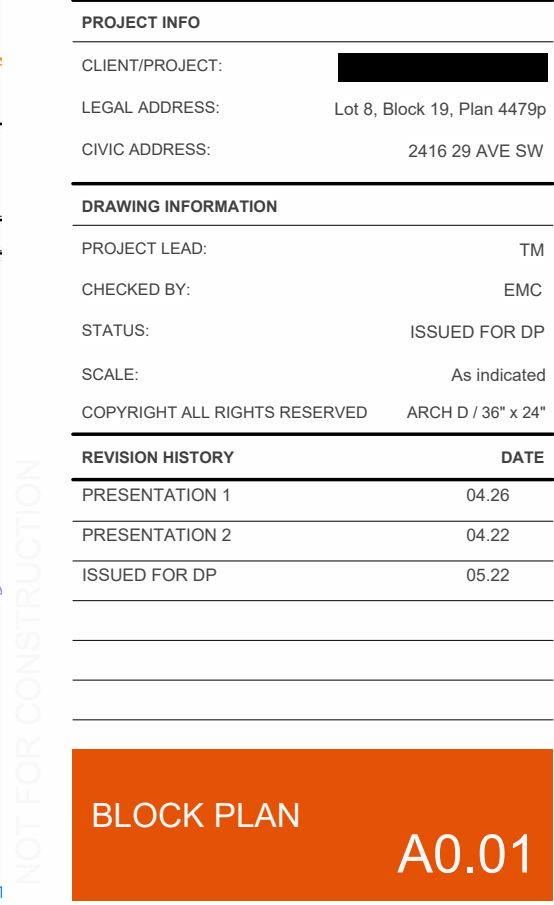
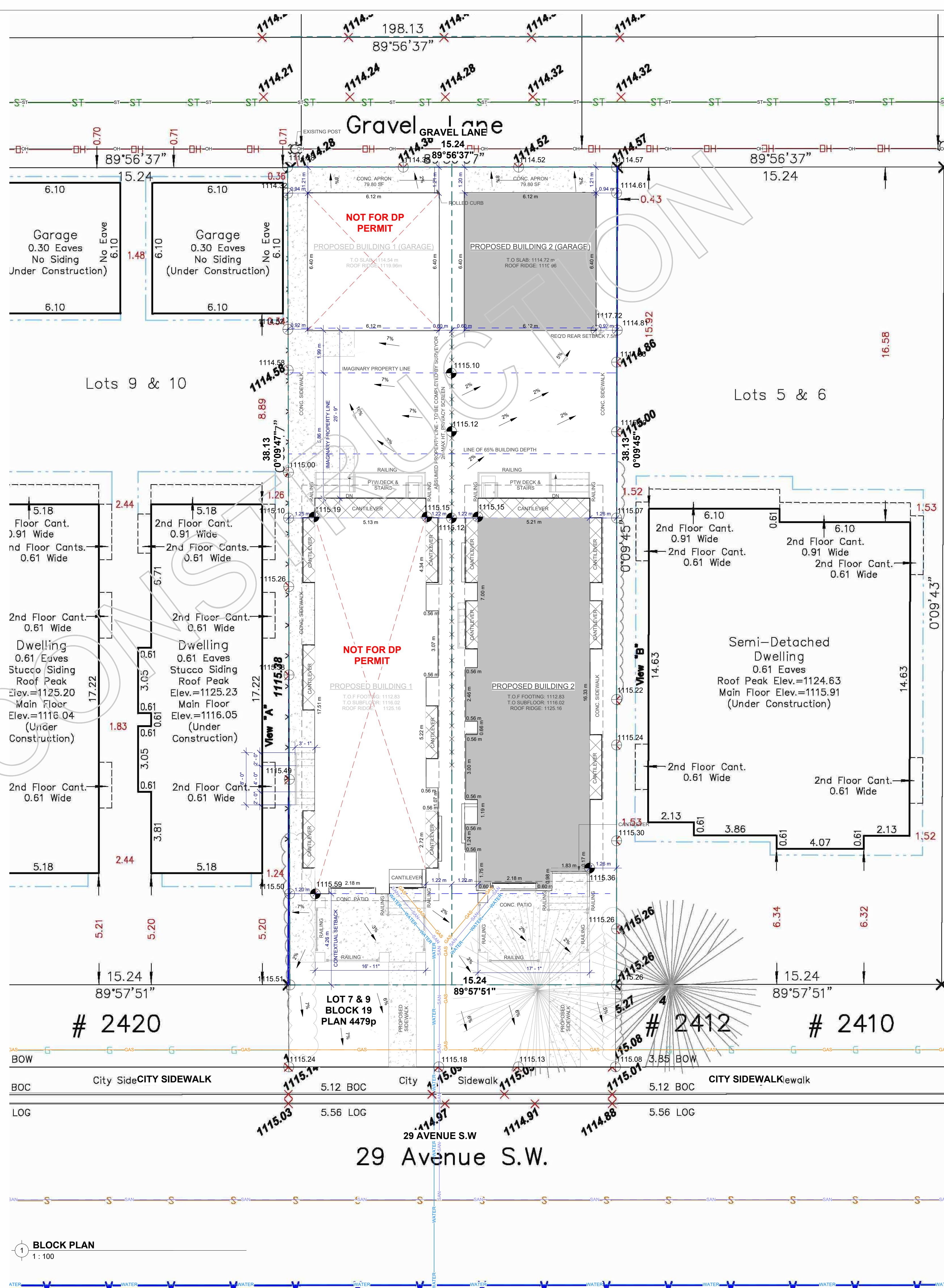
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PRESENTATION 2	04.22
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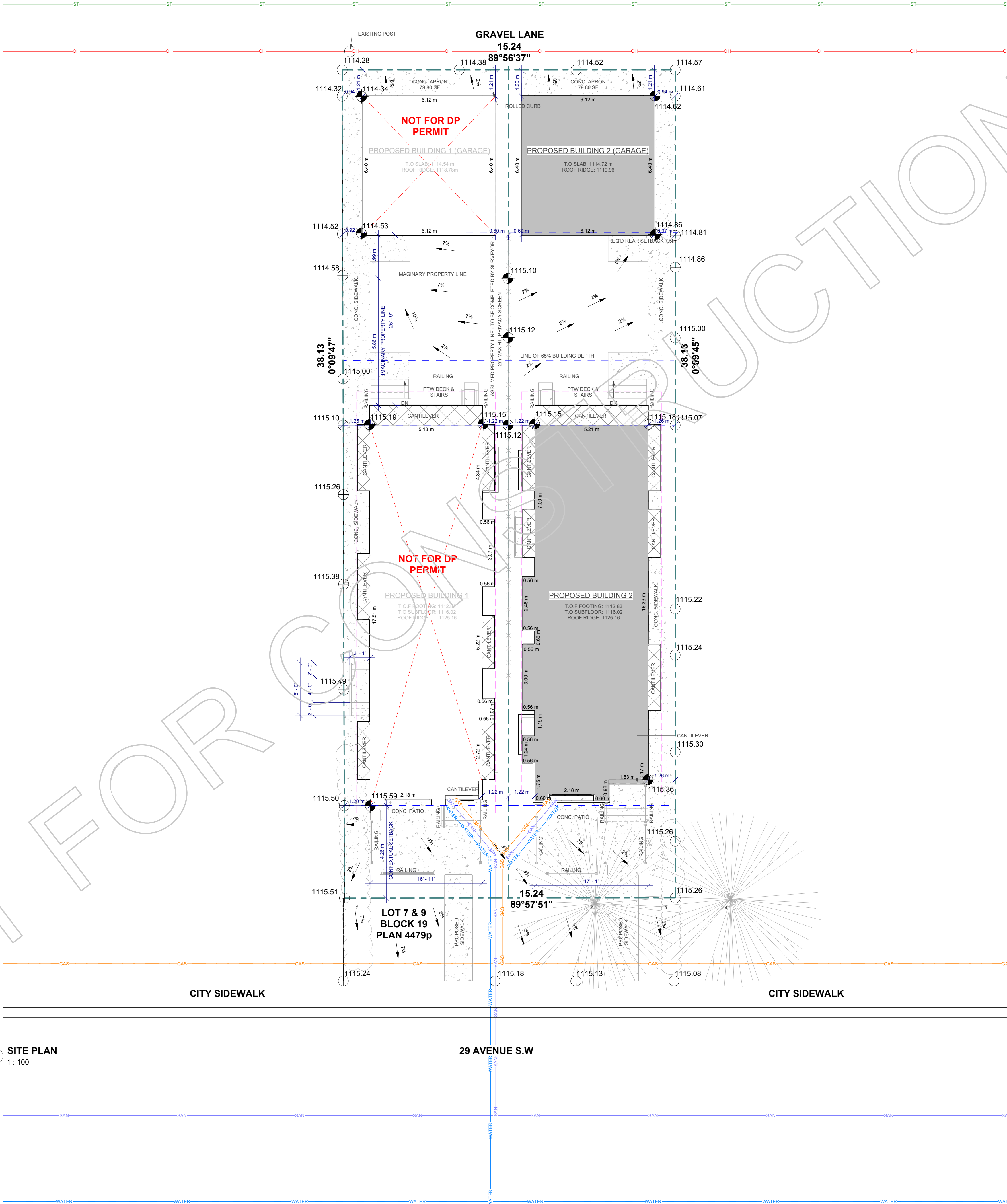
EXISTING TREE SCHEDULE:							
#	CITY TREE ID #	SPECIES	TRUNK DIA.	CANOPY DIA.	HEIGHT	TYPE	STATUS
1	-	-	---	1.00	1.70	BUSH	TO BE REMOVED
2	T-51134019	PICEA PUNGENS	0.70	8.00	11.00	CONIFEROUS	TO REMAIN
3	-	-	---	0.75	1.00	BUSH	TO BE REMOVED
4	-	-	---	0.80	11.00	CONIFEROUS	TO REMAIN
5	-	-	---	1.00	2.00	BUSH	TO BE REMOVED



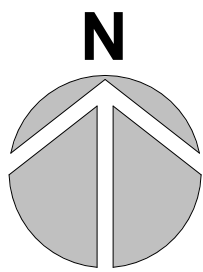
SITE COVERAGE:		
BUILDING REQUIREMENT:		
SITE AREA	551.41 m ²	
ALLOWED COVERAGE	45.00%	247.62 m ²
ACTUAL PROVIDED:		
BUILDING 1 FOOTPRINT	90.10 m ²	
BUILDING 2 FOOTPRINT	91.72 m ²	
TOTAL RESIDENCE	181.82 m ²	
BUILDING 3 GARAGE	30.14 m ²	
BUILDING 4 GARAGE	30.14 m ²	
TOTAL ACCESSORY BUILDINGS	60.28 m ²	
TOTAL ON SITE	242.10 m ²	
SITE LEGEND:		
PROPERTY LINES	---	
SETBACKS	---	
UTILITY R.O.W. & CREATES	---	
ROOF OVERHANG	---	
ELECTRICAL	---	
STORMWATER	---	
WATER LINES	---	
GAS LINES	---	
PROPOSED RESIDENCE	---	
PROPOSED GARAGES	---	
EXISTING BUILDINGS	---	
CONCRETE PATHS, ETC.	---	
GRAVEL	---	
WOOD DECKS/PORCHES	---	
EXISTING GEODETICS	---	
PROPOSED GEODETICS	---	
DISCLAIMER:		
ALL SITE INFORMATION IS BASED OFF OF THIRD PARTY DRAWINGS. ELLERSGODT DESIGN TAKES NO RESPONSIBILITY FOR INACCURATE DIMENSIONS. SITE SURVEYING, EXISTING SERVICE LINES OR LOCATIONS, BELONG TO THE CITY OF CALGARY. DIMENSIONS ON SITE PRIOR TO STARTING CONSTRUCTION.		

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2	T-5134019	PICEA PUNGENS	0.70	8.00	11.00	CONIFEROUS	TO BE REMOVED
3	-	-	---	0.75	1.30	BUSH	TO BE REMOVED
4	-	-	---	8.00	11.00	CONIFEROUS	TO BE REMOVED
5	-	-	---	1.00	2.00	BUSH	TO BE REMOVED



SITE PLAN
1:100



ellergodt DESIGN

113 7A STREET NE
CALGARY, ALBERTA
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www.ellergodtdesign.com
403.242.2704

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SITE PLAN

A0.02