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SHEET LIST

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PROJECT INFO

CLIENT/PROJECT: ALENA DEVELOPMENTS
LEGAL ADDRESS: Lot 7, Block 19, Plan 4479p
CIVIC ADDRESS: 2416 29 AVE SW

DRAWING INFORMATION

PROJECT LEAD: TM
CHECKED BY: EMC
STATUS: ISSUED FOR DP
SCALE: 1/4" = 1'-0"

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REVISION HISTORY	DATE
PRESENTATION 1	04.20
PRESENTATION 2	04.22
ISSUED FOR DP	05.22

SITE COVERAGE:

EVALUATION:

SITE AREA: 581.41 m²

ALLOWED COVERAGE: 45.00%

ACTUAL COVERAGE: 261.63 m²

BUILDING 1 FOOTPRINT: 90.10 m²

BUILDING 2 FOOTPRINT: 91.72 m²

TOTAL RESIDENCE: 181.82 m²

BUILDING 1 GARAGE: 36.14 m²

BUILDING 2 GARAGE: 36.14 m²

TOTAL ACCESSORY BUILDINGS: 72.38 m²

TOTAL ON SITE: 44.79%

260.01 m²

SITE LEGEND:

PROPERTY LINE

SETBACKS

UTILITY R.O.W. & EASEMENTS

ROOF OVERHANG

ELECTRICAL

STORMWATER

WATER LINES

GAS LINES

PROPOSED RESIDENCE

PROPOSED GARAGES

EXISTING BUILDINGS

CONCRETE PAVING, ETC.

GRAVEL

WOOD DECKS/PORCHES

EXISTING GEOTECHS

PROPOSED GEOTECHS

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EXISTING TREE SCHEDULE:

#	CITY TREE ID #	SPECIES	TRUNK DIA.	CANOPY DIA.	HEIGHT	TYPE	STATUS
1	T-51134019	PICEA PLUNGENS	0.70	1.00	1.70	BUSH	TO BE REMOVED
2	-	-	0.75	8.00	11.00	CONIFEROUS	TO BE REMOVED
3	-	-	0.80	8.00	11.00	CONIFEROUS	TO BE REMOVED
4	-	-	1.00	1.00	2.00	BUSH	TO BE REMOVED

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403.242.2704

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DRAWING INFORMATION

PROJECT LEAD: TM

CHECKED BY: EMC

STATUS: ISSUED FOR DP

SCALE: As indicated

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REVISION HISTORY

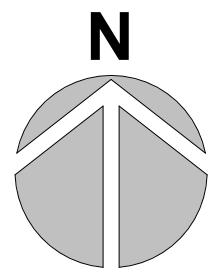
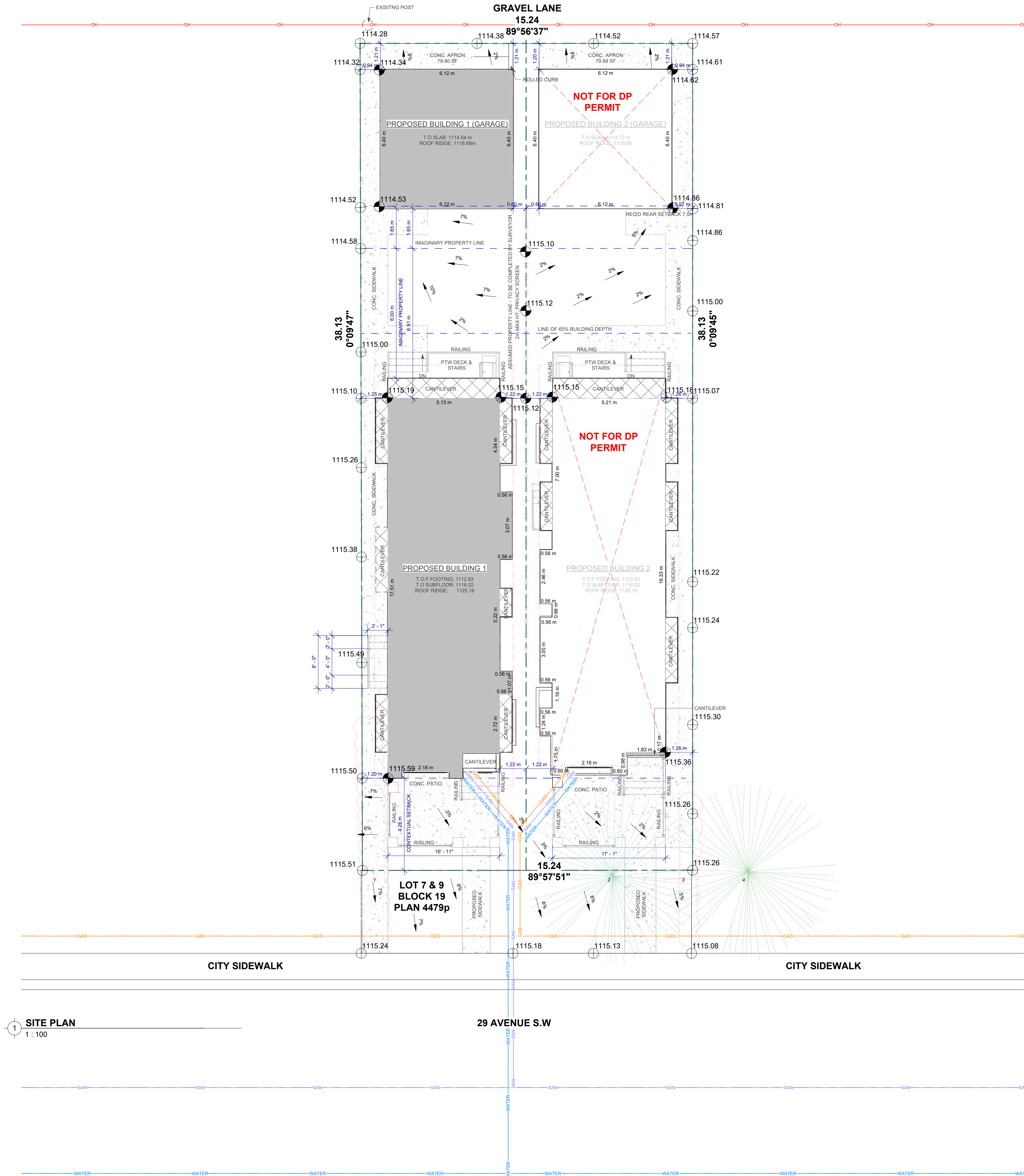
REVISION	DATE
1	04-20
2	04-22
3	05-22

BLOCK PLAN

A0.01

SITE COVERAGE:		
BUILDING REQUIREMENT:		
SITE AREA	551.41 m ²	
ALLOWED COVERAGE	45.00%	247.63 m ²
ACTUAL PROVIDED:		
BUILDING 1 FOOTPRINT	90.10 m ²	
BUILDING 2 FOOTPRINT	91.72 m ²	
TOTAL RESIDENCE	181.82 m ²	
BUILDING 3 GARAGE	30.14 m ²	
BUILDING 4 GARAGE	30.14 m ²	
TOTAL ACCESSORY BUILDINGS	70.28 m ²	
TOTAL ON SITE	44.75%	248.01 m ²
SITE LEGEND:		
PROPERTY LINES	---	---
SETBACKS	---	---
UTILITY R.O.W. & CREATES	---	---
ROOF OVERHANG	---	---
ELECTRICAL	---	---
STORMSEWER	---	---
WATER LINES	---	---
GAS LINES	---	---
PROPOSED RESIDENCE	---	---
PROPOSED GARAGES	---	---
EXISTING BUILDINGS	---	---
CONCRETE PATHS, ETC.	---	---
GRAVEL	---	---
WOOD DECKS/PORCHES	---	---
EXISTING GEODETICS	---	---
PROPOSED GEODETICS	---	---
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EXISTING TREE SCHEDULE:							
#	CITY TREE ID #	SPECIES	TRUNK DIA.	CANOPY DIA.	HEIGHT	TYPE	STATUS
1	-	-	---	1.00	1.70	BUSH	TO BE REMOVED
2	T-5134019	PICEA PUNGENS	0.70	8.00	11.00	CONIFEROUS	TO BE REMOVED
3	-	-	---	0.75	1.30	BUSH	TO BE REMOVED
4	-	-	---	8.00	11.00	CONIFEROUS	TO REMAIN
5	-	-	---	1.00	2.00	BUSH	TO BE REMOVED



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SCALE: As indicated

REVISION HISTORY
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PRESENTATION 1 04.20
PRESENTATION 2 04.22
ISSUED FOR DP 05.22

SITE PLAN

A0.02

BYLAW REQUIREMENT:		
SITE AREA:		581.41 m ²
ALLOWED COVERAGE:	45.00%	261.63 m ²
ACTUAL PROVIDED:		
BUILDING 1 FOOTPRINT:		90.10 m ²
BUILDING 2 FOOTPRINT:		91.72 m ²
TOTAL RESIDENCE:		181.82 m²
BUILDING 1 GARAGE:		39.14 m ²
BUILDING 2 GARAGE:		39.14 m ²
TOTAL ACCESSORY BUILDINGS:		78.28 m²
TOTAL ON SITE:	44.73%	260.01 m²

PROPERTY LINES: Solid green line.

SEWER: Solid blue line.

UTILITY P.O.W. & CAVATS: Dashed blue line.

ROOF OVERHANG: Dashed red line.

ELECTRICAL: Dashed orange line.

STORMSEWER: Solid orange line.

WATER LINES: Solid red line.

GAS LINES: Solid yellow line.

PROPOSED RESIDENCE: Solid grey rectangle.

PROPOSED CANTILEVERS: Grey rectangle with diagonal hatching.

PROPOSED GARAGES: Solid grey rectangle.

EXISTING BUILDINGS: Grey rectangle with cross-hatching.

CONCRETE PATHS, ETC.: Grey rectangle with horizontal hatching.

GRAVEL: Grey rectangle with vertical hatching.

WOOD DECKSPORCHES: Grey rectangle with diagonal hatching.

EXISTING GEODETICS: Grey rectangle with a grid pattern.

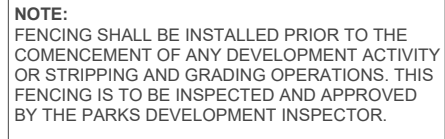
PROPOSED GEODETICS: Grey rectangle with a grid pattern and a circular symbol.

100.00: Circular symbol with a grid pattern.

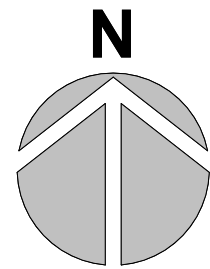
100.00: Circular symbol with a grid pattern and a circular symbol.

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1	-	-	---	1.00	1.70	BUSH	TO BE REMOVED
2	T-51134019	PICEA PUNGENS	0.70	8.00	11.00	CONIFEROUS	TO BE REMOVED
3	-	-	0.75	1.00	1.70	BUSH	TO BE REMOVED
4	-	-	0.80	8.00	11.00	CONIFEROUS	TO REMAIN
5	-	-	---	1.00	2.00	BUSH	TO BE REMOVED


$$3/16'' = 1'-0''$$

1 : 100



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BLDG 1 GARAGE	421.31 SF
BLDG 2 GARAGE	421.31 SF
BLDG 1	
DEVELOPED BASEMENT	860.46 SF
MAIN FLOOR	973.78 SF
SECOND FLOOR	1029.98 SF
BLDG 2	
DEVELOPED BASEMENT	856.55 SF
MAIN FLOOR	984.07 SF
SECOND FLOOR	1038.37 SF
COVERED PORCH	4.69 SF

SITE SUPERVISOR INFORMATION

NAME: ALENA DEVELOPMENTS Ltd.

EMAIL: alenadevelopments@gmail.com

NUMBER: (416) 716-8115

NOTE:
"WE REQUIRE AN URBAN FORESTRY TECHNICIAN (UF) ON SITE AND UF REQUIRES ONE WEEK NOTICE PRIOR TO THE WALKWAY CONSTRUCTION SO AN UF REPRESENTATIVE CAN BE ON SITE TO OBSERVE POTENTIAL DAMAGE TO THE PUBLIC TREE ROOTS. CONTACT UF via 311"

PROJECT INFO

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DRAWING INFORMATION

PROJECT LEAD: TM

CHECKED BY: EMC

STATUS: ISSUED FOR DE

SCALE: As indicated

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REVISION HISTORY	DATE
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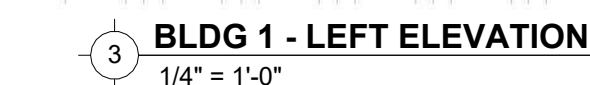
PRESENTATION 1	04.26
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PRESENTATION 2 04.22

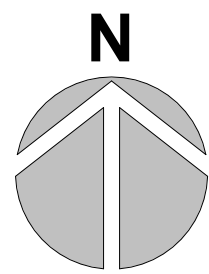
ISSUED FOR DP	05.22
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TREE PROTECTION PLAN

A0.2



BLDG 1 - BUILDING
ELEVATIONS



ELECTRICAL FIXTURE LEGEND	
SYMBOL	DESCRIPTION
	NEW POT LIGHT
	NEW STANDARD CEILING MOUNT FIXTURE
	NEW BATH FAN LOCATION
	NEW SUSPENDED PENDANT FIXTURE
	NEW SURFACE MOUNTED TRACKLIGHT
	NEW WALL MOUNTED SCONCE
	NEW WALL MOUNTED FIXTURE
	NEW SMOKE AND CO2 DETECTOR
	NEW UNDER COUNTER LIGHT
	DUPLEX WALL MOUNTED POWER RECEPTACLE 14\"/>
	DUPLEX RECEPTACLE, CEILING OR SOFFIT MOUNTED
	DUPLEX RECEPTACLE, FLOOR MOUNTED POWER OUTLET
	REFERS TO LIGHT SWITCH FOR THE CONTROL OF LIGHT WITHIN THE ROOM/AREA
	"3" REFERS TO 3-WAY LIGHT CONTROL SWITCH
	"4" REFERS TO 4-WAY LIGHT CONTROL SWITCH
	"D" REFERS TO DIMMER CONTROL SWITCH
	220V RECEPTACLE MOUNTED AT 14\"/>
	RECEPTACLE FOR CEILING MOUNTED GARAGE DOOR RECEPTACLE
	DOUBLE DUPLEX GROUND FAULT INTERRUPT RECEPTACLE MOUNTED AT 14\"/>
ELECTRICAL WIRING AS PER ELECTRICAL CODE. QUANTITY AND LOCATION OF SWITCHES AND OUTLETS ON PLANS ARE A GUIDELINE ONLY.	

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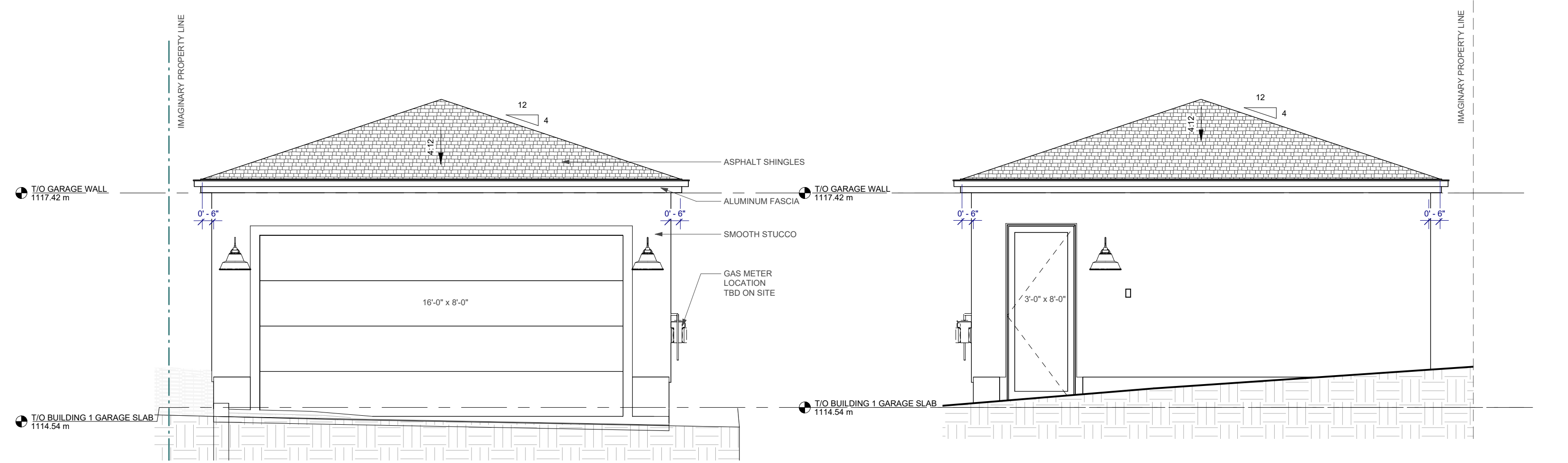
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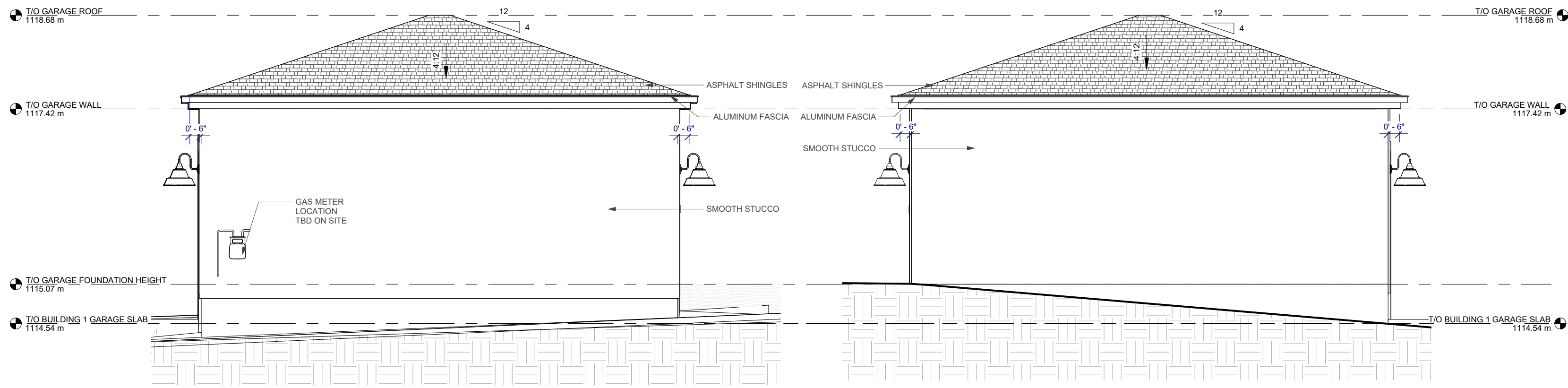
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BLDG 1 - GARAGE FRONT ELEVATION
1/4" = 1'-0"

BLDG 1 - GARAGE REAR ELEVATION
1/4" = 1'-0"



BLDG 1 - GARAGE LEFT ELEVATION
1/4" = 1'-0"

BLDG 1 - GARAGE RIGHT ELEVATION
1/4" = 1'-0"

CONSTRUCTION NOTES AND SPECIFICATIONS

*ALL Rsi VALUE AS PER NBC:AE 9.36.2.4.(1)D UNLESS NOTED OTHERWISE
HRV SYSTEM TO BE INSTALLED AS PER NBC:AE 9.36.3.9. AND 9.36.3.19 REQ'S.
WINDOWS, DOOR, AND SKYLIGHTS TO MEET OR EXCEED CODE MINIMUMS
OUTLINES IN NBC:AE 9.36.2.7.A. AND 9.36.2.7.B. REFER TO MANUFACTURER OR SUPPLIER WINDOW ORDER FOR SPECIFIC U-VALUES.

R-1 ROOF SLOPED

- EXTERIOR AIR FILM
- ROOF FINISH AS PER ELEVATION
- BUILDING PAPER
- 3/8" OSB SHEATHING c/w 1" CLIPS
- ENG. APP'D ROOF TRUSSES @ 24" O.C. WITH RAISED HEEL AS PER ROOF SUP. LAYOUT
- 1" LOOSE-FILL BATT INSULATION (R48.5 total)
- 14-1/2" INSULATION (R59)
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- INTERIOR AIR FILM

ROOF SPACE TO BE VENTED c/w ATTIC ACCESS
9.36 PRESCRIPTIVE CALCULATION
Rsi(1) 0.72 @ 7%
Rsi(2) 1.67 @ 93%
Rsi(average) = 100 / ((170.76) + (931.67)) = 1.54
TOTAL EFFECTIVE Rsi VALUE = 1.54

R-2 VAULTED VENTED ROOF SLOPED
OUTSIDE BOUNDARY AIR
Rsi(1) 0.72 @ 7%
Rsi(2) 1.67 @ 93%
Rsi(average) = 100 / ((170.76) + (931.67)) = 1.54
TOTAL EFFECTIVE Rsi VALUE = 1.54

W-1 WALL EXTERIOR

- EXTERIOR AIR FILM
- EXTERIOR CLADDING AS PER SPEC.
- BUILDING PAPER
- 3/8" OSB SHEATHING
- 2x4 #2 SPR STUDS @ 24" O.C.
- 5-1/2" BATT INSULATION (R22)
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- INTERIOR AIR FILM

9.36 PRESCRIPTIVE CALCULATION
Rsi(1) 1.19 @ 20%
Rsi(2) 3.67 @ 80%
Rsi(average) = 100 / ((201.19) + (803.87)) = 2.67
TOTAL EFFECTIVE Rsi VALUE = 2.67

CONFORMS WITH 9.11.1.1.(2)g

W-3 GARAGE TO SUITE WALL

- RESILIENT CHANNEL @ 600mm O.C.
- 2x4 #2 SPR STUDS @ 24" O.C.
- 5-1/2" SOUND ABSORPTIVE MATERIAL
- 6mil POLY VAPOUR BARRIER
- 2 LAYERS OF 5/8" TYPE-X GYPSUM BOARD
- NON-LOAD BEARING WALLS

W-2 WALL FOUNDATION

- DAMPROOFING BELOW GRADE
- 8" CONC. FOUNDATION WALL C/W 2x6 LADDER SILL & 3 ROWS 2-10m BARS TOP, MID, BOTTOM OR AS PER ENG'D SPEC.
- 2x4" CONTINUOUS CONC. STRIP FOOTING C/W 2 SINGLE ROWS 10m BARS OR AS PER ENG'D SPEC.
- MIN. 48" COVER TO FOOTINGS
- 4" DIA. WEERING TILE IF REQ'D
- 1" AIR GAP
- 2x4 STRAPPING @ 24" O.C.
- 5-1/2" BATT INSULATION (R22)
- 2" BATT INSULATION
- 3-1/2" BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- INTERIOR AIR FILM

9.36 PRESCRIPTIVE CALCULATION
Rsi(1) 0.72 @ 20%
Rsi(2) 2.46 @ 80%
Rsi(average) = 100 / ((200.76) + (802.46)) = 1.70
TOTAL EFFECTIVE Rsi VALUE = 1.70

W-3 WALL INTERIOR PARTITION

- 1/2" GYPSUM BOARD
- 2x4 or 2x6 #2 SPR STUDS @ 24" O.C.
- 1/2" GYPSUM BOARD

W-3a WALL INTERIOR (GARAGE)

- 5/8" TYPE-X GYPSUM BOARD
- RESILIENT CHANNEL @ 600mm O.C.
- 2x4 #2 SPR STUDS @ 24" O.C.
- 5-1/2" SOUND ABSORPTIVE MATERIAL
- 5/8" TYPE-X GYPSUM BOARD
- NON-LOAD BEARING WALLS

AS PER NBC:AE A-9.10.3.1.a WALL W3b
FRR RATING: 1 hr
TYPICAL STC: 48

CONFORMS WITH 9.11.1.1.(2)g

W-3 GARAGE TO SUITE WALL

- RESILIENT CHANNEL @ 600mm O.C.
- 2x4 #2 SPR STUDS @ 24" O.C.
- 5-1/2" SOUND ABSORPTIVE MATERIAL
- 6mil POLY VAPOUR BARRIER
- 2 LAYERS OF 5/8" TYPE-X GYPSUM BOARD
- NON-LOAD BEARING WALLS

W-1a WALL EXTERIOR PROTECTED-GARAGE

- REFER TO EXTERIOR WALL ASSEMBLY EW2a
- NBC:AE2023 A-9.10.3.1.A
- FRR: 1H LOADBEARING
- EXTERIOR AIR FILM
- EXTERIOR CLADDING AS PER SPEC.
- BUILDING PAPER
- 5/8" DENSE GLASS TYPE-X SHEATHING
- 2x4 #2 SPR STUDS @ 16" O.C.
- 5-1/2" BATT INSULATION (R22)
- SINGLE PLY (0.15MM) POLYETHYLENE VAPOUR BARRIER CONFORMING TO CAN/CSG58-51.34M INSTALLED IN ACCORDANCE WITH ARTICLE 9.25.4.3.
- 5/8" DENSE GLASS TYPE-X SHEATHING
- INTERIOR AIR FILM

9.36 PRESCRIPTIVE CALCULATION
Rsi(1) 1.19 @ 20%
Rsi(2) 3.67 @ 80%
Rsi(average) = 100 / ((201.19) + (803.87)) = 2.67
TOTAL EFFECTIVE Rsi VALUE = 2.67

E-1 FLOOR FRAMED

- FINISH FLOORING AS PER SPEC.
- 3/4" OSB OR PLYWOOD SUBFLOOR NAILED, SCREWED, GLUED
- ENG. APP'D FLOOR JOIST AS PER FLOOR SUP. LAYOUT
- 1/2" GYPSUM BOARD (WHERE APPLICABLE)

E-1a FLOOR FRAMED-CANTILEVER

- INSIDE BOUNDARY AIR
- FLOOR SHEATHING
- JOIST AIR SPACE
- R201 F.G. BATT WITH JOISTS @ 19.2" O.C. 3/8" OSB SHEATHING
- SOFFIT
- OUTSIDE BOUNDARY AIR 4.20 TOTAL TOTAL EFFECTIVE Rsi VALUE = 4.20

E-2 SLAB (UNHEATED)

- FINISH FLOORING AS PER SPEC
- INSIDE BOUNDARY AIR
- 2" XPS RIGID FOAM
- CONCRETE SLAB
- TOTAL EFFECTIVE Rsi VALUE = 1.98

F-3 FLOOR FRAMED (OVER GARAGE)

- REFER TO FLOOR ASSEMBLY F2b
- NBC:AE2023 A-9.10.3.1.B
- STC: 51
- FINISH FLOORING AS PER SPEC
- 5/8" OSB OR PLYWOOD SUBFLOOR NAILED, SCREWED, GLUED
- ENG. APP'D FLOOR TRUSSES AS PER FLOOR SUP. LAYOUT MAX. 800mm O.C. WITH NO ABSORPTIVE MATERIAL IN CAVITY
- RESILIENT METAL CHANNEL @ 400 mm O.C.
- 6mil POLY VAPOUR BARRIER
- 1/2" TYPE-X GYPSUM BOARD

F-4 SLAB GARAGE

- 4" CONC. SLAB min. 30 MPa W/ 10m REBAR EW @ 24" O.C. OR AS PER ENG'D SPEC.
- MIN. 48" COVER TO SLAB
- 4" CONTINUOUS EXPANDED POLYSTYRENE INSULATION (R16)
- 6mil POLY VAPOUR BARRIER
- 4" COMPACTED GRAVEL

PORT AND PAD FOOTINGS

- AS PER ENGINEERING AND FOUNDATION PLAN LAYOUTS

STAIRS

- TREADS - 1" PLYWOOD x 11" MINIMUM (INCLUDING NOSING)
- RISERS - 1/2" PLYWOOD x 7/8" MAX
- STRINGERS - 2 x 10 TYPICAL
- TREADS AND RISERS SHALL HAVE UNIFORM RISE AND RUN

DOORS

- ALL DOORS TO BE 6'-0" HIGH ON 8'-0" CEILING (U.N.O.)
- ALL DOORS TO BE 8'-0" HIGH ON 9'-0" CEILINGS (U.N.O.)
- CONFIRM WITH SPEC ON ALL 10'-0" CEILINGS

WINDOWS

- SIZES SHOWN ARE NOMINAL
- FRAMER TO VERIFY ALL ROUGH OPENINGS WITH WINDOW ORDER PRIOR TO CONSTRUCTION

LINTEL NOTES

- ALL OPENINGS BELT TO BE 2-2x10 #2 SPR UNLESS OTHERWISE REQUIRED BY ENGINEER OR SUPPLIER. (ALL OPENINGS OVER 6'-0" TO BE REVIEWED.)

GENERAL NOTES

- SMARTTRIM OR PREFINISHED ALUMINUM FASCIA BOARD TYPICAL (AS PER ELEV.)
- PREFINISHED ALUMINUM EAVESTROUGH TYPICAL, PREFINISHED ALUMINUM VENTED SOFFIT U.N.O.

- TRUSS MANUFACTURER TO VERIFY ALL ROOF SLOPE AND TRUSS DESIGNS PRIOR TO FABRICATION

- ALL 8'-0" & 9'-0" INTERIOR WALLS @ 24" O.C. SPACING. ALL 10'-0" @ 16" O.C. SPACING UNLESS NOTED OTHERWISE.
- ALL EXTERIOR AND LOAD BEARING WALLS OVER 11'-8" REQUIRE ENGINEERED TAIL WALL DETAILS. SEE NBC 9.25.10.1
- REFER TO SPEC IF SPECIFIC SPACING IS REQUIRED BEHIND KITCHEN CABINETS OR BUILT INS.

- WINDOW SIZES ARE NOMINAL. REFER TO MANUFACTURERS SPECIFICATIONS FOR EXACT ROUGH OPENING SIZES
- INSULATED WALLS WITHIN 4'-0" OF THE FURNACE AND WATER HEATER

- INSULATED WALLS ADJACENT TO STAIRS AND LANDINGS TO BE DRYWALLED
- INSULATED WALLS AT BASEMENT LAUNDRY TO BE DRYWALLED (WHERE APPLICABLE)

- PROVIDE MINIMUM 45 MINUTE FIRE RESISTANT RATING TO WALLS LESS THAN 12m (4'-0") FROM PROPERTY LINES.
- ALL RM JOISTS TO HAVE R20 BATT INSULATION AND VAPOUR BARRIER TYPICAL. REFER TO DETAIL.

- ANY DISCREPANCIES TO BE REPORTED TO ELLERGOOD DESIGN INC. PRIOR TO CONSTRUCTION

- SPRAY FOAM CMCC# 126b - (D.D.C-50) 12070-R 28 - (M.D.C-2002) 13069-L
- UNDERSLAB INSULATION TYPICAL CMCC # 12425-L

PROJECT INFO

- CLIENT/PROJECT: ALENA DEVELOPMENTS
- LEGAL ADDRESS: Lot 7, Block 19, Plan 4479p
- CIVIC ADDRESS: 2416 29 AVE SW

DRAWING INFORMATION

- PROJECT LEAD: TM
- CHECKED BY: EMC
- STATUS: ISSUED FOR DP

- SCALE: 1/4" = 1'-0"
- COPYRIGHT ALL RIGHTS RESERVED ARCH D / 36" x 24"

- PRESENTATION 1 04.26
- PRESENTATION 2 04.22
- ISSUED FOR DP 05.22