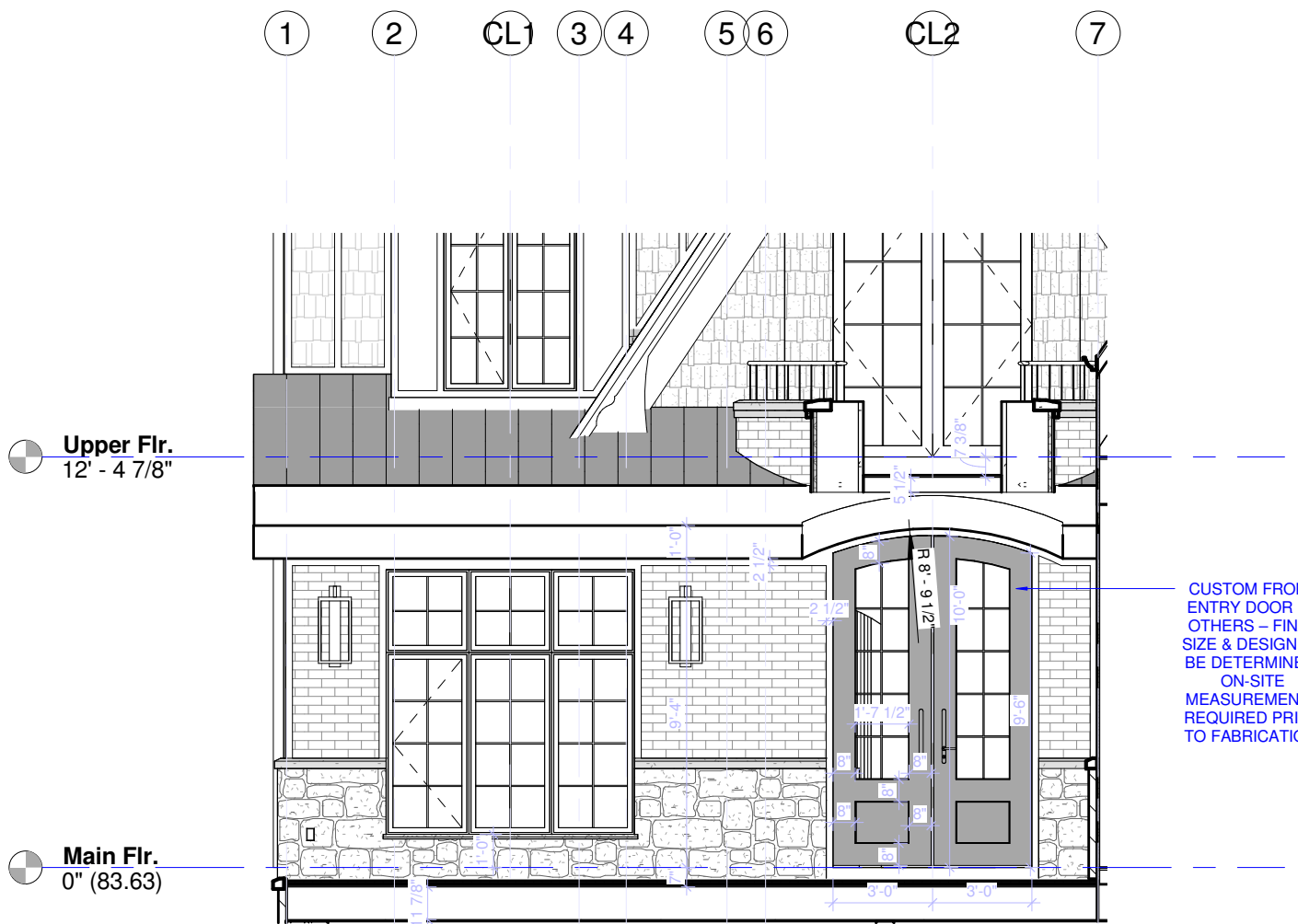
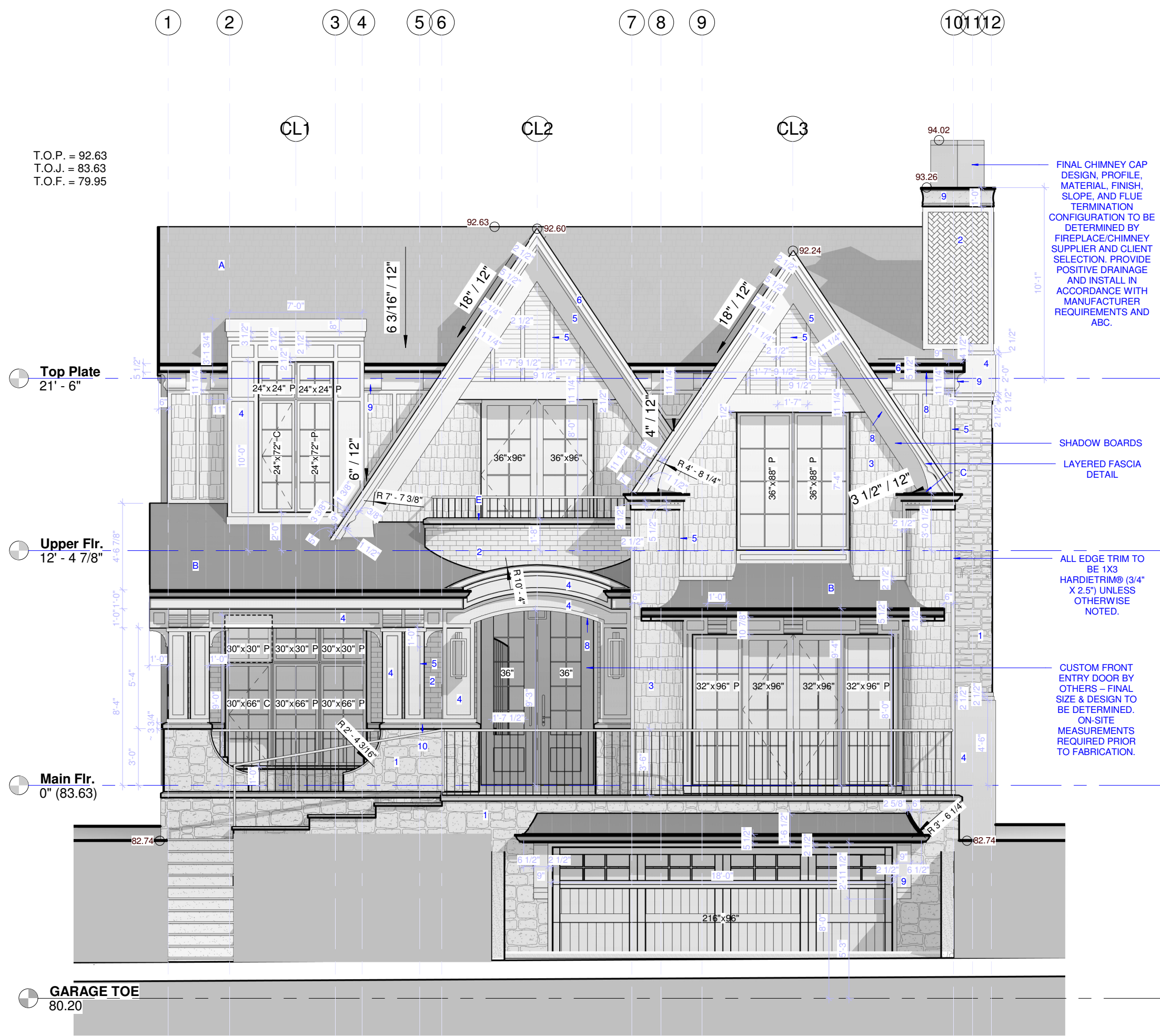




16 SECTION 16
3/16" = 1'-0"



1 FRONT ELEVATION
3/16" = 1'-0"



2 REAR ELEVATION
3/16" = 1'-0"

- Exterior Material / Finish List:**
- Stone
 - Brick
 - Hardie® Shingle Siding – straight edge profile OR shapened edge profile TDS – Cedarmill texture.
 - Hardie® Panel Vertical Siding – smooth finish
 - Trim – Hardie® Trim Board Siding – smooth finish – actual size as per elevations – install over Hardie® Panel Siding vertical siding as shown on drawings.
 - COMMON JAMES HARDIE TRIM BOARD ACTUAL SIZES:
1x3 = 3/4" x 2 1/2"
1x4 = 3/4" x 3 1/2"
1x6 = 3/4" x 5 1/2"
1x8 = 3/4" x 7 1/2"
1x10 = 3/4" x 9 1/2"
1x12 = 3/4" x 11 1/2"
 - ALL EDGE TRIM TO BE 1X3 HARDIETRIM® (3/4" X 2 1/2") UNLESS OTHERWISE NOTED.
 - Fascia – Hardie® Trim Board Fascia – smooth finish – nominal 1x6 (actual size 3/4" x 5 1/2") – LAYERED FASCIA DETAIL WHERE SHOWN – REFER TO DRAWINGS.
 - Deck Paneling – Hardie® Panel siding – smooth finish – provide paneling as per elevations and manufacturer specifications.
 - Soffit – Hardie® Soffit Panels – Cedarmill finish – provide vented soffit panels at front and rear elevations and non-vented soffit panels at eave conditions where required to comply with Alberta Building Code ventilation and spatial separation requirements.
 - Manufactured Limestone Crown and decorative corbels
 - Manufactured Stone Top Cap
 - Flared save return into heads – no box return – manufactured limestone or smooth fiber cement custom detail required
 - 12"x12" Timber column
 - Vinyl Decking

- Roofing:**
- Asphalt Shingles
 - Standing Seam Metal Roofing – mechanically seamed roofing at low slope conditions where required – snap-lock standing seam roofing at steeper slope conditions
 - Metal Flashing OR Standing Seam Metal Roofing – mechanically seamed roofing at low slope conditions where required – snap-lock standing seam roofing at steeper slope conditions
 - Torch-On Membrane Roofing
 - Manufactured Stone Wall Cap – Stone Coping



FORMERLY
TYLER HAWRYLUK ARCHITECTURAL DESIGN
WWW.THAD.CA | @THAD.CA | 403 880 9620 | TYLER@THAD.CA

COPYRIGHT AND USAGE INSTRUCTIONS

THIS DRAWING AND ALL ITS CONTENTS ARE PROTECTED BY COPYRIGHT, AND SHALL NOT BE REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE EXPRESS WRITTEN CONSENT OF THAD. THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE TO THE FACE OF THE STUD OR SHEATHING UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, DRAWINGS, DETAILS, AND SPECIFICATIONS. ANY DISCREPANCIES, INCLUDING ERRORS OR OMISSIONS, MUST BE REPORTED TO THAD PRIOR TO PROCEEDING WITH WORK.

PROJECT

ELBOW PARK DWELLING

3815 9 ST SW

LOTS 32 AND 33 BLOCK 34 PLAN 5584 R

ISSUE DESIGN PHASE

DRAWING ISSUE		
Number	Date	Description
1	2026 01 23	VERSION 1
2	2026 01 26	VERSION 2
3	2026 01 26	VERSION 3
4	2026 02 04	VERSION 4
5	2026 02 06	VERSION 5
6	2026 02 19	VERSION 6
7	2026 03 04	VERSION 7
8	2026 03 13	VERSION 8
9	2026 03 17	VERSION 9
9.5	2026 03 17	VERSION 9.5
10	2026 03 19	VERSION 10
11	2026 04 14	VERSION 11
12	2026 04 23	VERSION 12
13	2026 04 24	VERSION 13
14	2026 05 15	PRE-SUBMISSION DP REVIEW SET
15	2026 05 20	PRE-SUBMISSION DP REVIEW SET
16	2026 05 26	PRE-SUBMISSION DP REVIEW SET
17	2026 06 27	BP SET
18	2026 06 28	BP SET 2
19	2026 06 28	BP SET 3
20	2026 07 15	DR1

DRAWING LIST

1	COVER SHEET
2	COVER SHEET
3	SITE PLAN
4	BASEMENT
5	FLOOR PLANS
6	ROOF PLAN
7	ELEVATIONS
8	ELEVATIONS
9	SECTIONS
10	SECTIONS
11	BP ASSEMBLIES/ DETAILS
12	BP ELECTRICAL PLANS

Area Schedule (House)

Name	Area
Above Grade	
MAIN FLOOR	2367 SF
UPPER FLOOR	2103 SF
	4470 SF
Below Grade	
BASEMENT DEVELOPED	1858 SF
MECH	131 SF
	1989 SF

Area Schedule (Other)

Name	Area
BALCONY	52 SF
REAR DECK	413 SF
COVERED ENTRY/PORCH/PATIO/STEPS/WALKWAY	534 SF
GARAGE	748 SF

DRAWING

ELEVATIONS

SCALE
3/16" = 1'-0"



FORMERLY
TYLER HAWRYLUK ARCHITECTURAL DESIGN
WWW.THAD.CA | @ THAD.CA | 403 880 9620 | TYLER@THAD.CA

COPYRIGHT AND USAGE INSTRUCTIONS

THIS DRAWING AND ALL ITS CONTENTS ARE PROTECTED BY COPYRIGHT, AND SHALL NOT BE REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE EXPRESS WRITTEN CONSENT OF THAD. THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE TO THE FACE OF THE STUD OR SHEATHING UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, DRAWINGS, DETAILS, AND SPECIFICATIONS. ANY DISCREPANCIES, INCLUDING ERRORS OR OMISSIONS, MUST BE REPORTED TO THAD PRIOR TO PROCEEDING WITH WORK.

PROJECT

ELBOW PARK DWELLING

3815 9 ST SW

LOTS 32 AND 33 BLOCK 34 PLAN 5584 R

ISSUE DESIGN PHASE

DRAWING ISSUE

Number	Date	Description
1	2026 01 23	VERSION 1
2	2026 01 26	VERSION 2
3	2026 01 28	VERSION 3
4	2026 02 04	VERSION 4
5	2026 02 06	VERSION 5
6	2026 02 19	VERSION 6
7	2026 03 04	VERSION 7
8	2026 03 13	VERSION 8
9	2026 03 17	VERSION 9
9.5	2026 03 17	VERSION 9.5
10	2026 03 19	VERSION 10
11	2026 04 14	VERSION 11
12	2026 04 23	VERSION 12
13	2026 04 24	VERSION 13
14	2026 05 15	PRE-SUBMISSION DP REVIEW SET
15	2026 05 20	PRE-SUBMISSION DP REVIEW SET
16	2026 05 26	PRE-SUBMISSION DP REVIEW SET
17	2026 05 27	BP SET
18	2026 05 28	BP SET 2
19	2026 05 29	BP SET 3
20	2026 07 15	DR1

DRAWING LIST

1	COVER SHEET
2	COVER SHEET
3	SITE PLAN
4	BASEMENT
5	FLOOR PLANS
6	ROOF PLAN
7	ELEVATIONS
8	ELEVATIONS
9	SECTIONS
10	SECTIONS
11	BP ASSEMBLIES/DETAILS
12	BP ELECTRICAL PLANS

Area Schedule (House)

Name	Area
Above Grade	
MAIN FLOOR	2367 SF
UPPER FLOOR	2103 SF
	4470 SF
Below Grade	
BASEMENT DEVELOPED	1858 SF
MECH	131 SF
	1989 SF

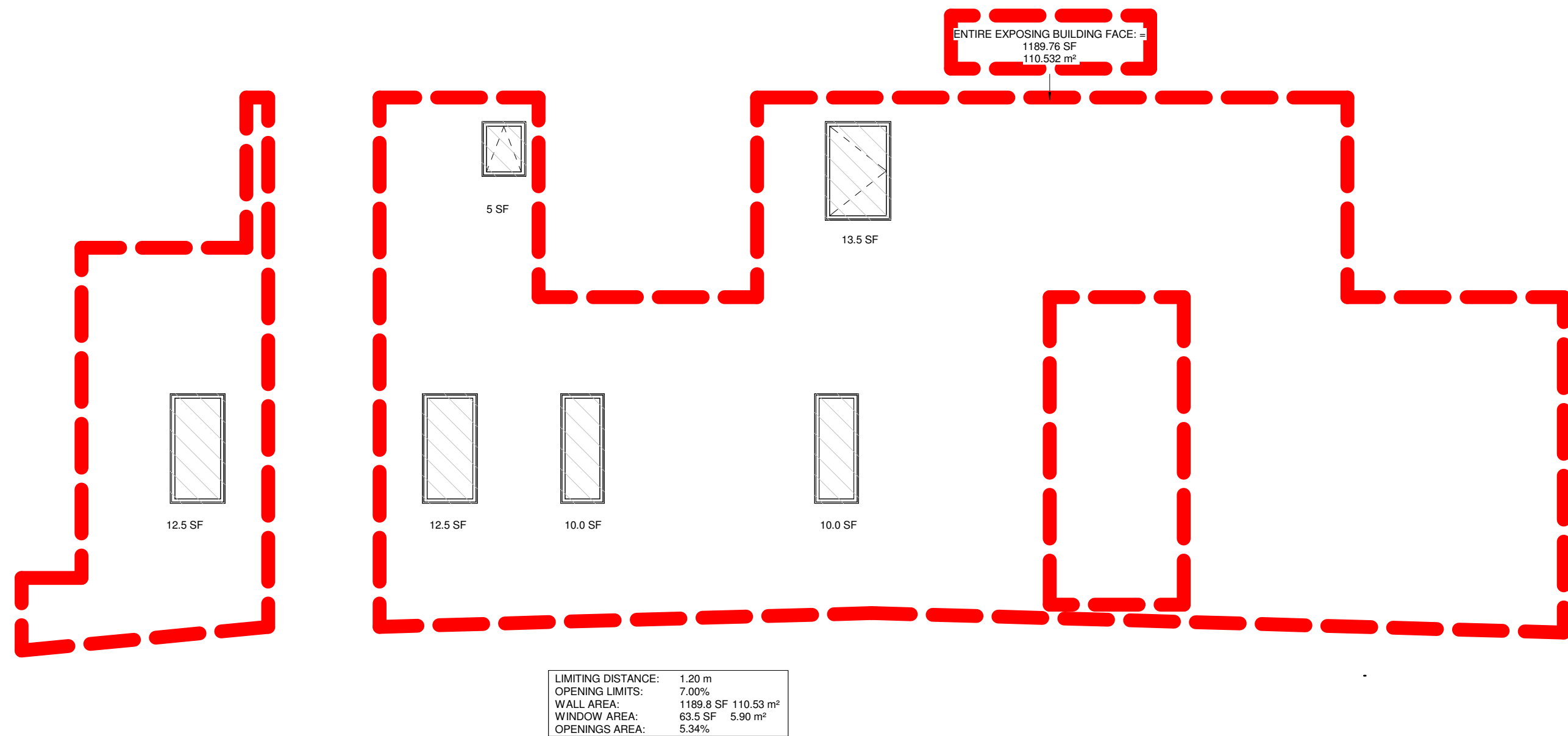
Area Schedule (Other)

Name	Area
BALCONY	52 SF
REAR DECK	413 SF
COVERED ENTRY/PORCH/PATIO/STEPS/WALKWAY	534 SF
GARAGE	748 SF

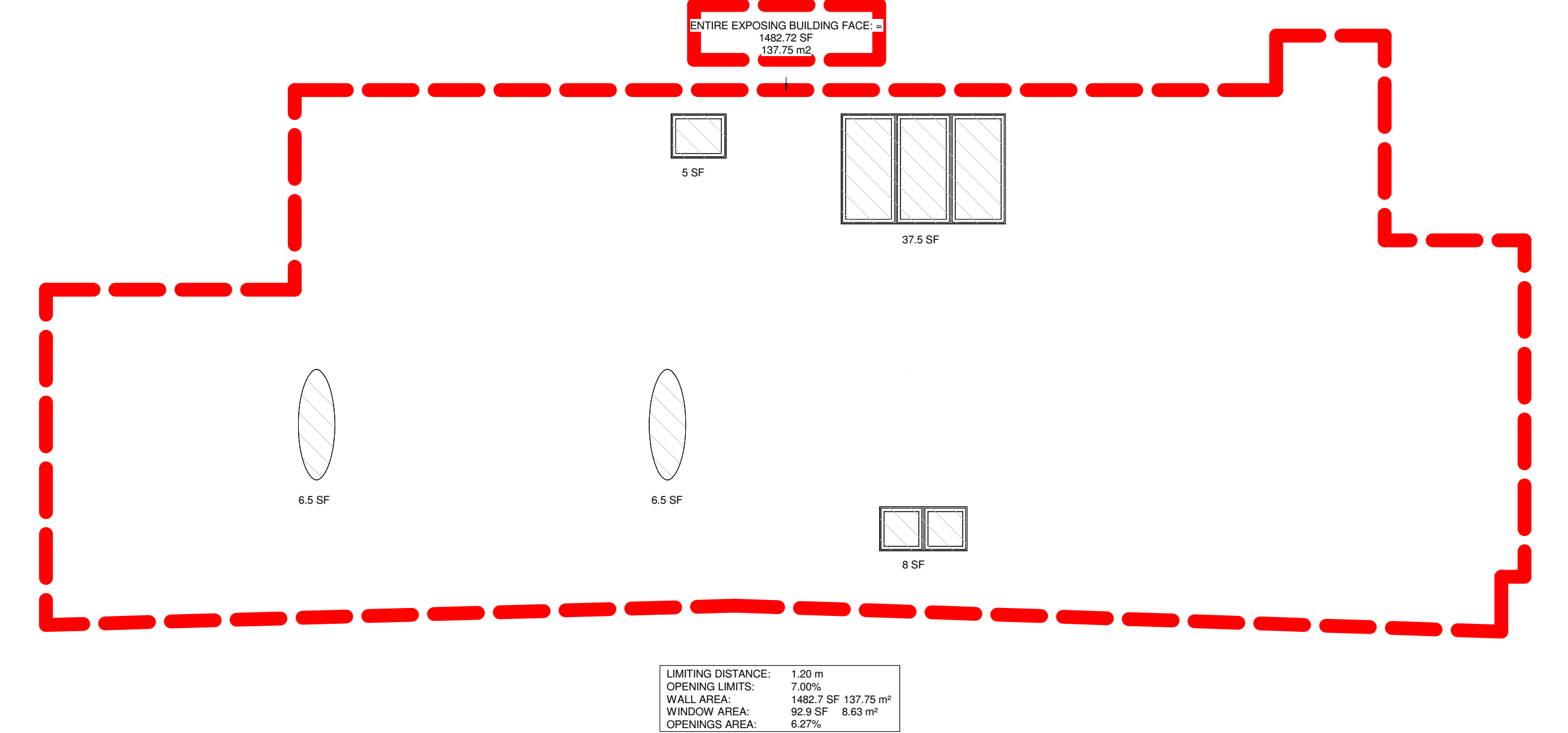
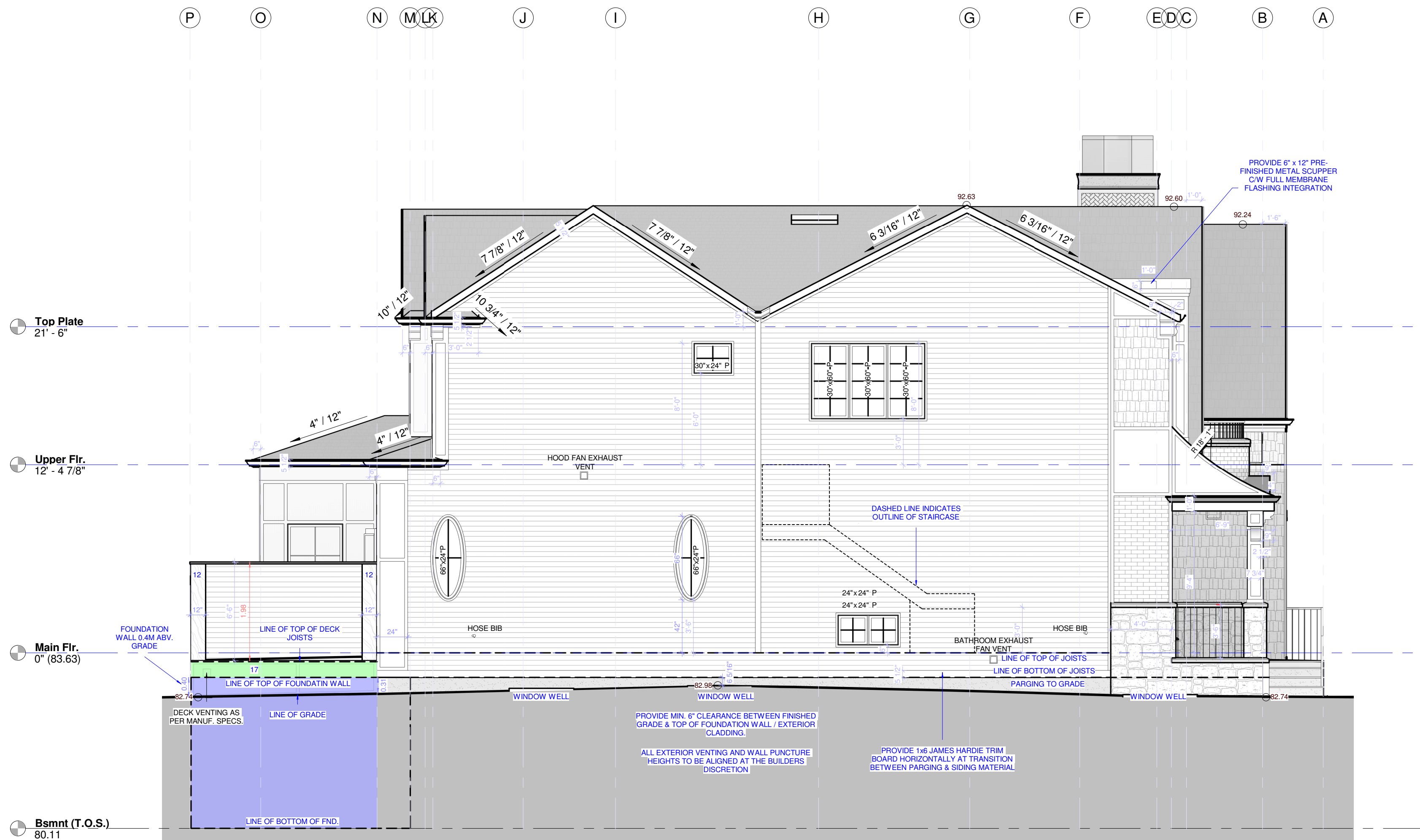
DRAWING

ELEVATIONS

SCALE
3/16" = 1'-0"



RIGHT ELEVATION - GLAZED OPENINGS
IN EXPOSING BUILDING FACE 9.10.15.4.
3/16" = 1'-0"



LEFT ELEVATION - GLAZED OPENINGS
IN EXPOSING BUILDING FACE 9.10.15.4.
3/16" = 1'-0"