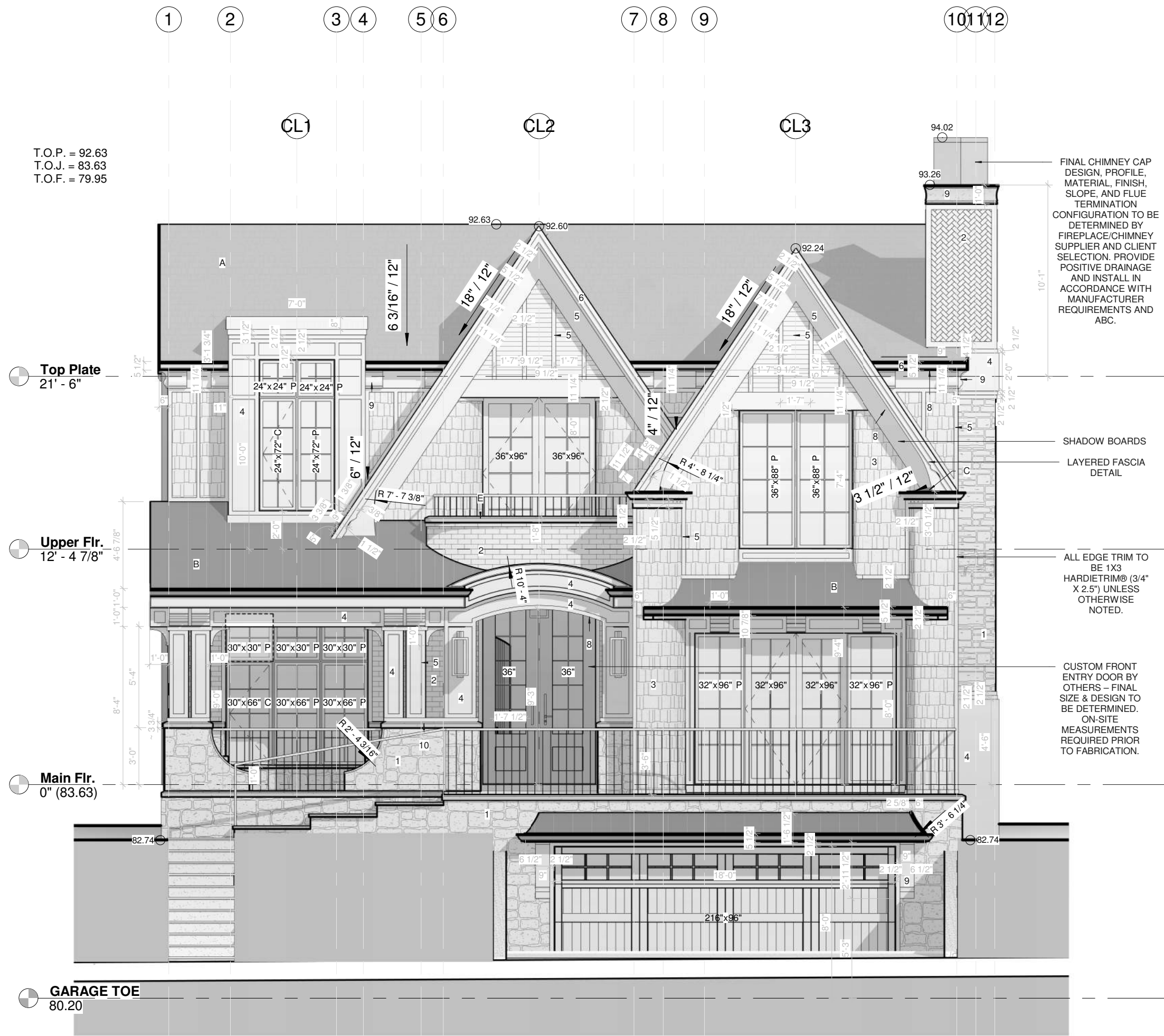




16 SECTION 16  
3/16" = 1'-0"



1 FRONT ELEVATION  
3/16" = 1'-0"



2 REAR ELEVATION  
3/16" = 1'-0"

- Exterior Material / Finish List:**
- Stone
  - Brick
  - Hardie® Shingle Siding – straight edge profile OR shagreen edge profile TDB – Cedarmill texture.
  - Hardie® Panel Vertical Siding – smooth finish
  - Trim - Hardie Trim® Batten Boards – smooth finish – actual size as per elevations – install over Hardie® Panel Smooth vertical siding as shown on drawings.  
COMMON JAMES HARDIE TRIM BOARD ACTUAL SIZES:  
1x3 = 3/4" x 2 5/8"  
1x4 = 3/4" x 3 5/8"  
1x6 = 3/4" x 5 7/8"  
1x8 = 3/4" x 7 7/8"  
1x10 = 3/4" x 9 7/8"  
1x12 = 3/4" x 11 7/8"
  - ALL EDGE TRIM TO BE 1X3 HARDIETRIM® (3/4" X 2 5/8") UNLESS OTHERWISE NOTED.
  - Fascia - Hardie® Trim Board Fascia – smooth finish – nominal 1x6 (actual size 3/4" x 5 7/8") - LAYERED FASCIA DETAIL WHERE SHOWN – REFER TO DRAWINGS.
  - Deck Paneling – Hardie® Panel siding – smooth finish – provide paneling as per elevations and manufacturer specifications.
  - Soffit - Hardie® Soffit Panels – Cedarmill finish – provide vented soffit panels at front and rear elevations and non-vented soffit panels at eave conditions where required to comply with Alberta Building Code ventilation and spatial separation requirements.
  - Manufactured Limestone Crown and decorative corbels
  - Manufactured Stone Top Cap
  - Flared save return into facade – no box return – manufactured limestone or smooth fiber cement custom detail required
  - 12"x12" Timber column
  - Vinyl Decking

- Roofing:**
- Asphalt Shingles
  - Standing Seam Metal Roofing – mechanically seamed roofing at low-slope conditions where required – snap-lock standing seam roofing at steeper slope conditions
  - Metal Flashing OR Standing Seam Metal Roofing – mechanically seamed roofing at low-slope conditions where required – snap-lock standing seam roofing at steeper slope conditions
  - Torch-On Membrane Roofing
  - Manufactured Stone Wall Cap - Stone Coping



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#### PROJECT

ELBOW PARK DWELLING

3815 9 ST SW

LOTS 32 AND 33 BLOCK 34 PLAN 5584 R

#### ISSUE DESIGN PHASE

| DRAWING ISSUE |            |                              |
|---------------|------------|------------------------------|
| Number        | Date       | Description                  |
| 1             | 2026 01 23 | VERSION 1                    |
| 2             | 2026 01 26 | VERSION 2                    |
| 3             | 2026 01 26 | VERSION 3                    |
| 4             | 2026 02 04 | VERSION 4                    |
| 5             | 2026 02 06 | VERSION 5                    |
| 6             | 2026 02 19 | VERSION 6                    |
| 7             | 2026 03 04 | VERSION 7                    |
| 8             | 2026 03 13 | VERSION 8                    |
| 9             | 2026 03 17 | VERSION 9                    |
| 9.5           | 2026 03 17 | VERSION 9.5                  |
| 10            | 2026 03 19 | VERSION 10                   |
| 11            | 2026 04 14 | VERSION 11                   |
| 12            | 2026 04 23 | VERSION 12                   |
| 13            | 2026 04 24 | VERSION 13                   |
| 14            | 2026 05 15 | PRE-SUBMISSION DP REVIEW SET |
| 15            | 2026 05 20 | PRE-SUBMISSION DP REVIEW SET |
| 16            | 2026 05 26 | PRE-SUBMISSION DP REVIEW SET |
| 17            | 2026 06 27 | BP SET                       |
| 18            | 2026 06 28 | BP SET 2                     |
| 19            | 2026 06 29 | BP SET 3                     |

#### DRAWING LIST

- COVER SHEET
- COVER SHEET
- SITE PLAN
- BASEMENT
- FLOOR PLANS
- ROOF PLAN
- ELEVATIONS
- ELEVATIONS
- SECTIONS
- SECTIONS
- BP ASSEMBLIES/ DETAILS
- BP ELECTRICAL PLANS

#### Area Schedule (House)

| Name               | Area    |
|--------------------|---------|
| Above Grade        |         |
| MAIN FLOOR         | 2367 SF |
| UPPER FLOOR        | 2103 SF |
|                    | 4470 SF |
| Below Grade        |         |
| BASEMENT DEVELOPED | 1858 SF |
| MECH               | 131 SF  |
|                    | 1989 SF |

#### Area Schedule (Other)

| Name                                    | Area   |
|-----------------------------------------|--------|
| BALCONY                                 | 52 SF  |
| REAR DECK                               | 413 SF |
| COVERED ENTRY/PORCH/PATIO/STEPS/WALKWAY | 534 SF |
| GARAGE                                  | 748 SF |

#### DRAWING

#### ELEVATIONS

SCALE  
3/16" = 1'-0"





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PROJECT

ELBOW PARK DWELLING

3815 9 ST SW

LOTS 32 AND 33 BLOCK 34 PLAN 5584 R

ISSUE **DESIGN PHASE**

DRAWING ISSUE

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|--------|------------|------------------------------|
| 1      | 2026 01 23 | VERSION 1                    |
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| 9      | 2026 03 17 | VERSION 9                    |
| 9.5    | 2026 03 17 | VERSION 9.5                  |
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| COVERED ENTRY/PORCH/PATIO/STEPS/WALKWAY | 534 SF |
| GARAGE                                  | 748 SF |

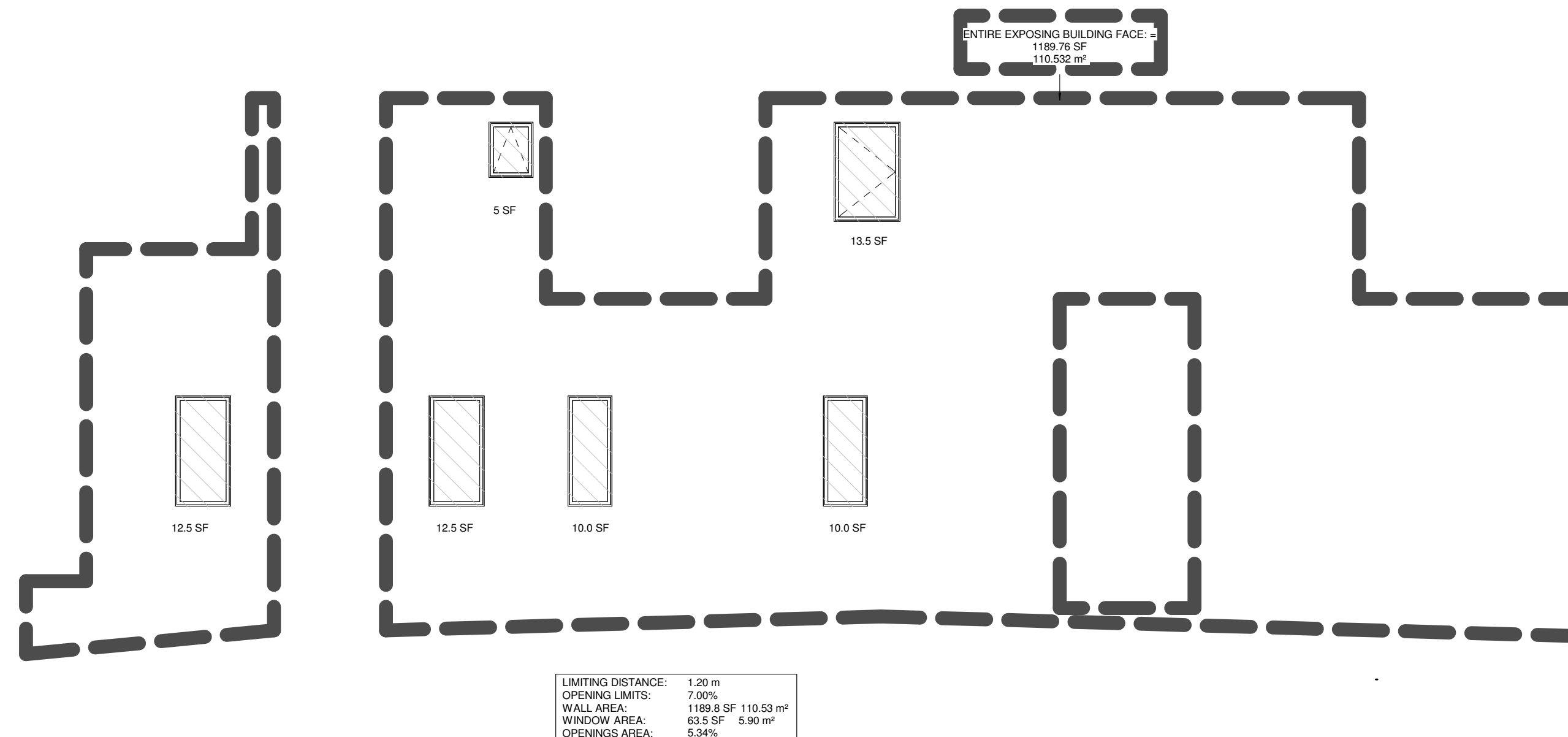
DRAWING

ELEVATIONS

SCALE  
3/16" = 1'-0"



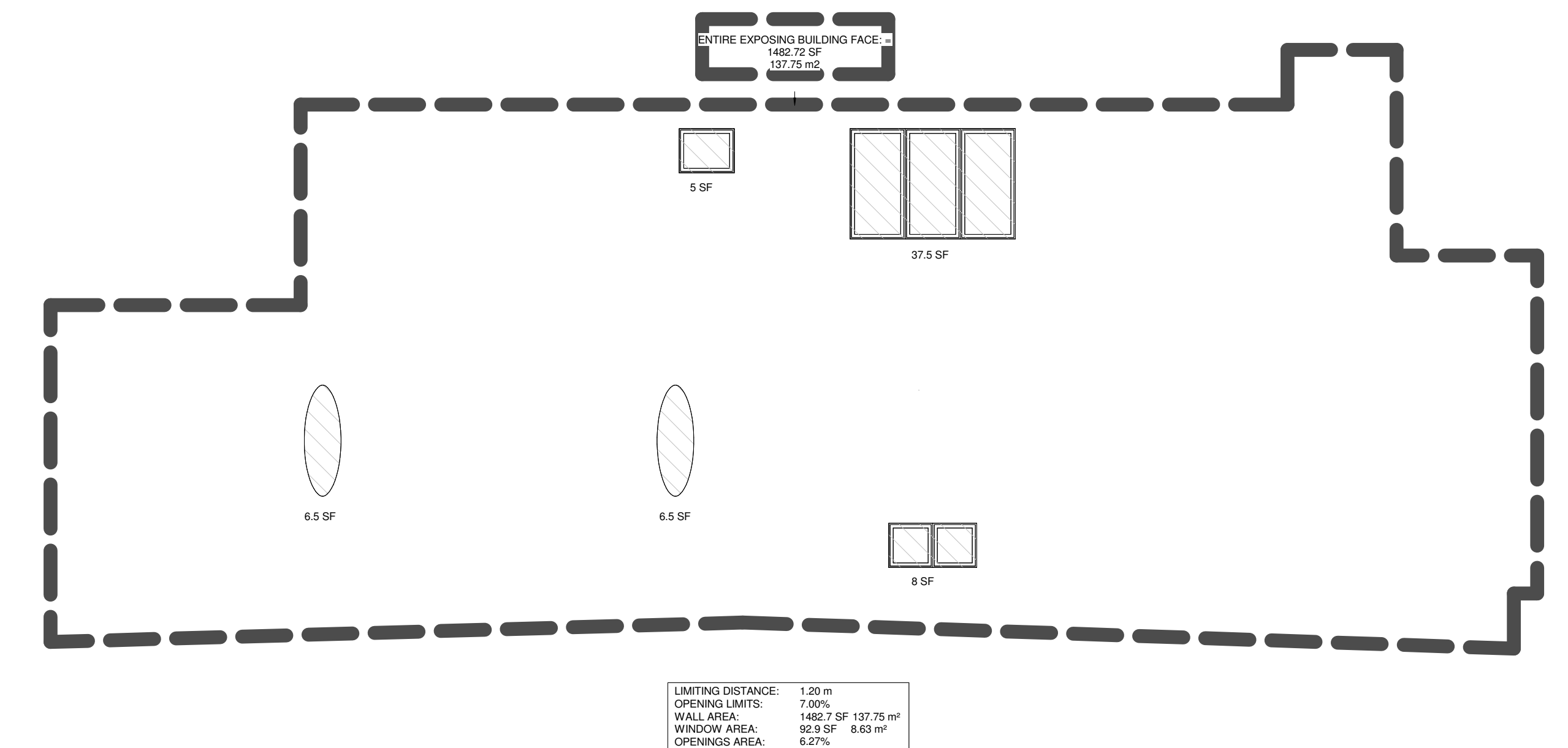
1 RIGHT ELEVATION  
3/16" = 1'-0"



2 RIGHT ELEVATION - GLAZED OPENINGS  
IN EXPOSING BUILDING FACE 9.10.15.4.  
3/16" = 1'-0"

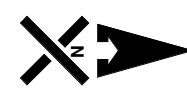


3 LEFT ELEVATION  
3/16" = 1'-0"



4 LEFT ELEVATION - GLAZED OPENINGS  
IN EXPOSING BUILDING FACE 9.10.15.4.  
3/16" = 1'-0"





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3815 9 ST SW

LOTS 32 AND 33 BLOCK 34 PLAN 5584 R

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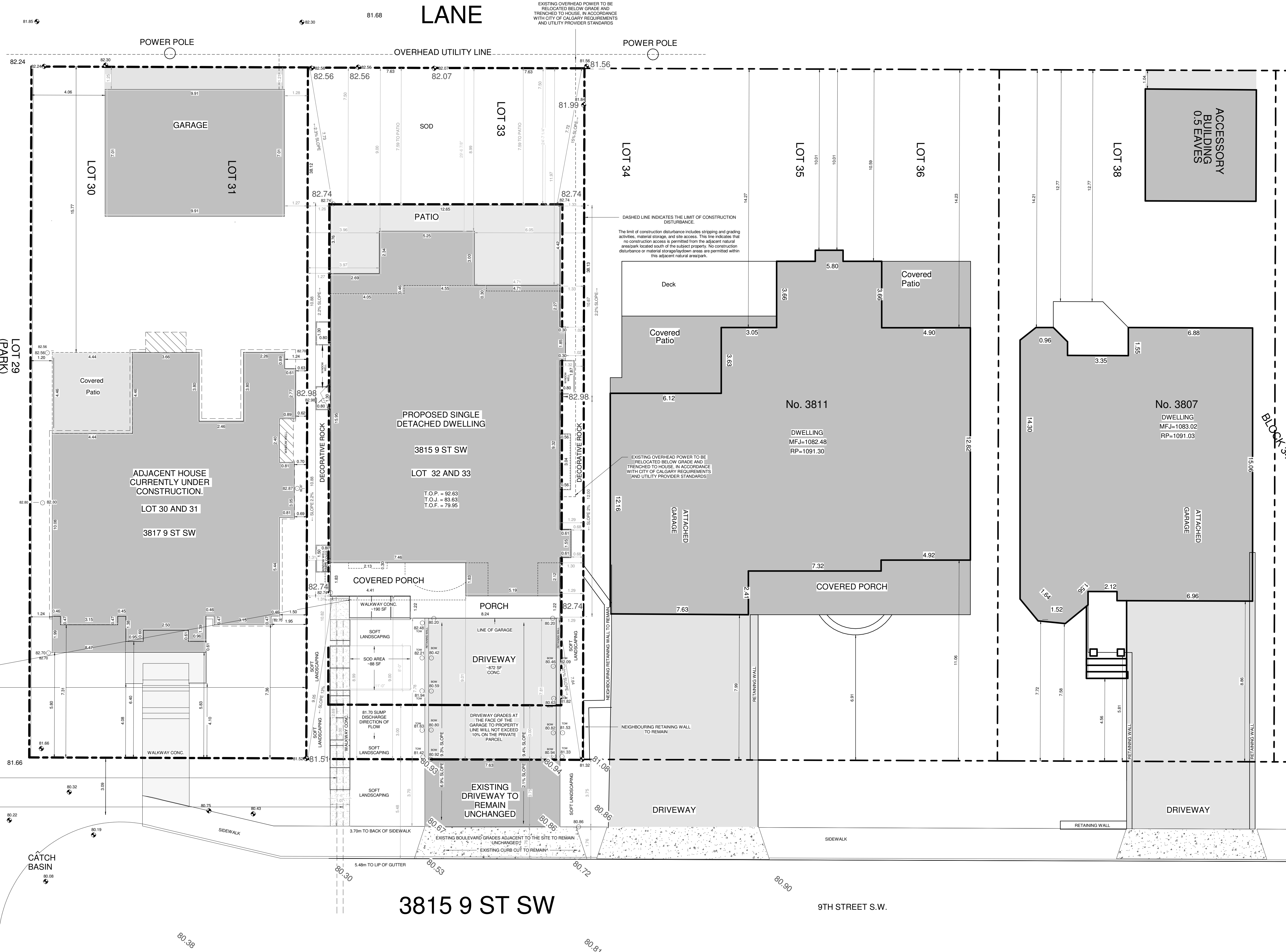
#### DRAWING

#### SITE PLAN

SCALE  
1 : 100

# LANE

EXISTING OVERHEAD POWER TO BE RELOCATED BELOW GRADE AND TRENCHED TO HOUSE, IN ACCORDANCE WITH CITY OF CALGARY REQUIREMENTS AND UTILITY PROVIDER STANDARDS



SITE ACCESS IS FROM THE REAR LANE ONLY - SITE ACCESS THROUGH THE ADJACENT PARK IS NOT SUPPORTED

ALL TREES ARE THE RESPONSIBILITY OF THE BUILDER. CONSULT WITH THE CITY OF CALGARY URBAN FORESTRY DEPARTMENT PRIOR TO REMOVING, MODIFYING, OR DISTURBING ANY TREES. THE BUILDER IS RESPONSIBLE FOR COMPLYING WITH ALL MUNICIPAL REQUIREMENTS AND OBTAINING NECESSARY PERMITS.

A MINIMUM OF THREE TREES MUST BE PLANTED ON THE PARCEL. THIS MAY BE ACCOMPLISHED BY PLANTING NEW TREES OR PRESERVING EXISTING TREES. THE TREES MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION, TO SATISFY THE REQUIREMENT OF ONE TREE, THE FOLLOWING SIZES MUST BE MET:

A. A DECIDUOUS TREE WITH A MINIMUM CALIPER OF 50.0MM; OR  
B. A CONIFEROUS TREE WITH A MINIMUM HEIGHT OF 2.0 METRES.

TO SATISFY THE REQUIREMENT OF TWO TREES, THE FOLLOWING SIZES MUST BE MET:

A. A DECIDUOUS TREE WITH A MINIMUM CALIPER OF 85.0MM; OR  
B. A CONIFEROUS TREE WITH A MINIMUM HEIGHT OF 4.0 METRES.

THE REQUIRED TREES MUST BE PROVIDED ON THE PARCEL WITHIN 12 MONTHS OF ISSUANCE OF THE DEVELOPMENT COMPLETION PERMIT (DCP), AND MAINTAINED FOR A MINIMUM OF 24 MONTHS AFTER ISSUANCE OF THE DCP.

NOTE: PUBLIC TREES TO BE PROTECTED FROM THE DEVELOPMENT AS PER THE RECORD OF THE PUBLIC TREE PROTECTION STANDARDS. REMOVING TO BE THE RESPONSIBILITY OF THE BUILDER/OWNER PRIOR TO AND DURING CONSTRUCTION

DASHED LINE = EAVE OVERHANG

DASHED LINE INDICATES THE LIMIT OF CONSTRUCTION DISTURBANCE

The limit of construction disturbance includes stripping and grading activities, material storage, and site access. This line indicates that no construction access is permitted from the adjacent natural area/park located south of the subject property. No construction disturbance or material storage/laydown areas are permitted within this adjacent natural area/park.

EXISTING GAS SERVICE TO BE RELOCATED BELOW GRADE AND TRENCHED TO HOUSE, IN ACCORDANCE WITH CITY OF CALGARY REQUIREMENTS AND UTILITY PROVIDER STANDARDS

EXISTING SEWER AND WATER SERVICES TO BE RELOCATED BELOW GRADE AND TRENCHED TO HOUSE, IN ACCORDANCE WITH CITY OF CALGARY REQUIREMENTS AND UTILITY PROVIDER STANDARDS

FINAL NUMBER OF RISERS AND GRADES MAY VARY FROM THE PLAN AND ARE SUBJECT TO SITE CONDITIONS.