

ALENA DEVELOPMENTS

SINGLE DWELLING
2416 29 AVE SW
CALGARY, ALBERTA
LOT 7, BLOCK 19, PLAN 4479p



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SHEET LIST

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BLDG 1 - GARAGE FOUNDATION PLAN & SECTIONS	A5.1

PROJECT INFO

CLIENT/PROJECT: [REDACTED]
LEGAL ADDRESS: Lot 7, Block 19, Plan 4479p
CIVIC ADDRESS: 2416 29 AVE SW

DRAWING INFORMATION

PROJECT LEAD: TM
CHECKED BY: EMC
STATUS: ISSUED FOR DP
SCALE: 1/4" = 1'-0"

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REVISION HISTORY	DATE
PRESENTATION 1	04.20
PRESENTATION 2	04.22
ISSUED FOR DP	05.22

SITE COVERAGE:

BYLAW REQUIREMENT:

SITE AREA

551.41 m²

ALLOWED COVERAGE

45.00%

ACTUAL PROVIDED:

251.63 m²

BUILDING 1 FOOTPRINT:

90.10 m²

BUILDING 2 FOOTPRINT:

91.72 m²

TOTAL RESIDENCE:

181.82 m²

BUILDING 3 GARAGE:

30.14 m²

BUILDING 4 GARAGE:

30.14 m²

TOTAL ACCESSORY BUILDINGS:

78.28 m²

TOTAL ON SITE:

260.01 m²

SITE LEGEND:

PROPERTY LINES

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SETBACKS

UTILITY R.O.W. & CREATES

ROOF OVERHANG

ELECTRICAL

STORMSEWER

WATER LINES

GAS LINES

PROPOSED RESIDENCE

PROPOSED CANTILEVERS

PROPOSED GARAGES

EXISTING BUILDINGS

CONCRETE PATHS, ETC.

GRAVEL

WOOD DECKS/PORCHES

EXISTING GEODETICS

PROPOSED GEODETICS

DISCLAIMER:

ALL SITE INFORMATION IS BASED OFF OF A THIRD PARTY DRAWING. ELLERGODT DESIGN TAKES NO RESPONSIBILITY FOR INACCURATE DIMENSIONS. SITE SURVEYING, EXISTING SERVICE LINES OR LOCATIONS, BELONG TO THE CITY OF CALGARY. DIMENSIONS ON SITE PRIOR TO STARTING CONSTRUCTION.

EXISTING TREE SCHEDULE:

#	CITY TREE ID #	SPECIES	TRUNK DIA.	CANOPY DIA.	HEIGHT	TYPE	STATUS
1	-	-	---	1.00	1.70	BUSH	TO BE REMOVED
2	T-5134019	PICEA PUNGENS	0.70	8.00	11.00	CONIFEROUS	TO BE REMOVED
3	-	-	---	0.75	1.30	BUSH	TO BE REMOVED
4	-	-	---	8.00	11.00	CONIFEROUS	TO BE REMOVED
5	-	-	---	1.00	2.00	BUSH	TO BE REMOVED

The main site plan drawing illustrates the layout of the property, including two proposed buildings (Building 1 and Building 2) and their associated garages. The plan shows the building footprints, roof ridges, and various setbacks. Key features include:

- Proposed Building 1 (Garage):** T.O. SLAB: 1114.54 m, ROOF RIDGE: 1116.78 m.
- Proposed Building 2 (Garage):** T.O. SLAB: 1114.72 m, ROOF RIDGE: 1119.96 m.
- Proposed Building 1:** T.O.F. FOOTING: 1112.52, T.O. SUB. CONC.: 1116.02, ROOF RIDGE: 1120.16.
- Proposed Building 2:** T.O.F. FOOTING: 1112.83, T.O. SUB. CONC.: 1116.02, ROOF RIDGE: 1120.16.

 The plan also shows the city sidewalk, 29 Avenue S.W., and various utility lines (water, gas, sewer). A north arrow is located in the top right corner. The drawing is marked with 'NOT FOR DP PERMIT' in red text.

SITE PLAN
1:100

ellergodt DESIGN

113 7A STREET NE
CALGARY, ALBERTA
T2E 4E5
www.ellergodtdesign.com
403.242.2704

BUILDER:

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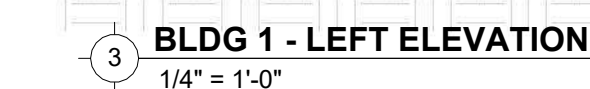
SCALE: As indicated
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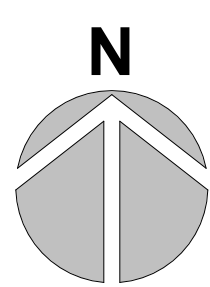
REVISION HISTORY

PRESENTATION	DATE
PRESENTATION 1	04.20
PRESENTATION 2	04.22
ISSUED FOR DP	05.22

SITE PLAN

A0.02

BLDG 1 -
ELEVATIONS

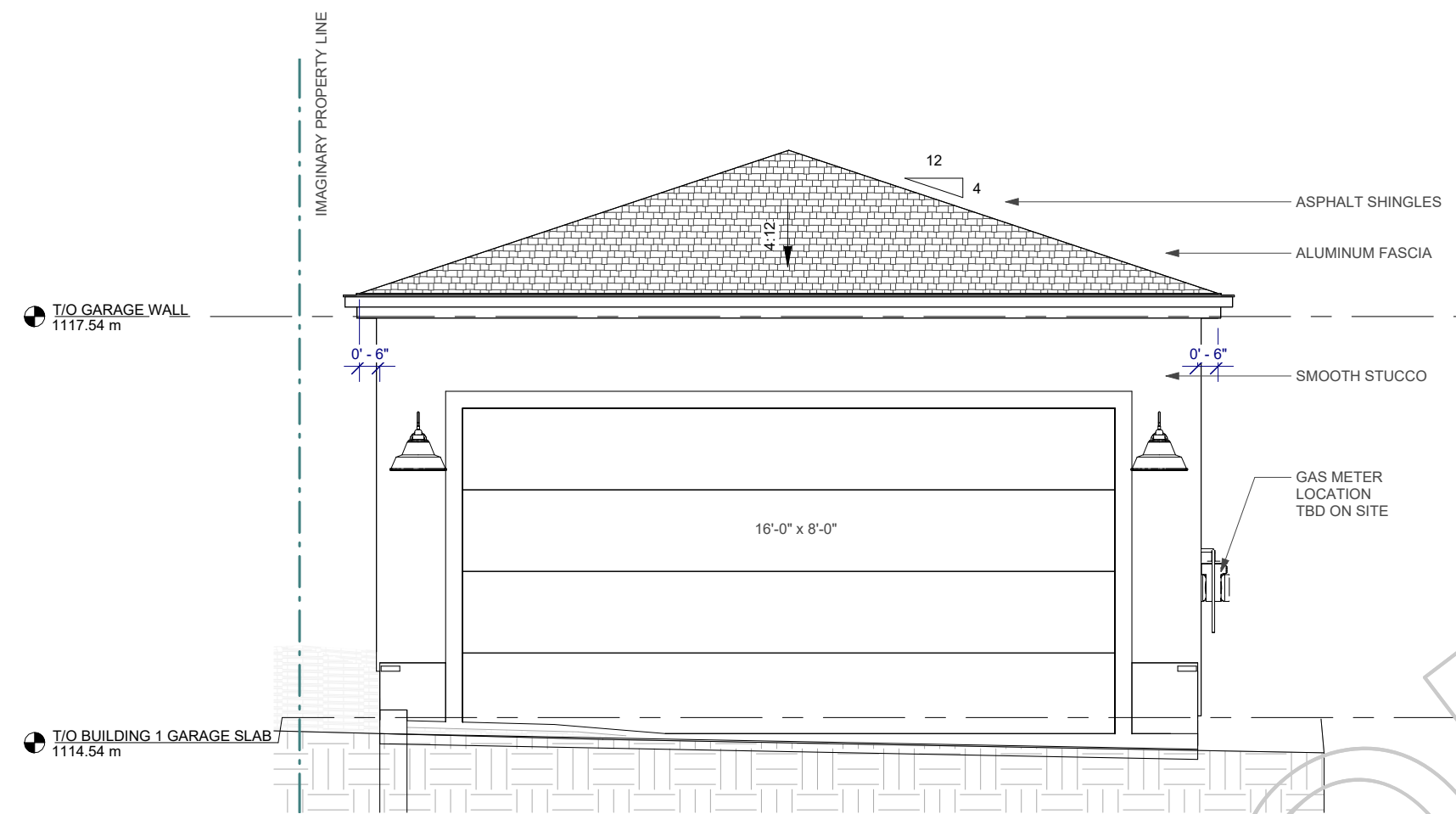


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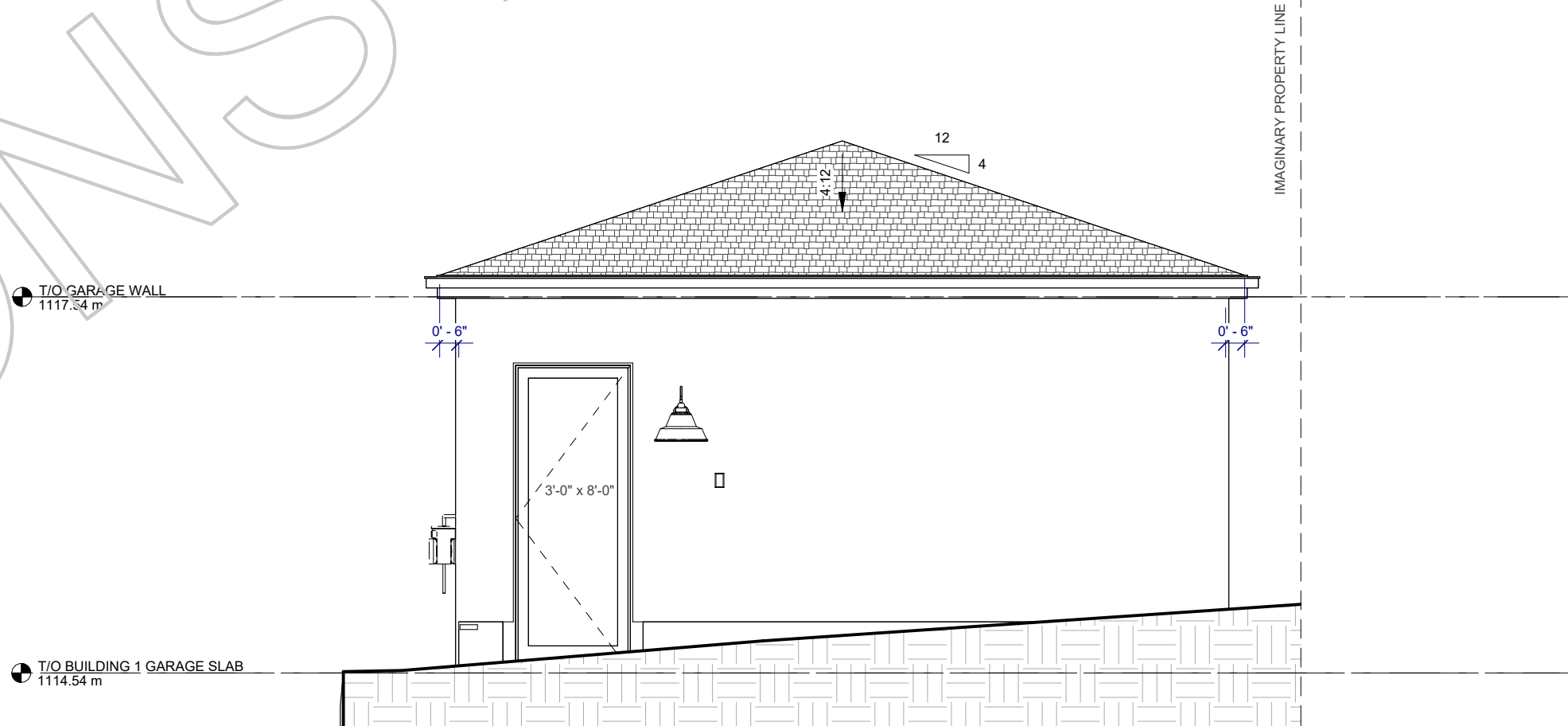
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ELECTRICAL FIXTURE LEGEND	
SYMBOL	DESCRIPTION
	NEW POT LIGHT
	NEW STANDARD CEILING MOUNT FIXTURE
	NEW BATH FAN LOCATION
	NEW SUSPENDED PENDANT FIXTURE
	NEW SURFACE MOUNTED TRACKLIGHT
	NEW WALL MOUNTED SCONCE
	NEW WALL MOUNTED FIXTURE
	NEW SMOKE AND CO2 DETECTOR
	NEW UNDER COUNTER LIGHT
	DUPLEX WALL MOUNTED POWER RECEPTACLE 14\"/>
	DUPLEX RECEPTACLE, CEILING OR SOFFIT MOUNTED POWER OUTLET
	DUPLEX RECEPTACLE, FLOOR MOUNTED POWER OUTLET
	REFERS TO LIGHT SWITCH FOR THE CONTROL OF LIGHT WITHIN THE ROOM/AREA. "X" REFERS TO SWITCHING PATTERN. "3" REFERS TO 3-WAY LIGHT CONTROL SWITCH "4" REFERS TO 4-WAY LIGHT CONTROL SWITCH "D" REFERS TO DIMMER CONTROL SWITCH
	220V RECEPTACLE MOUNTED AT 14\"/>
	RECEPTACLE FOR CEILING MOUNTED GARAGE DOOR RECEPTACLE
	DOUBLE DUPLEX GROUND FAULT INTERRUPT RECEPTACLE MOUNTED AT 14\"/>
ELECTRICAL WIRING AS PER ELECTRICAL CODE. QUANTITY AND LOCATION OF SWITCHES AND OUTLETS ON PLANS ARE A GUIDELINE ONLY.	

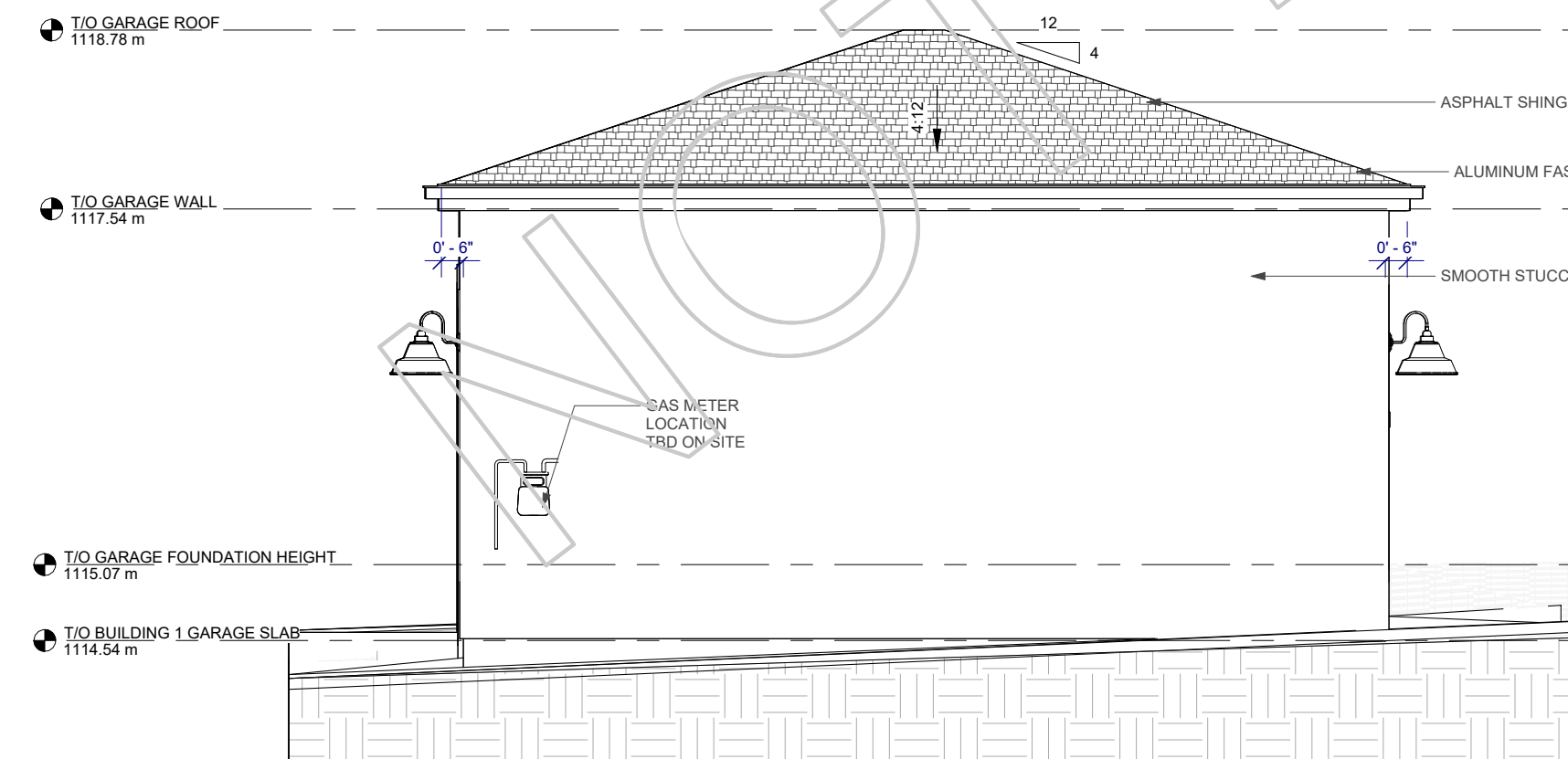
1 BLDG 1 - GARAGE FLOOR PLAN
1/4" = 1'-0"



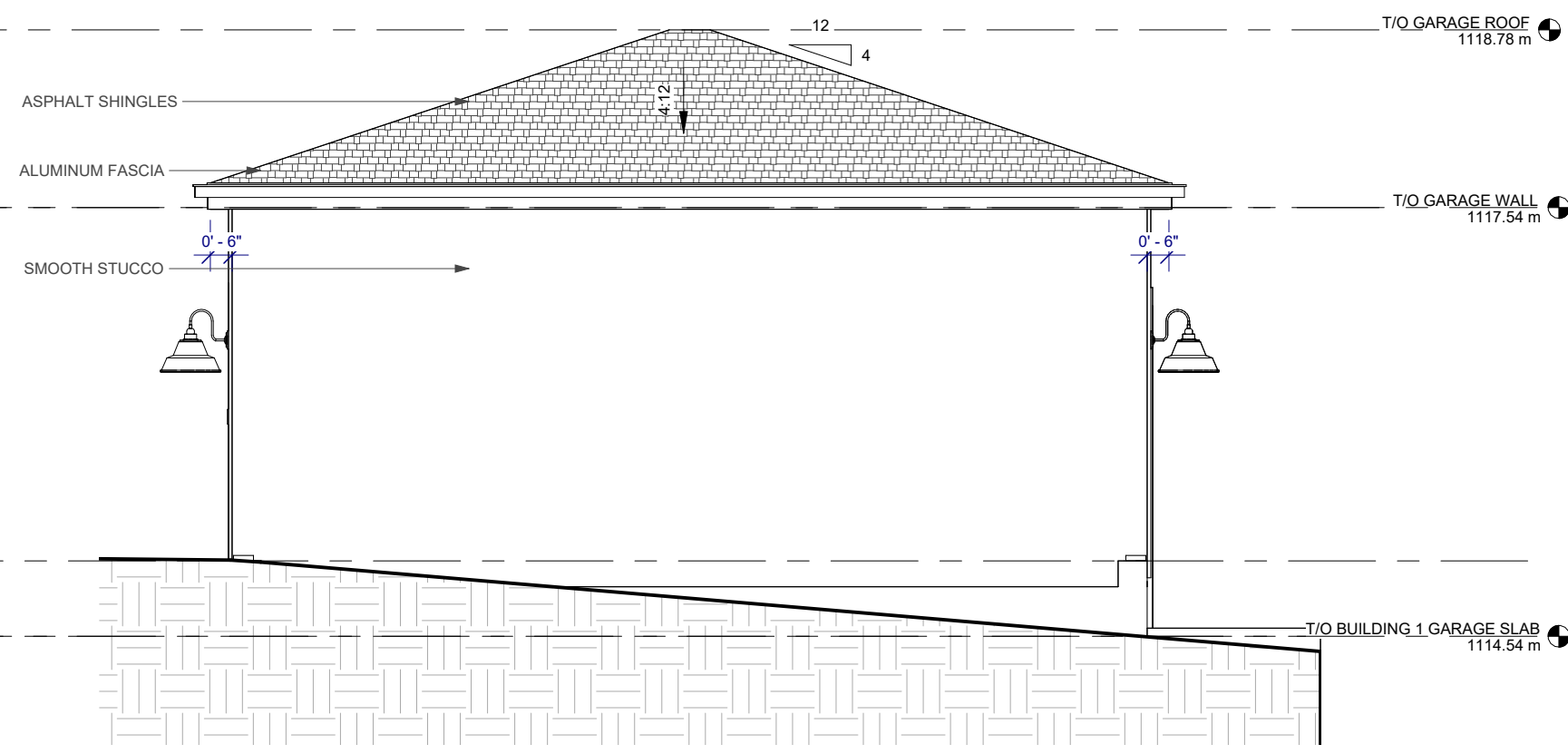
2 BLDG 1 - GARAGE ROOF PLAN
1/4" = 1'-0"



3 BLDG 1 - GARAGE FRONT ELEVATION
1/4" = 1'-0"



4 BLDG 1 - GARAGE REAR ELEVATION
1/4" = 1'-0"



5 BLDG 1 - GARAGE LEFT ELEVATION
1/4" = 1'-0"

6 BLDG 1 - GARAGE RIGHT ELEVATION
1/4" = 1'-0"

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PRESENTATION 2	04.22
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