

EXTERIOR ALTERATIONS

2221 41 AVENUE N.E., CALGARY AB

PROJECT INFORMATION

LEGAL DESCRIPTION

LOT 15, BLOCK 4, PLAN 1113735

MUNICIPAL ADDRESS

2221 41 AVENUE N.E., CALGARY, AB

LAND USE DISTRICT

I-G : INDUSTRIAL - GENERAL DISTRICT

SITE DETAILS

SITE AREA : 15,492.4 M² (16.61 HA)
BUILDING AREA : 6,088.5 M²
BUILDING SITE COVERAGE : 39.3%
PARKING STALLS : 81
BARRIER FREE STALLS : 4
BICYCLE PARKING STALLS : NOT REQ'D

PROJECT DESCRIPTION

SITE UPGRADES:

- REPLACEMENT OF CONCRETE SIDEWALK ALONG FRONT & EAST SIDE OF BUILDING
- REPLACEMENT OF CURBS WHERE REQ'D
- PARKING STALL LAYOUT & REPAINTING

BUILDING EXTERIOR UPGRADES:

- BUILDING EXTERIOR REPAINTED
- REPLACEMENT OF 4 EXTERIOR DOOR CANOPIES
- REPLACEMENT OF EXTERIOR LIGHTS
- SIGN BOXES FOR EXISTING TENANT SIGNAGE
- NEW UNIT NUMBERS
- NEW BUILDING NUMBERS

SITE PLAN LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
[Hatched Box]	EXISTING BUILDING
[Dotted Box]	EXISTING ASPHALT : TO REMAIN
[Stippled Box]	PROPOSED CONCRETE
[Dotted Box]	EXISTING LANDSCAPED / GRASS AREA : TO REMAIN
[Hatched Box]	PROPOSED 10 M ² OUTDOOR EMPLOYEE AREA
-X-X-	EXISTING CHAIN LINK FENCE / GATE : TO REMAIN
-P-P-	EXISTING OVERHEAD POWER LINE
-SS-SS-	EXISTING SANITARY SEWER LINE
-S-S-	EXISTING STORM SEWER LINE
-W-W-	EXISTING WATERLINE
[Circle with X]	EXISTING WOOD POWER POLE
[Circle with X]	EXISTING WOOD POWER POLE W/ STREET LIGHT
[Star]	EXISTING FIRE HYDRANT
[Circle with X]	EXISTING CATCH BASIN
[Square with X]	PROPOSED BARRIER FREE SIGN

LANDSCAPE DETAILS

EXISTING LANDSCAPE AREAS

- FRONT & EAST SIDE SETBACK LANDSCAPE AREA : 909.5 M²
- TOTAL SITE LANDSCAPE AREA : 1,155.3 M²
- PERCENTAGE OF SITE LANDSCAPE AREA : 1.5%

- EXISTING GRASS & TREES IN ALL LANDSCAPE AREAS
- NO CHANGES TO LANDSCAPED AREA

PLANTING AREAS

- EXISTING CONIFEROUS TREES : 14 EXISTING
- APPROX. 10 M HIGH

- EXISTING DECIDUOUS TREES : 22 EXISTING
- APPROX. 1 M HIGH

- EXISTING PUBLIC TREE : PICEA GLAUCA
- 31 CM TRUNK DIAMETER
- APPROX. 10 M HIGH
- TREE ID # T-32404962

SHEET LIST

SHEET NO.	SHEET NAME
A1.0	SITE PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS & VIEWS

SITE KEYNOTES

81	EXISTING CONCRETE RETAINING WALL : TO REMAIN
82	EXISTING CHAINLINK FENCE : TO REMAIN
83	EXISTING CHAINLINK GATE : TO REMAIN
84	EXISTING BUILDING MONUMENT SIGN : TO REMAIN
85	EXISTING UTILITY BOX
86	EXISTING GARBAGE/ RECYCLE BIN
87	PROPOSED CONCRETE CURB : TO BE REPLACED
88	PROPOSED 2.0 M WIDE CONCRETE SIDEWALK
89	PROPOSED 1.2 M WIDE CONCRETE SIDEWALK
90	PROPOSED PARKING LINES PAINTED ON ASPHALT PAVEMENT : YELLOW
91	PROPOSED 2.4 M WIDE B.F. ACCESS AISLE: PAINTED ON ASPHALT PAVEMENT : YELLOW
92	PROPOSED B.F. SYMBOL OF ACCESS PARKING SYMBOL PAINTED ON ASPHALT PAVEMENT : YELLOW
93	PROPOSED "PERMIT REQUIRED" B.F. PARKING SIGN (5'-6" TO CENTER OF SIGN)



403.542.7573 CALGARY, AB T3H 4Y6

NOTES:
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CONSULTANTS:

SEALS:

ISSUED FOR:

DEVELOPMENT PERMIT 11-MAY-26

REV DESCRIPTION DATE

PROJECT:

NORCAL GROUP

EXTERIOR ALTERATION

PROJECT LEGAL:

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LOT 15, BLOCK 4, PLAN 1113735

BUILDING INFORMATION:

DEVELOPMENT PERMIT NUMBER:

BUILDING PERMIT NUMBER:

DRAWING TITLE:

SITE PLAN

DRAWN BY:

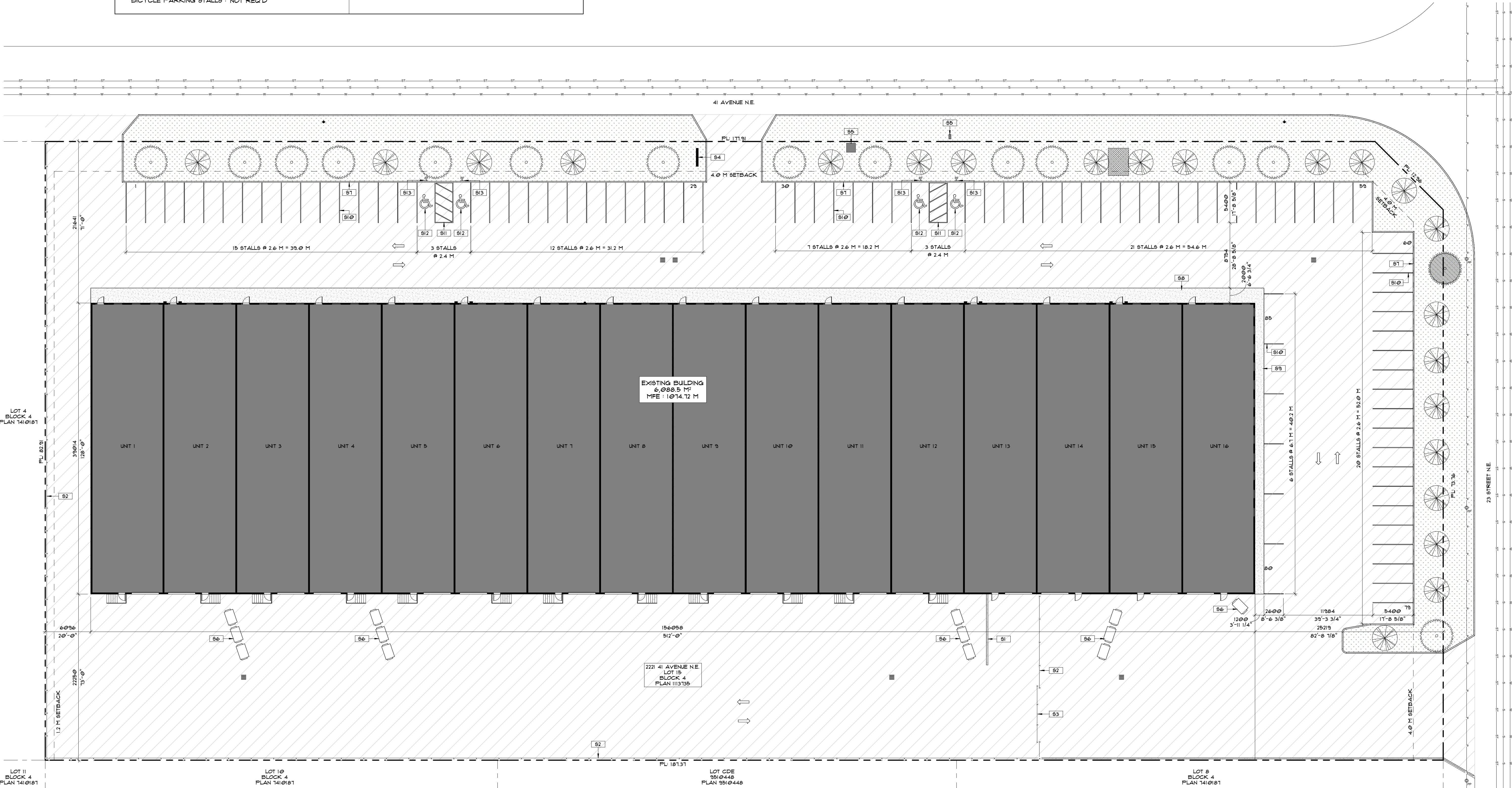
N.M.

CURRENT SHEET

REVISION DATE:

SHEET NO:

A1.0



1 SITE PLAN
A1.0 1:250



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[illegible]

REV	DESCRIPTION	DATE
REVISION SCHEDULE		

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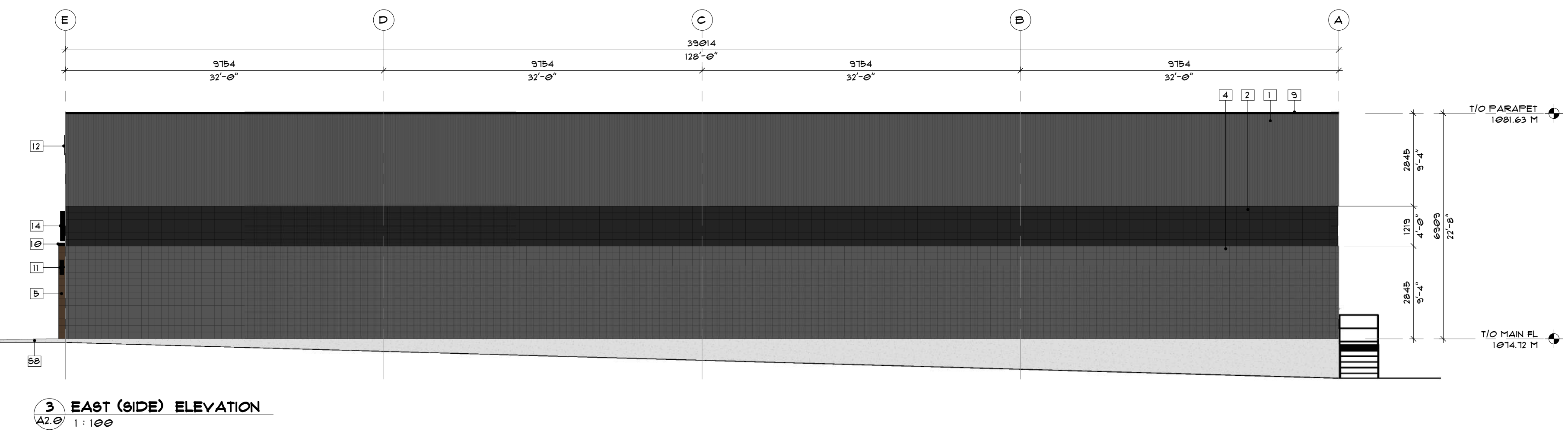
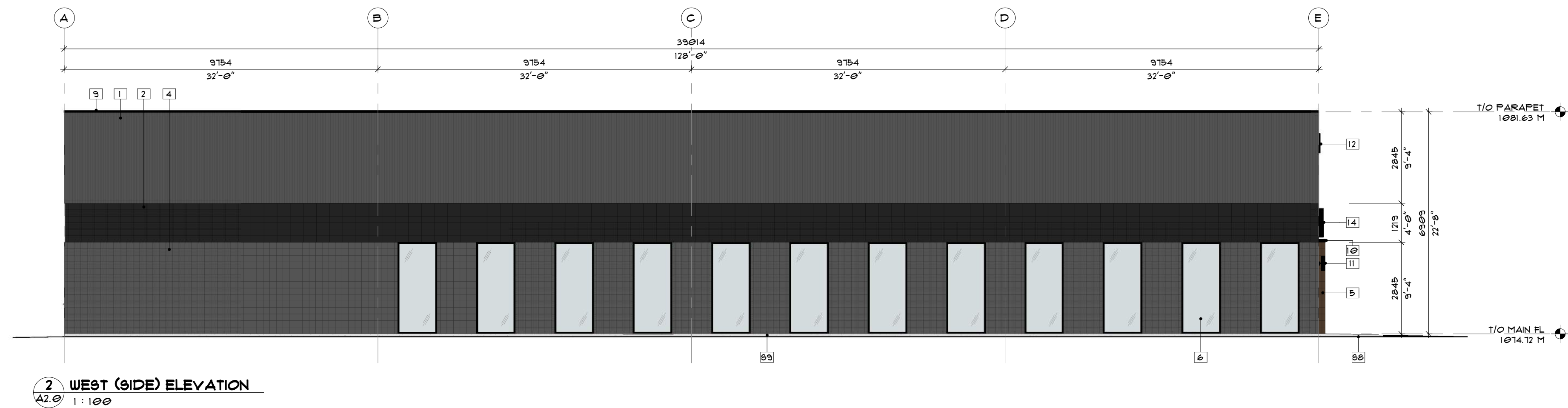
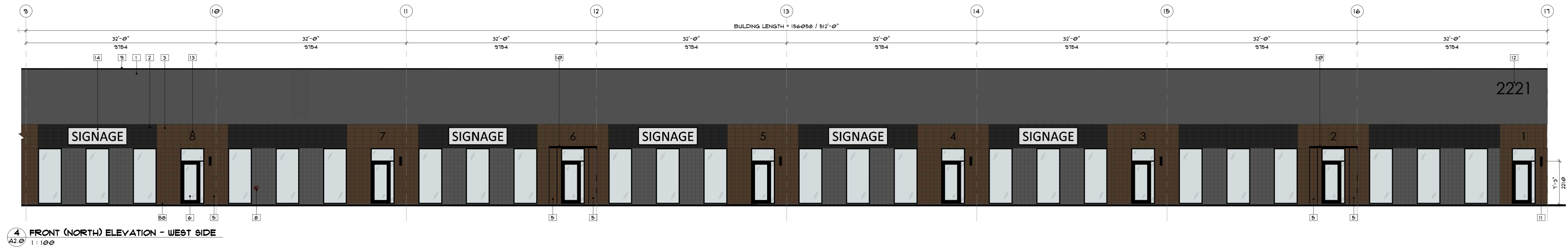
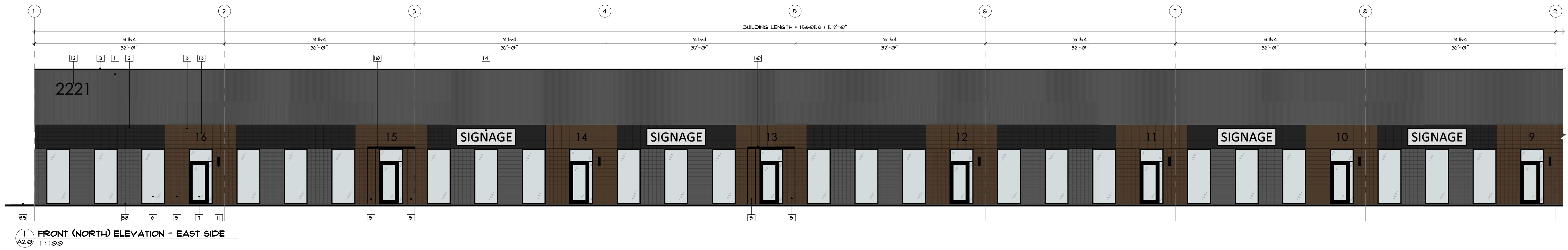
BUILDING PERMIT NUMBER:

DRAWING TITLE:

EXTERIOR ELEVATIONS

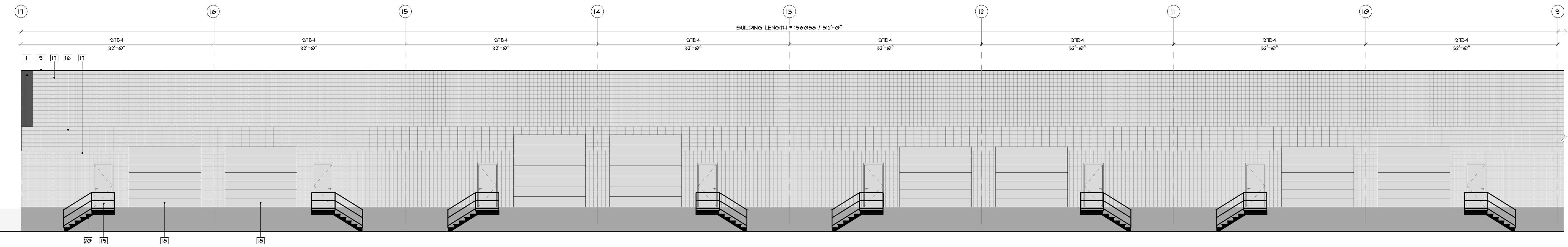
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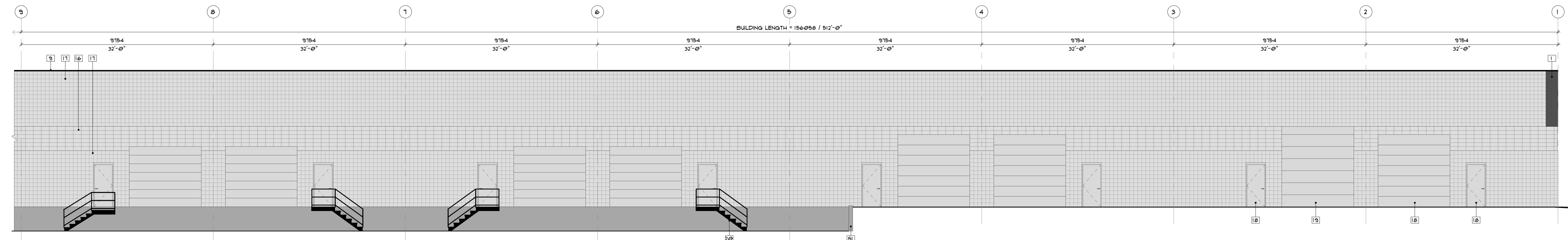
A2. $\emptyset$ 

EXTERIOR FINISH LEGEND

1	EXISTING FLUTED CONCRETE PANELS : TO BE PAINTED: COLOUR: GREY
2	EXISTING 8 X 16 CONCRETE BLOCK : TO BE PAINTED: COLOUR: BLACK
3	EXISTING 8 X 16 CONCRETE BLOCK : TO BE PAINTED: COLOUR: BROWN
4	EXISTING 8 X 8 CONCRETE BLOCK : TO BE PAINTED: COLOUR: GREY
5	EXISTING 8 X 8 CONCRETE BLOCK : TO BE PAINTED: COLOUR: BROWN
6	EXISTING 4' X 5'-4" WINDOW W/ BLACK ANODIZED ALUMINUM FRAME : TO REMAIN
7	EXISTING 3' X 1' ALUMINUM STOREFRONT SINGLE DOOR, SIDELET & TRANSOM W/ BLACK ANODIZED ALUMINUM FRAME : TO REMAIN
8	EXISTING QUARTER FIRE DEPARTMENT CONNECTION
9	PROPOSED PRE-FINISHED METAL PARAPET COPING : BLACK
10	PROPOSED METAL WALL CAP / EYEBROW CANOPY W/ LED DOWNLIGHT: COLOUR: BLACK
11	PROPOSED WALL MOUNTED EXTERIOR LIGHT FIXTURE : BLACK
12	PROPOSED 30 CHANNEL LETTER BUILDING NUMBER SIGN: COLOUR: BLACK
13	PROPOSED 30 CHANNEL LETTER UNIT NUMBER SIGN: COLOUR: BLACK
14	PROPOSED TENANT FASCIA SIGN LOCATION: 3' X 10' SIGN BOX
58	PROPOSED 2 Ø M WIDE CONCRETE SIDEWALK
59	PROPOSED 1.2 M WIDE CONCRETE SIDEWALK



4 NORTH (REAR) ELEVATION - EAST SIDE
A2.1 1:100



5 NORTH (REAR) ELEVATION - WEST SIDE
A2.1 1:100

EXTERIOR FINISH LEGEND	
1	EXISTING FLUTED CONCRETE PANELS : TO BE PAINTED: COLOUR: GREY
9	PROPOSED PRE-FINISHED METAL PARAPET COPING : BLACK
16	EXISTING 8 X 16 CONCRETE BLOCK : TO REMAIN: COLOUR: WHITE
17	EXISTING 8 X 8 CONCRETE BLOCK : TO REMAIN: COLOUR: WHITE
18	EXISTING OVERHEAD DOOR: COLOUR: TO REMAIN: COLOUR: WHITE
19	EXISTING METAL INSULATED 9' X 11' MAN DOOR: TO REMAIN: COLOUR: WHITE
20	EXISTING METAL STEPS: TO REMAIN: COLOUR: BLACK
91	EXISTING CONCRETE RETAINING WALL : TO REMAIN
99	PROPOSED 1.2 M WIDE CONCRETE SIDEWALK



EXISTING EAST (SIDE) & NORTH (FRONT) OF BUILDING



EXISTING NORTH (FRONT) OF BUILDING



EXISTING NORTH (FRONT) & WEST (SIDE) OF BUILDING



EXISTING SOUTH (REAR) OF BUILDING : NO CHANGES



PROPOSED EAST (SIDE) & NORTH (FRONT) OF BUILDING



PROPOSED NORTH (FRONT) OF BUILDING



PROPOSED NORTH (FRONT) & WEST (SIDE) OF BUILDING



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