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PROJECT INFO

CLIENT/PROJECT: ALENA DEVELOPMENTS
LEGAL ADDRESS: Lot 7, Block 19, Plan 4479p
CIVIC ADDRESS: 2416 29 AVE SW

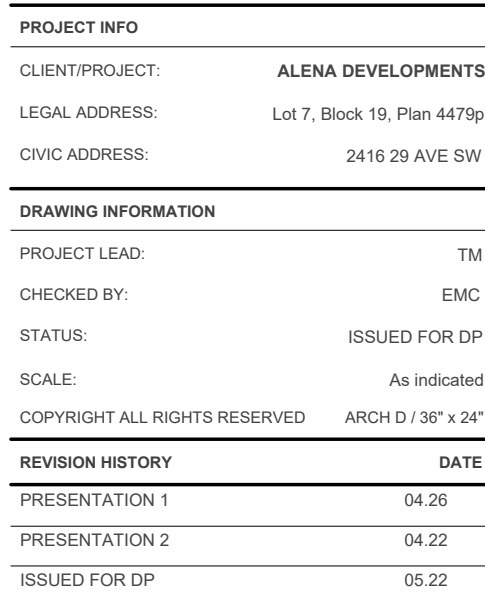
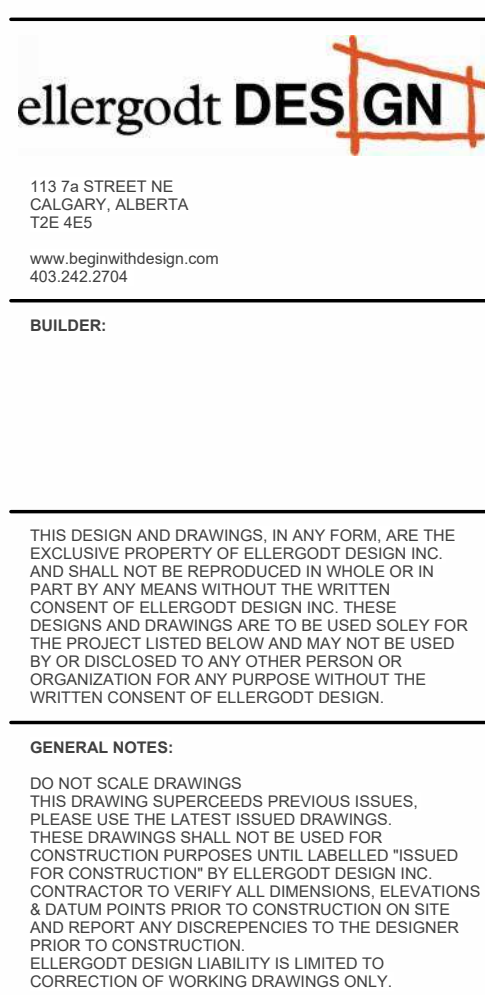
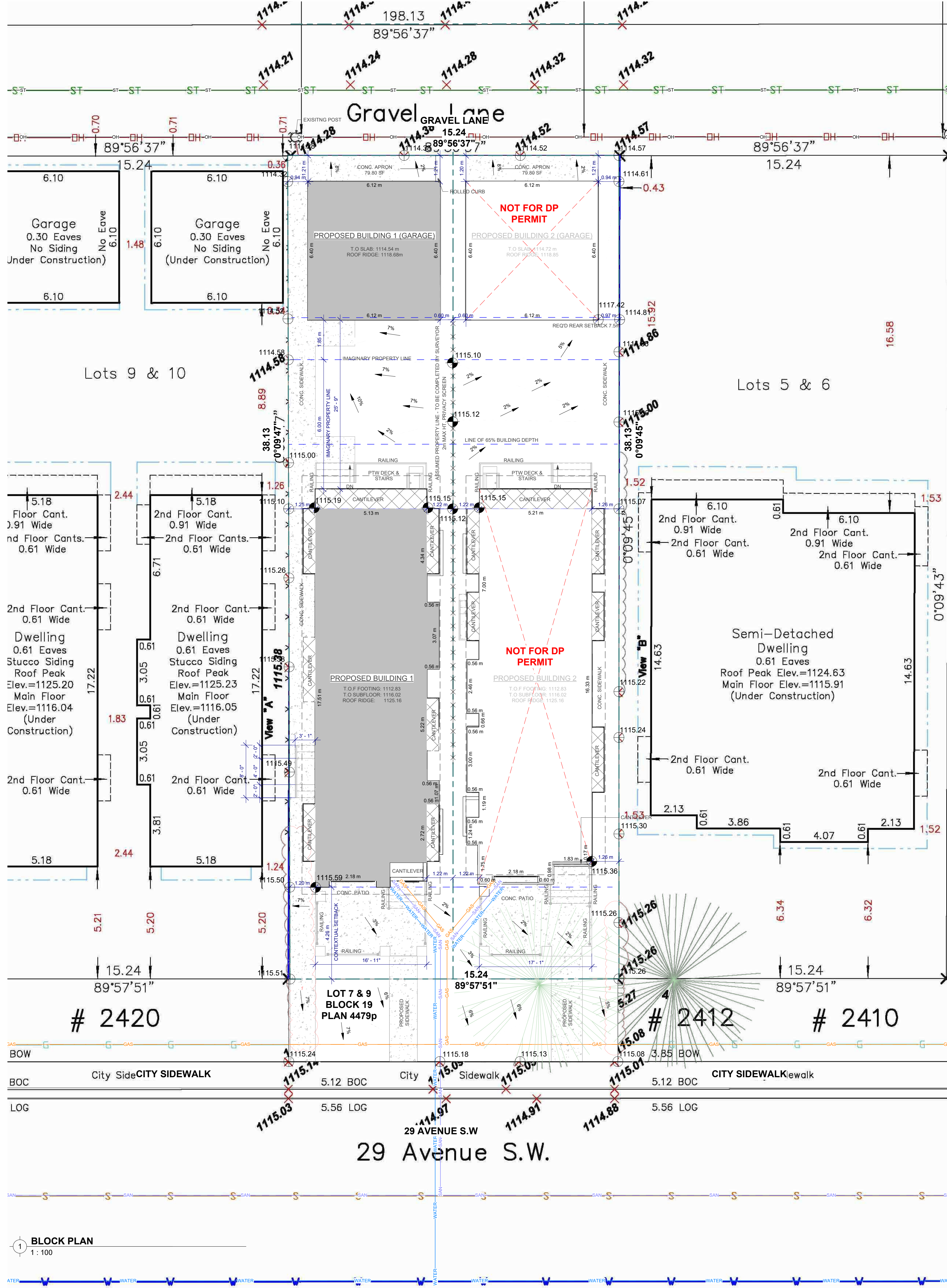
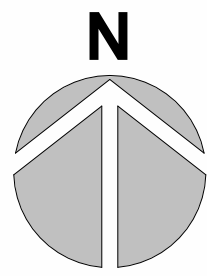
DRAWING INFORMATION

PROJECT LEAD: TM
CHECKED BY: EMC
STATUS: ISSUED FOR DP
SCALE: 1/4" = 1'-0"
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REVISION HISTORY

DATE	
04.20	PRESENTATION 1
04.22	PRESENTATION 2
05.22	ISSUED FOR DP

EXISTING TREE SCHEDULE:							
#	CITY TREE ID #	SPECIES	TRUNK DIA.	CANOPY DIA.	HEIGHT	TYPE	STATUS
1	-	-	---	1.00	1.70	BUSH	TO BE REMOVED
2	T-11134019	PICEA PUNGENS	0.70	8.00	11.00	CONIFEROUS	TO BE REMOVED
4	-	-	0.75	1.00	0.75	BUSH	TO BE REMOVED
4	-	-	0.80	8.00	11.00	CONIFEROUS	TO REMAIN
5	-	-	---	1.00	2.00	BUSH	TO BE REMOVED



SITE COVERAGE:

BLAW REQUIREMENT:

SITE AREA

551.41 m²

ALLOWED COVERAGE

45.00%

ACTUAL PROVIDED:

251.63 m²

BUILDING 1 FOOTPRINT:

90.10 m²

BUILDING 2 FOOTPRINT:

91.72 m²

TOTAL RESIDENCE:

181.82 m²

BUILDING 3 GARAGE:

30.14 m²

BUILDING 4 GARAGE:

30.14 m²

TOTAL ACCESSORY BUILDINGS:

70.28 m²

TOTAL ON SITE:

252.11 m²

SITE LEGEND:

PROPERTY LINES

--- --

SETBACKS

UTILITY R.O.W. & CREATES

ROOF OVERHANG

ELECTRICAL

STORMSEWER

WATER LINES

GAS LINES

PROPOSED RESIDENCE

PROPOSED CANTILEVERS

PROPOSED GARAGES

EXISTING BUILDINGS

CONCRETE PATHS, ETC.

GRAVEL

WOOD DECKS/PORCHES

EXISTING GEODETICS

PROPOSED GEODETICS

DISCLAIMER:

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EXISTING TREE SCHEDULE:

#	CITY TREE ID #	SPECIES	TRUNK DIA.	CANOPY DIA.	HEIGHT	TYPE	STATUS
1	-	-	---	1.00	1.70	BUSH	TO BE REMOVED
2	T-5134019	PICEA PUNGENS	0.70	8.00	11.00	CONIFEROUS	TO BE REMOVED
3	-	-	---	0.75	1.30	BUSH	TO BE REMOVED
4	-	-	---	8.00	11.00	CONIFEROUS	TO REMAIN
5	-	-	---	1.00	2.00	BUSH	TO BE REMOVED

The main site plan drawing illustrates the proposed development on Lot 7 & 9, Block 19, Plan 4479p. It features two primary proposed buildings, Building 1 and Building 2, both designated as garages. Building 1 is located on the left side of the lot, and Building 2 is on the right. The plan includes detailed setbacks, including a 15.24m front setback along Gravel Lane and 38.13m side setbacks. It also shows existing and proposed sidewalks, utility lines (water, gas, storm sewer), and various site features like patios, decks, and cantilevers. The drawing is oriented with North at the top, indicated by a north arrow. A large 'NOT FOR DP PERMIT' stamp is visible across the center of the plan. The site is bounded by Gravel Lane to the north, 29 Avenue S.W. to the south, and City Sidewalks to the east and west. The plan includes numerous dimensions and elevations to specify the layout and construction requirements.

SITE PLAN
1:100

N

ellergodt DESIGN

113 7a STREET NE
CALGARY, ALBERTA
T2E 4E5
www.ellergodtdesign.com
403.242.2704

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CLIENT/PROJECT:	ALENA DEVELOPMENTS
LEGAL ADDRESS:	Lot 7, Block 19, Plan 4479p
CIVIC ADDRESS:	2416 29 AVE SW
DRAWING INFORMATION	
PROJECT LEAD:	TM
CHECKED BY:	EMC
STATUS:	ISSUED FOR DP
SCALE:	As indicated
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REVISION HISTORY	
REVISION	DATE
PRESENTATION 1	04.20
PRESENTATION 2	04.22
ISSUED FOR DP	05.22

SITE PLAN
A0.02

SITE COVERAGE:

BYLAW REQUIREMENT:

SITE AREA

151.41 m²

ALLOTTED COVERAGE

45.00%

ACTUAL PROVIDED:

BUILDING 1 FOOTPRINT

85.10 m²

BUILDING 2 FOOTPRINT

67.10 m²

TOTAL RESIDENCE

152.20 m²

BUILDING 1 GARAGE

35.14 m²

BUILDING 2 GARAGE

35.14 m²

TOTAL ACCESSORY BUILDINGS

70.39 m²

TOTAL ON SITE

44.75%

200.51 m²

SITE LEGEND:

PROPERTY LINES

--- --

SETBACKS

UTILITY P.O.W. & CAVEATS

ROOF OVERHANG

ELECTRICAL

STORMSEWER

WATER LINES

GAS LINES

PROPOSED RESIDENCE

PROPOSED CANTILEVERS

PROPOSED GARAGES

EXISTING BUILDINGS

CONCRETE PATHS, ETC.

GRAVEL

WOOD DECKS/PORCHES

EXISTING GEODETICS

PROPOSED GEODETICS

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TREE PROTECTION MEASURES

A. CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STORED IN A TREE PROTECTION AREA

B. ALL STAGING, HOARDING AND STORAGE OF MATERIALS AND EQUIPMENT SHALL BE ON PRIVATE PROPERTY

C. AN URBAN FORESTRY TECHNICIAN SHALL BE CONTACTED TO BE ON SITE AT THE FOLLOWING STAGES OF CONSTRUCTION:

1. COMMENCEMENT

2. IF PRUNING IS REQUIRED

3. DURING THE EXCAVATION OF WALKWAYS TO MITIGATE ROOT DAMAGE TO ADJACENT TREES

D. TREE PROTECTION MEASURES PRIOR TO AND DURING CONSTRUCTION:

1. BRANCH PRUNING IS REQUIRED FOR CLEARANCE OF NEW BUILDINGS

2. IF ELEVATION PRUNING IS REQUIRED FOR INSTALLATION OF SERVICES, AN INDEMNIFIED CONTRACTOR FROM THE CITY APPROVED CONTRACTORS LIST MUST BE USED AND WRITTEN APPROVAL MUST BE GIVEN FROM PARKS-URBAN FORESTRY PRIOR TO PRUNING

3. ROOT PRUNING AS REQUIRED DURING FOUNDATION EXCAVATION

4. APPLY PROTECTIVE MULCH OVER TREE PROTECTION ZONE

5. SUPPLEMENTAL WATERING WHEN REQUIRED

6. SOIL AERATION WHERE REQUIRED

7. PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIAL IS TO ENCR OACH INTO THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE

E. TREE PROTECTION MEASURES POST CONSTRUCTION:

1. Supplemental watering, when required.

2. Soil aeration, where required.

A TREE PROTECTION ADMINISTER SHALL ENSURE ALL CONSTRUCTION WORK ADHERES TO THE APPROVED TREE PROTECTION PLAN AND THAT ALL CONTRACTED STAFF WORKING ON-SITE ARE AWARE OF THE TREE PROTECTION BYLAW AND THE APPROVED TREE PROTECTION PLAN.

NOTE:

FENCING SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT ACTIVITY OR STRIPPING AND GRADING OPERATIONS. THIS FENCING IS TO BE INSPECTED AND APPROVED BY THE PARKS DEVELOPMENT INSPECTOR.

#	CITY TREE ID #	SPECIES	TRUNK DIA.	CANOPY DIA.	HEIGHT	TYPE	STATUS
1	1-51134019	PICEA PUNGENS	0.70	1.00	1.70	BUSH	TO BE REMOVED
2			0.70	8.00	11.00	CONIFEROUS	TO BE REMOVED
3			0.75	1.00	1.00	BUSH	TO BE REMOVED
4			0.80	8.00	11.00	CONIFEROUS	TO REMAIN
5			1.00	1.00	2.00	BUSH	TO BE REMOVED

NOTE:

FENCING SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT ACTIVITY OR STRIPPING AND GRADING OPERATIONS. THIS FENCING IS TO BE INSPECTED AND APPROVED BY THE PARKS DEVELOPMENT INSPECTOR.

EXISTING AMERICAN ELM TREE WITHIN TREE PROTECTION ZONE, TO REMAIN, PRUNED AND PROTECTED

DRIP LINE

PROTECTED TREE SIGNAGE LAMINATED IN PLASTIC ON TWO LARGEST SIDES OF T.P.Z. FENCING

UNDISTURBED SOIL

TOP AND BOTTOM RAILS TO BE 2x4 MIN.

BARRIER FENCING, METAL FENCE OR 2x4 FRAME WITH HIGH DENSITY ORANGE POLYETHYLENE OR CHAINLINK ALONG PERIMETER

WOOD POST

MIN. HT. 1.20 m

MIN. 0.30 m

TREE PROTECTION DETAIL

3/16" = 1'-0"

EXISTING POST

GRAVEL LANE

15.24

89°56'37"

PROPOSED BUILDING 1 (GARAGE)

T.O. SLAB: 1114.54 m

ROOF RIDGE: 1118.65 m

PROPOSED BUILDING 2 (GARAGE)

T.O. SLAB: 1114.72 m

ROOF RIDGE: 1118.85 m

CONSTRUCTION MATERIAL HOLDING AREA (STD 10 YD BIN)

CONSTRUCTION MATERIAL HOLDING AREA (STD 10 YD BIN)

PROPOSED BUILDING 1

T.O.F. FOOTING: 1112.83

T.O. SUB FLOOR: 1118.02

ROOF RIDGE: 1125.16

PROPOSED BUILDING 2

T.O.F. FOOTING: 1112.83

T.O. SUB FLOOR: 1118.02

ROOF RIDGE: 1125.16

LOT 7 & 9

BLOCK 19

PLAN 4479p

CITY SIDEWALK

29 AVENUE S.W.

CITY SIDEWALK

TREE PROTECTION ZONE

FENCED W/ WOOD FRAME & ORANGE SNOW FENCE (MIN. 1.2M HIGH)

EXISTING PUBLIC TREE PICEA PUNGENS (T-51134019) TO BE REMOVED

ARBORIST CONSULTATION RECOMMENDS REMOVAL URBAN FORESTRY TO CONFIRM

AN URBAN FORESTRY TECHNICIAN MUST BE ON-SITE, WITH CONFIRMED MEETING, TO MITIGATE POSSIBLE ROOT DAMAGE TO ADJACENT PUBLIC TREES DURING WALKWAY INSTALLATION AND SIDEWALK EXPANSION

TREE PROTECTION PLAN

1 : 100

N

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113 7a STREET NE

CALGARY, ALBERTA

T2E 4E5

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SQUARE FOOTAGE BREAKDOWN

BLDG 1 GARAGE	421.31 SF
BLDG 2 GARAGE	421.31 SF
BLDG 1	860.46 SF
DEVELOPED BASEMENT	972.19 SF
MAIN FLOOR	1029.98 SF
SECOND FLOOR	
BLDG 2	856.55 SF
DEVELOPED BASEMENT	984.07 SF
MAIN FLOOR	1038.37 SF
SECOND FLOOR	
COVERED PORCH	4.69 SF

SITE SUPERVISOR INFORMATION

NAME: ALENA DEVELOPMENTS Ltd

EMAIL: alenadevelopments@gmail.com

NUMBER: (416) 716-8115

NOTE:

"WE REQUIRE AN URBAN FORESTRY TECHNICIAN (UFT) ON SITE AND UFT REQUIRES ONE WEEK NOTICE PRIOR TO THE WALKWAY CONSTRUCTION SO AN UFT REPRESENTATIVE CAN BE ON SITE TO OBSERVE POTENTIAL DAMAGE TO THE PUBLIC TREE ROOTS. CONTACT UFT via 311"

PROJECT INFO

CLIENT/PROJECT:

ALENA DEVELOPMENTS

LEGAL ADDRESS:

Lot 7, Block 19, Plan 4479p

CIVIC ADDRESS:

2416 29 AVE SW

DRAWING INFORMATION

PROJECT LEAD:

TM

CHECKED BY:

EMC

STATUS:

ISSUED FOR DP

SCALE:

As indicated

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ARCH D / 30" x 24"

REVISION HISTORY

REVISION	DATE
PRESENTATION 1	04-20
PRESENTATION 2	04-22
ISSUED FOR DP	05-22

TREE PROTECTION PLAN

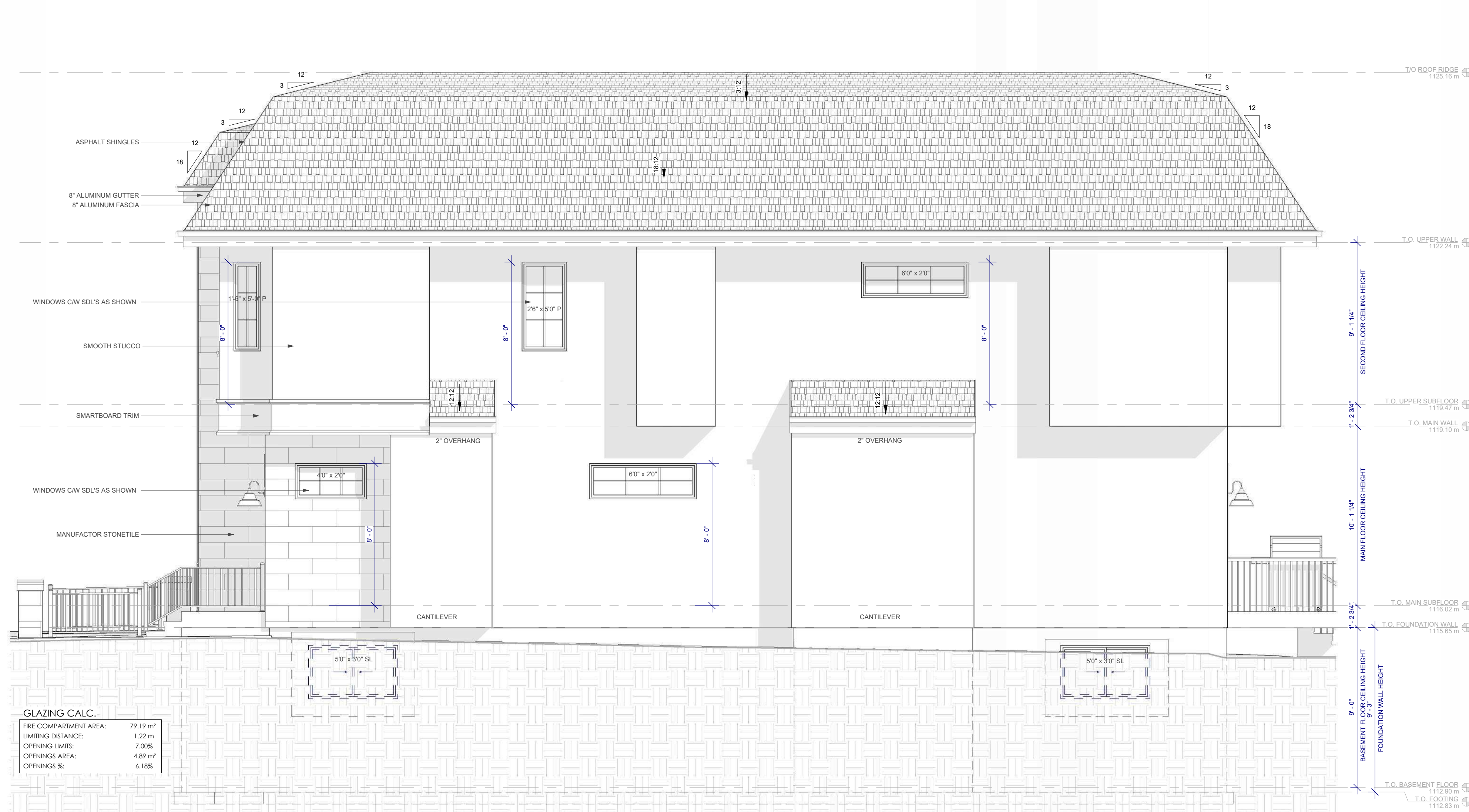
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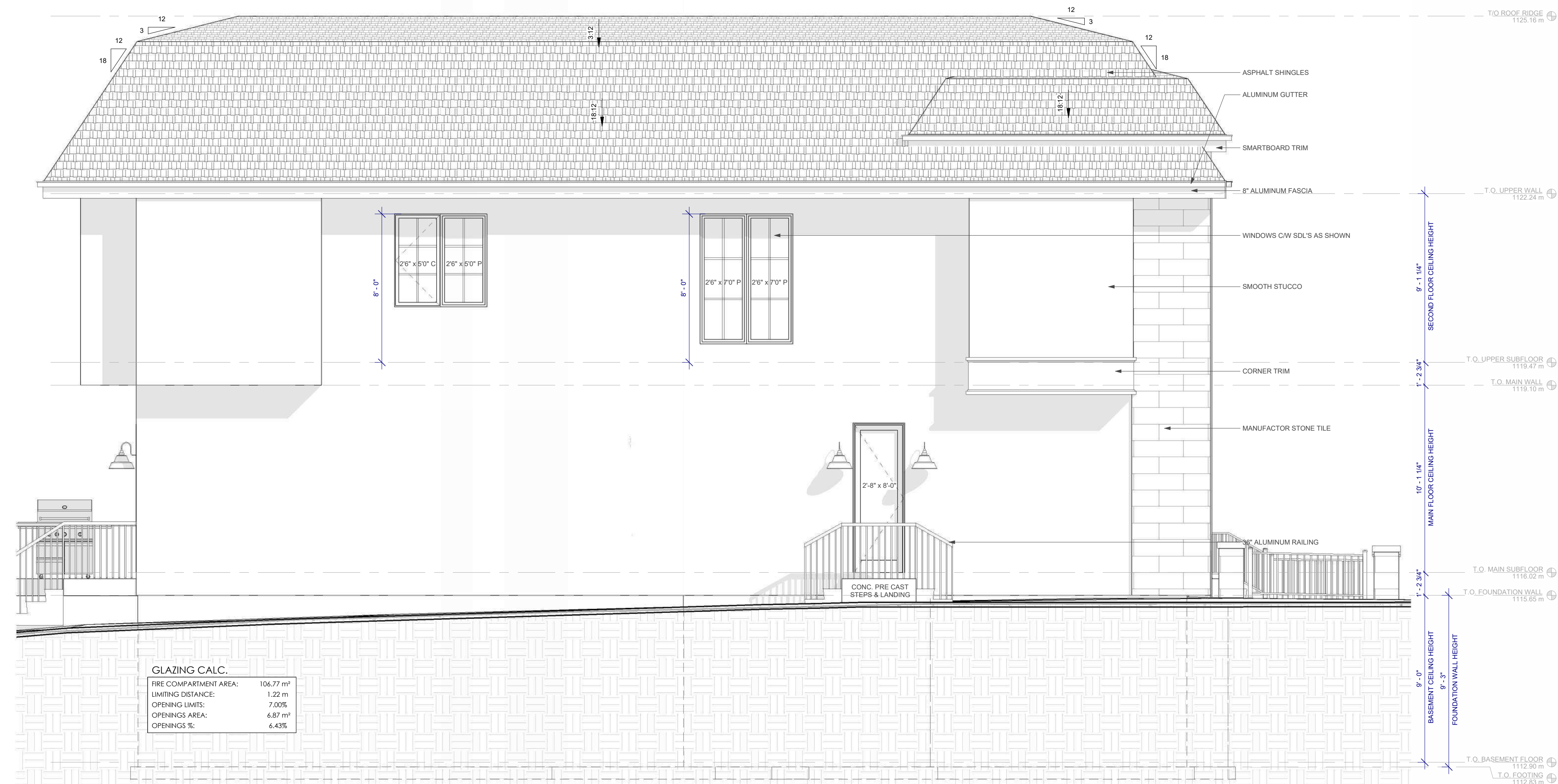
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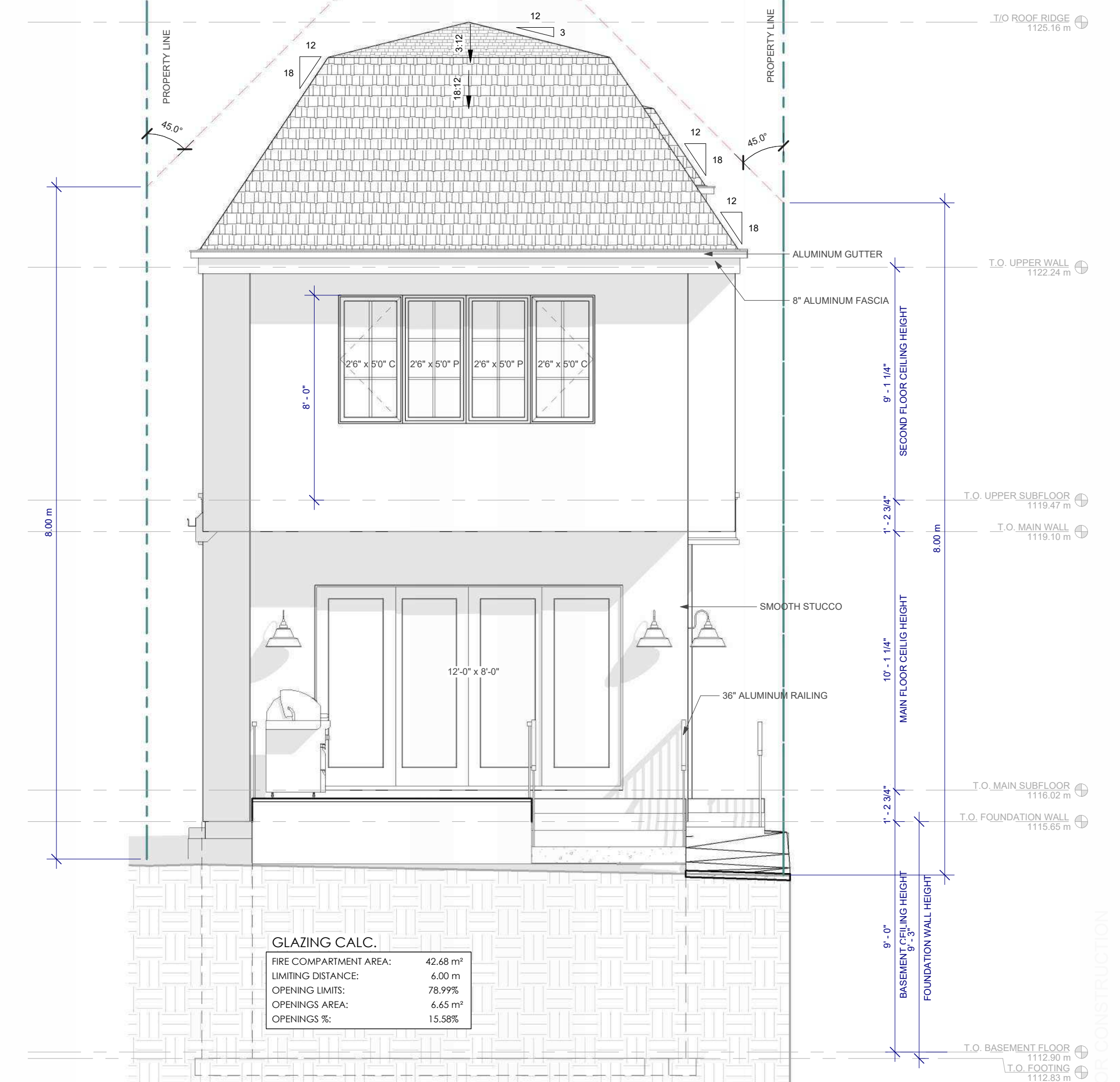
1 BLDG 1 - FRONT ELEVATION
1/4" = 1'-0"



2 BLDG 1 - RIGHT ELEVATION
1/4" = 1'-0"

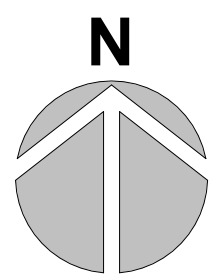


3 BLDG 1 - LEFT ELEVATION
1/4" = 1'-0"



4 BLDG 1 - REAR ELEVATION
1/4" = 1'-0"

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REVISION HISTORY	
	DATE
PRESENTATION 1	04.26
PRESENTATION 2	04.22
ISSUED FOR DP	05.22



ELECTRICAL FIXTURE LEGEND	
SYMBOL	DESCRIPTION
	NEW POT LIGHT
	NEW STANDARD CEILING MOUNT FIXTURE
	NEW BATH FAN LOCATION
	NEW SUSPENDED PENDANT FIXTURE
	NEW SURFACE MOUNTED TRACKLIGHT
	NEW WALL MOUNTED SCONCE
	NEW WALL MOUNTED FIXTURE
	NEW SMOKE AND CO2 DETECTOR
	NEW UNDER COUNTER LIGHT
	DUPLEX WALL MOUNTED POWER RECEPTACLE 14\"/>
	DUPLEX RECEPTACLE, CEILING OR SOFFIT MOUNTED
	DUPLEX RECEPTACLE, FLOOR MOUNTED POWER OUTLET
	REFERS TO LIGHT SWITCH FOR THE CONTROL OF LIGHT WITHIN THE ROOM/AREA
	"3" REFERS TO 3-WAY LIGHT CONTROL SWITCH
	"4" REFERS TO 4-WAY LIGHT CONTROL SWITCH
	"D" REFERS TO DIMMER CONTROL SWITCH
	220V RECEPTACLE MOUNTED AT 14\"/>
	RECEPTACLE FOR CEILING MOUNTED GARAGE DOOR RECEPTACLE
	DOUBLE DUPLEX GROUND FAULT INTERRUPT RECEPTACLE MOUNTED AT 14\"/>
ELECTRICAL WIRING AS PER ELECTRICAL CODE. QUANTITY AND LOCATION OF SWITCHES AND OUTLETS ON PLANS ARE A GUIDELINE ONLY.	

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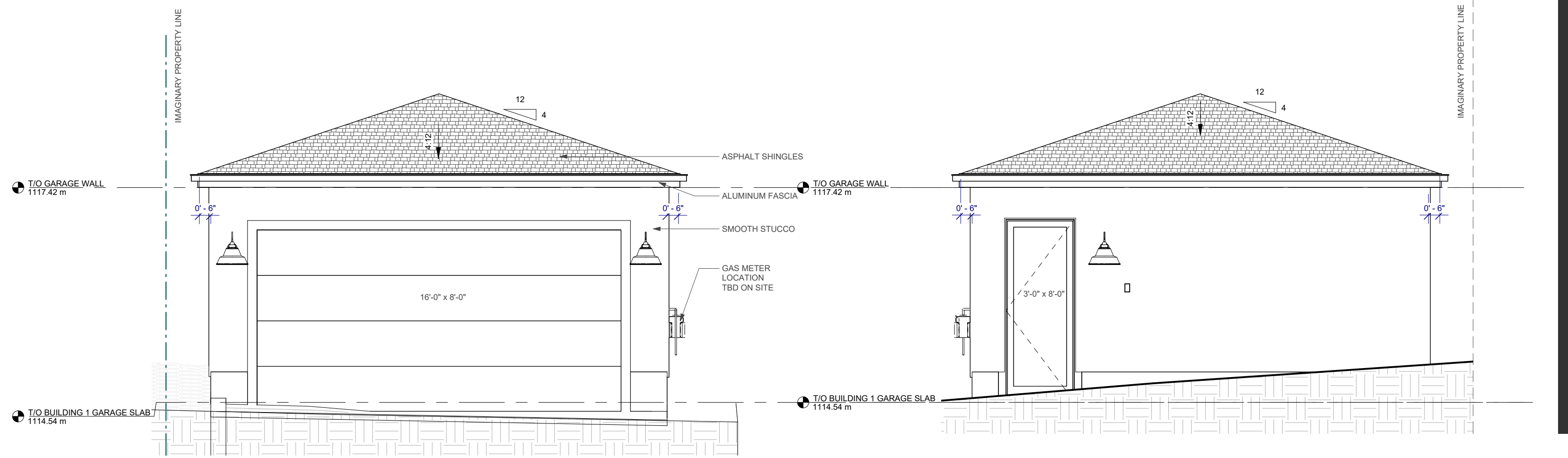
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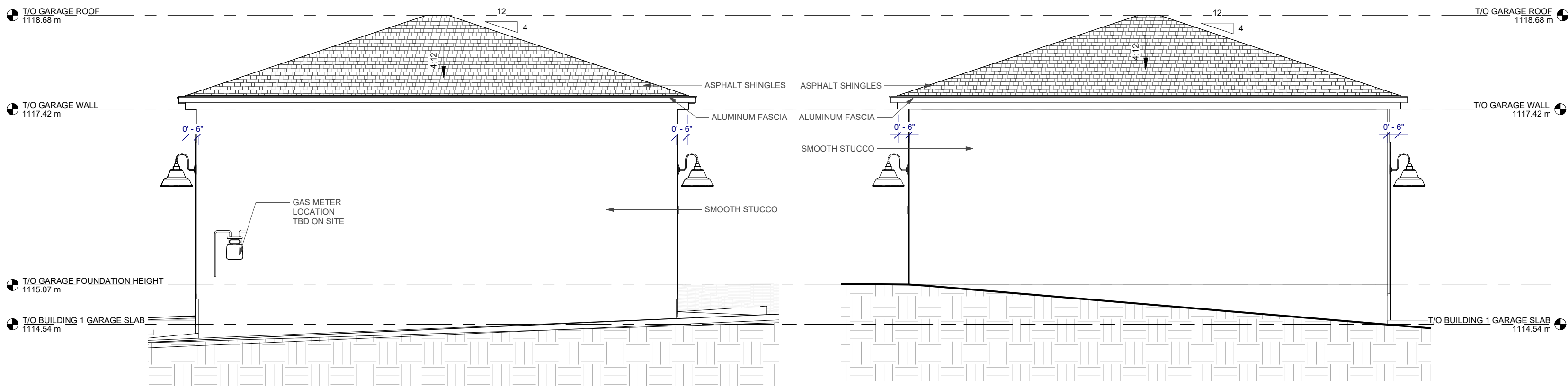
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BLDG 1 - GARAGE FRONT ELEVATION
1/4" = 1'-0"

BLDG 1 - GARAGE REAR ELEVATION
1/4" = 1'-0"



BLDG 1 - GARAGE LEFT ELEVATION
1/4" = 1'-0"

BLDG 1 - GARAGE RIGHT ELEVATION
1/4" = 1'-0"

CONSTRUCTION NOTES AND SPECIFICATIONS

*ALL Rsi VALUE AS PER NBC/AE 9.36.2.4.(1)D UNLESS NOTED OTHERWISE
HRV SYSTEM TO BE INSTALLED AS PER NBC/AE 9.36.3.9. AND 9.36.3.19 REQ'S.
WINDOWS, DOOR, AND SKYLIGHTS TO MEET OR EXCEED CODE MINIMUMS
OUTLINES IN NBC/AE 9.36.2.7.A. AND 9.36.2.7.B. REFER TO MANUFACTURER OR SUPPLIER WINDOW ORDER FOR SPECIFIC U-VALUES.

R-1 ROOF SLOPED

- EXTERIOR AIR FILM
- ROOF FINISH AS PER ELEVATION
- BUILDING PAPER
- 3/8" OSB SHEATHING @ 24" O.C. WITH RAISED HEEL AS PER ROOF SUP. LAYOUT
- ENG. APP'D ROOF TRUSSES @ 24" O.C. WITH 14"1/2" INSULATION (R48.5 total)
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- INTERIOR AIR FILM

ROOF SPACE TO BE VENTED c/w ATTIC ACCESS
9.36 PRESCRIPTIVE CALCULATION
Rsi(1) 0.78 @ 7%
Rsi(2) 1.67 @ 93%
Rsi(average) = 100 / ((170.76) + (931.67)) = 1.54
TOTAL EFFECTIVE Rsi VALUE = 1.54

R-2 VAULTED VENTED ROOF SLOPED

- EXTERIOR AIR FILM
- ROOF FINISH AS PER ELEVATION
- BUILDING PAPER
- 3/8" OSB SHEATHING @ 24" O.C.
- ENG. APP'D ROOF TRUSSES @ 24" O.C. WITH 14"1/2" INSULATION (R48.5 total)
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- INTERIOR AIR FILM

9.36 PRESCRIPTIVE CALCULATION
Rsi(1) 1.19 @ 20%
Rsi(2) 1.67 @ 80%
Rsi(average) = 100 / ((201.19) + (803.87)) = 2.67
TOTAL EFFECTIVE Rsi VALUE = 2.67

W-1 WALL EXTERIOR

- EXTERIOR AIR FILM
- EXTERIOR CLADDING AS PER SPEC.
- BUILDING PAPER
- 3/8" OSB SHEATHING @ 24" O.C.
- 2x4 #2 SPR STUDS @ 24" O.C.
- 5-1/2" BATT INSULATION (R22)
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- INTERIOR AIR FILM

9.36 PRESCRIPTIVE CALCULATION
Rsi(1) 1.19 @ 20%
Rsi(2) 1.67 @ 80%
Rsi(average) = 100 / ((201.19) + (803.87)) = 2.67
TOTAL EFFECTIVE Rsi VALUE = 2.67

W-2 WALL FOUNDATION

- PARKING ABOVE GRADE
- DAMPROOFING BELOW GRADE
- 8" CONC. FOUNDATION WALL C/W 2x6 LADDER SILL & 3 ROWS 2-10m BARS TOP, MID, BOTTOM OR AS PER ENG'D SPEC.
- 24"x4" CONTINUOUS CONC. STRIP FOOTING C/W 2 SINGLE ROWS 10m BARS OR AS PER ENG'D SPEC.
- MIN. 48" COVER TO FOOTINGS
- 4" DIA. WEERING TILE IF REQ'D
- 1" AIR GAP
- 2x4 STRAPPING @ 24" O.C.
- 5-1/2" BATT INSULATION (R22)
- 3-1/2" BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- INTERIOR AIR FILM

9.36 PRESCRIPTIVE CALCULATION
Rsi(1) 0.78 @ 20%
Rsi(2) 1.67 @ 80%
Rsi(average) = 100 / ((170.76) + (931.67)) = 1.54
TOTAL EFFECTIVE Rsi VALUE = 1.54

W-3 WALL INTERIOR PARTITION

- 1/2" GYPSUM BOARD
- 2x4 or 2x6 #2 SPR STUDS @ 24" O.C.
- 1/2" GYPSUM BOARD

W-3a GARAGE TO SUITE (GARAGE)

- 5/8" TYPE-X GYPSUM BOARD
- RESILIENT CHANNEL @ 600mm O.C.
- 2x4 #2 SPR STUDS @ 24" O.C.
- 5-1/2" SOUND ABSORPTIVE MATERIAL
- 5/8" TYPE-X GYPSUM BOARD
- NON-LOAD BEARING WALLS

AS PER NBC/AE A-9.10.3.1.a WALL W3b
FRR RATING: 1 hr
TYPICAL STC: 48

- 5/8" TYPE-X GYPSUM BOARD
- RESILIENT CHANNEL @ 600mm O.C.
- 2x4 #2 SPR STUDS @ 24" O.C.
- 5-1/2" SOUND ABSORPTIVE MATERIAL
- 5/8" TYPE-X GYPSUM BOARD
- NON-LOAD BEARING WALLS

W-1b WALL EXTERIOR PROTECTED-GARAGE

- REFER TO EXTERIOR WALL ASSEMBLY EW2a
- NBC/AE2023 A-9.10.3.1.A
- FRR: 1H
- EXTERIOR AIR FILM
- EXTERIOR CLADDING AS PER SPEC.
- BUILDING PAPER
- 3/8" OSB SHEATHING @ 24" O.C.
- 2x4 #2 SPR STUDS @ 24" O.C.
- 5-1/2" BATT INSULATION (R22)
- SINGLE PLY GML (0.15MM) POLYETHYLENE VAPOUR BARRIER CONFORMING TO CAN/CSG58-51.34M INSTALLED IN ACCORDANCE WITH ARTICLE 9.25.4.3.
- 5/8" DENSEGLASS TYPE-X SHEATHING
- INTERIOR AIR FILM

9.36 PRESCRIPTIVE CALCULATION
Rsi(1) 1.19 @ 20%
Rsi(2) 3.87 @ 80%
Rsi(average) = 100 / ((201.19) + (803.87)) = 2.67
TOTAL EFFECTIVE Rsi VALUE = 2.67

E-1 FLOOR FRAMED

- FINISH FLOORING AS PER SPEC.
- 3/4" OSB OR PLYWOOD SUBFLOOR NAILED, SCREWED, GLUED
- ENG. APP'D FLOOR JOIST AS PER FLOOR SUP. LAYOUT
- 1/2" GYPSUM BOARD (WHERE APPLICABLE)

E-1a FLOOR FRAMED-CANTILEVER

- INSIDE BOUNDARY AIR
- FLOOR SHEATHING
- JOIST AIR SPACE
- 2x10 F.G. BATT WITH JOISTS @ 19.2" O.C. 3/8" OSB SHEATHING
- SOFFIT
- OUTSIDE BOUNDARY AIR 4.20 TOTAL TOTAL EFFECTIVE Rsi VALUE =

E-2 SLAB (UNHEATED)

- FINISH FLOORING AS PER SPEC
- INSIDE BOUNDARY AIR
- 2" XPS RIGID FOAM
- CONCRETE SLAB
- TOTAL EFFECTIVE Rsi VALUE =

F-3 FLOOR FRAMED (OVER GARAGE)

- REFER TO FLOOR ASSEMBLY F2b
- NBC/AE2023 A-9.10.3.1.B
- STC: 51
- FINISH FLOORING AS PER SPEC
- 3/4" OSB OR PLYWOOD SUBFLOOR NAILED, SCREWED, GLUED
- ENG. APP'D FLOOR TRUSS AS PER FLOOR SUP. LAYOUT MAX. 800mm O.C. WITH NO ABSORPTIVE MATERIAL IN CAVITY
- RESILIENT METAL CHANNEL @ 400 mm O.C.
- 6mil POLY VAPOUR BARRIER
- 1/2" TYPE-X GYPSUM BOARD

F-4 SLAB GARAGE

- 4" CONC. SLAB min. 30 MPa W/ 10m REBAR EW @ 24" O.C. OR AS PER ENG'D SPEC.
- MIN. 48" COVER TO SLAB
- 4" CONTINUOUS EXPANDED POLYSTYRENE INSULATION (R16)
- 6mil POLY VAPOUR BARRIER
- 4" COMPACTED GRAVEL

PORT AND PAD FOOTINGS

- AS PER ENGINEERING AND FOUNDATION PLAN LAYOUTS

STAIRS

- TREADS: 1" PLYWOOD x 11" MINIMUM (INCLUDING NOSING)
- RISERS: 1/2" PLYWOOD x 7/8" MAX
- STRINGERS: 2 x 10 TYPICAL
- TREADS AND RISERS SHALL HAVE UNIFORM RISE AND RUN

DOORS

- ALL DOORS TO BE 6'-0" HIGH ON 9'-0" CEILING (U.N.O.)
- ALL DOORS TO BE 8'-0" HIGH ON 9'-0" CEILINGS (U.N.O.)
- CONFIRM WITH SPEC ON ALL 10'-0" CEILINGS

WINDOWS

- SIZES SHOWN ARE NOMINAL
- FRAMER TO VERIFY ALL ROUGH OPENINGS WITH WINDOW ORDER PRIOR TO CONSTRUCTION

LINTEL NOTES

- ALL OPENINGS BELTS TO BE 2-2x10 #2 SPR UNLESS OTHERWISE REQUIRED BY ENGINEER OR SUPPLIER. (ALL OPENINGS OVER 6'-0" TO BE REVIEWED.)

GENERAL NOTES

- SMARTTRIM OR PREFINISHED ALUMINUM FASCIA BOARD TYPICAL (AS PER ELEV.)
- PREFINISHED ALUMINUM EAVESTROUGH TYPICAL, PREFINISHED ALUMINUM VENTED SOFFIT U.N.O.
- TRUSS MANUFACTURER TO VERIFY ALL ROOF SLOPE AND TRUSS DESIGNS PRIOR TO FABRICATION
- ALL 8'-0" & 9'-0" INTERIOR WALLS @ 24" O.C. SPACING. ALL 10'-0" @ 16" O.C. SPACING UNLESS NOTED OTHERWISE.
- ALL EXTERIOR AND LOAD BEARING WALLS OVER 11'-8" REQUIRE ENGINEERED TAIL WALL DETAILS. SEE NBC 9.25.10.1
- REFER TO SPEC IF SPECIFIC SPACING IS REQUIRED BEHIND KITCHEN CABINETS OR BUILT INS.
- WINDOW SIZES ARE NOMINAL. REFER TO MANUFACTURERS SPECIFICATIONS FOR EXACT ROUGH OPENING SIZES
- INSULATED WALLS WITHIN 4'-0" OF THE FURNACE AND WATER HEATER
- INSULATED WALLS ADJACENT TO STAIRS AND LANDINGS TO BE DRYWALLED
- INSULATED WALLS AT BASEMENT LAUNDRY TO BE DRYWALLED (WHERE APPLICABLE)
- PROVIDE MINIMUM 45 MINUTE FIRE RESISTANT RATING TO WALLS LESS THAN 12m (4'-0") FROM PROPERTY LINES.
- ALL RM JOISTS TO HAVE R20 BATT INSULATION AND VAPOUR BARRIER TYPICAL. REFER TO DETAIL.
- ANY DISCREPANCIES TO BE REPORTED TO ELLERGOOD DESIGN INC. PRIOR TO CONSTRUCTION
- SPRAY FOAM CMCC# 126h - (D.D.C-50) 12070-R 28h - (M.D.C-200v2) 13069-L
- UNDERSLAB INSULATION TYPICAL CMCC # 12425-L

PROJECT INFO	
CLIENT/PROJECT:	ALENA DEVELOPMENTS
LEGAL ADDRESS:	Lot 7, Block 19, Plan 4479p
CIVIC ADDRESS:	2416 29 AVE SW
DRAWING INFORMATION	
PROJECT LEAD:	TM
CHECKED BY:	EMC
STATUS:	ISSUED FOR DP
SCALE:	1/4" = 1'-0"
COPYRIGHT ALL RIGHTS RESERVED	ARCH D / 36" x 24"
REVISION HISTORY	
DATE	
PRESENTATION 1	04.26
PRESENTATION 2	04.22
ISSUED FOR DP	05.22