

HARVEST HILLS COMMERCIAL

OWNER
QUALICO
PROPERTIES

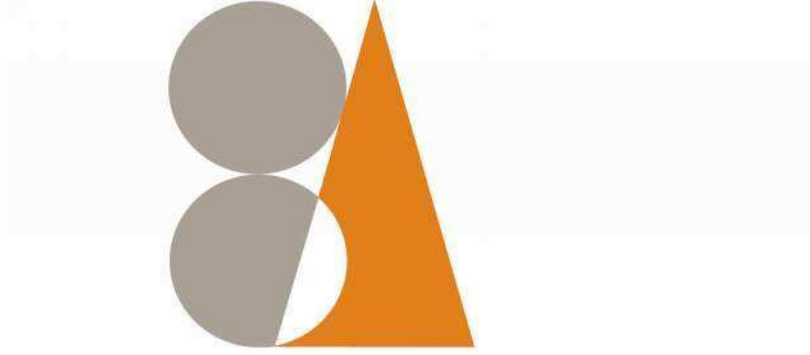
STRUCTURAL



CIVIL



MECHANICAL



Smith + Andersen

ELECTRICAL



LANDSCAPE



ARCHITECTURAL



GGA-ARCHITECTURE
350 140 10 Avenue SE Calgary, AB. T2G 0R1
Phone: 403.233.2000 Fax: 403.264.2077

PROJECT NAME: HARVEST HILLS COMMERCIAL DEVELOPMENT PERMIT:

PROJECT ADDRESS: 333 96 Ave NE Calgary, Alberta PROJECT NUMBER: 23066

ISSUED FOR: DEVELOPMENT PERMIT

2026-05-15

HARVEST HILLS COMMERCIAL DISTRICT

PROJECT OVERVIEW

SITUATED WITHIN THE HARVEST HILLS COMMUNITY IN NORTHEAST CALGARY, THIS DEVELOPMENT EXPANDS QUALICO'S OFFICE PARK AND COMMERCIAL CENTRE TO ENRICH RETAIL AND DAYCARE OPPORTUNITIES FOR LOCAL RESIDENTS AND THE SURROUNDING NEIGHBORHOOD. THE EXISTING OFFICE PARK INCLUDES TWO FULLY LEASED OFFICE BUILDNGS AND TWO COMMERCIAL RETAIL BUILDNGS. THIS PROJECT EXPANDS THE EXISTING DEVELOPMENT TO THE EAST AND WILL INCLUDE OVER 7,600 SQM OF NEW RETAIL SPACE INCLUDING A GROCERY STORE, PHARMACY, GENERAL RETAIL, QUICK SERVICE RESTAURANTS (QSR), AND CHILD CARE. THE DEVELOPMENT WILL ENHANCE THE ECONOMIC LANDSCAPE AND INJECT NEW VITALITY INTO THE COMMUNITY.

SITE ACCESS AND ORGANIZATION

FRONTING 96 AVENUE NE, A SIGNIFICANT EAST WEST CONNECTOR ROUTE, THE SITE IS ACCESSIBLE VIA TWO LOCAL ROADS: HARVEST ROSE PARK AND AURORA PARK LINK WHICH ARE CONNECTED INTERNALLY TO PROVIDE EXCELLENT PUBLIC ACCESS TO THE OVERALL DEVELOPMENT AND ALSO TO THE EXISTING HOTEL ON A SEPARATE PROPERTY SE OF THE SITE AND THE RELIGIOUS INSTITUTION EAST OF THE SITE. AT THE SOUTH BOUNDARY OF THE SITE, SOUTH ROAD NE (S ROAD), SERVES TO PROVIDE SAFE AND EFFICIENT ACCESS TO BELOW GRADE PARKING FOR THE EXISTING OFFICE BUILDNGS AND TO LOADING FOR THE NEW PHARMACY AND GROCERY STORE. THE SITE IS ORGANIZED WITH THE LARGER FORMAT GROCERY AND PHARMACY BUILDINGS ANCOHORING THE SOUTH SIDE OF THE SITE INLINE WITH THE EXISTING OFFICE BUILDNGS AND HOTEL ON THE NEIGHBOURING SITES.

IMAGE

THE AESTHETIC OF THE EXISTING OFFICE PARK AND SUPPORTING RETAIL BUILDINGS TO THE WEST ARE CHARACTERIZED WITH A CONTEMPORARY EXPRESSION, BOLD COMPREHENSIBLE MASSING AND NEUTRAL MATERIAL PALLET. THE NEW DEVELOPMENT EXTENDS THE CAMPUS-WIDE AESTHETIC, EVOLVING THE FORM AND PALLETT TO CREATE A COHESIVE OVERALL IMAGE. THE GROCERY AND PHARMACY BUILDINGS EXPRESS TENANT BRANDING WHILE UTILIZING STRONG LINEAR GEOMETRIES TO ESTABLISH A SENSE OF PRESENCE, TO PROVIDE A VIBRANT RHYTHM ACROSS THE ENTIRE SITE.

ARCHITECTURE & MATERIALITY

TWO NATIONWIDE ANCHOR TENANTS WITH STRONG BRAND IDENTITIES WILL OCCUPY LANDMARK BUILDINGS, SERVE AS A PRIMARY DRAW FOR VISITORS. THE THREE BUILDINGS ON THE NORTH SIDE EMPLOY A MORE RESTRAINED DESIGN TO AVOID VISUAL CLUTTER WHILE ENSURING AN ORGANIC VISUAL CONNECTION WITH THE WESTERN OFFICE CAMPUS. THE FAÇADE TREATMENTS UTILIZE LAYERING TECHNIQUES TO IMPART CHARACTER, WITH NEUTRAL-TONED EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) AS THE PRIMARY MATERIAL TO MAINTAIN CONSISTENCY WITH THE EXISTING BUILDINGS. ARCHITECTURAL INTEREST IS ENHANCED THROUGH A CAREFUL BALANCE OF STACKING, LAYERING, AND USE OF CANOPIES.

MOBILITY & ACCESSIBILITY

WITH A FOCUS ON INCLUSIVITY AND CONVENIENCE, THE PROJECT ACKNOWLEDGES ACCESSIBILITY FOR PEDESTRIANS, CYCLISTS, AND VEHICLES. VEHICULAR ACCESS FROM THE HIGH-TRAFFIC 96 AVE IS STRATEGICALLY POSITIONED AT THE WESTERN AND EASTERN BOUNDARIES TO MAXIMIZE NAVIGATION EASE AND ENSURE AMPLE PARKING. DESPITE SIGNIFICANT GRADE CHANGES ACROSS THE SITE, A CREATIVE LEVELING STRATEGY ENSURES UNINTERRUPTED, BARRIER-FREE PEDESTRIAN FLOW FROM THE NORTHERN BUS STOP, WESTERN OFFICE PARK, AND EASTERN AMENITIES. SERVICE AND LOADING FOR THE LARGE FORMAT RETAIL UTILIZES SOUTH ROAD NE TO EFFICIENTLY SEGREGATE SERVICE TRAFFIC FROM CUSTOMER VEHICLES AND PEDESTRIANS, AND ENSURE SAFE AND STREAMLINED LOGISTICS.

CONTEXT PLAN

N.T.S.



PROJECT STATISTICS

LAND USE BYLAW REGULATION

LEGAL DESCRIPTION	UNIT 3-4, CONDOMINIUM PLAN 101 4523 WITHIN S.W. 1/4 SEC. 22, TWP. 25, RGE. 1 W. 5 M.
LAND USE	C-C2 f0.5 h13
MUNICIPAL ADDRESS	333 96 AVE NE
LAND USE REQUIREMENTS	
- MAXIMUM BUILDING HEIGHT	13.0m
- MAXIMUM F.A.R.	0.5
- SETBACKS	FRONT 6M

SITE ANALYSIS

PROPOSED DEVELOPMENT BOUNDARY AREA	±28,826 S.M. / 2.88 HA
TOTAL BUILDING GROSS FLOOR AREA	±7,682 S.M. / ±82,689 S.F.
TOTAL FLOOR AREA RATIO	0.266
TOTAL BUILDING FOOTPRINT	±6,664 S.M./ ±71,734 S.F.
TOTAL SITE COVERAGE	23.1%

PARKING ANALYSIS

PROVIDED PARKING STALLS	317 STALLS (4.13/100 S.M. OR 3.83/1000 S.F.)
REQUIRED ACCESSIBLE STALLS	7 STALLS
PROVIDED ACCESSIBLE STALLS	16 STALLS
REQUIRED LOADING STALLS	5 STALLS
PROVIDED LOADING STALLS	5 STALLS
REQUIRED BICYCLE STALLS	16 STALLS
PROVIDED BICYCLE STALLS	16 STALLS

BUILDING ANALYSIS

BUILDING A - 1 STOREY	
USE:	SUPERMARKET
GROSS FLOOR AREA	±2,634 S.M. OR ±28,350 S.F.
GROSS LEASABLE AREA	±2,634 S.M. OR ±28,350 S.F.
BUILDING B - 1 STOREY	
USE:	RETAIL AND CONSUMER SERVICE
GROSS FLOOR AREA	±1,570 S.M. OR ±16,901 S.F.
GROSS LEASABLE AREA	±1,570 S.M. OR ±16,901 S.F.
BUILDING C - 1 STOREY	
USES:	RESTAURANT; FOOD SERVICE ONLY, RETAIL AND CONSUMER SERVICE
UNIT C1	±123 S.M. OR ±1,319 S.F.
UNIT C2	±344 S.M. OR ±3,698 S.F.
COMMON AREA	±18 S.M. OR ±197 S.F.
GROSS FLOOR AREA	±484 S.M. OR ±5,215 S.F.
GROSS LEASABLE AREA	±466 S.M. OR ±5,018 S.F.
BUILDING D - 1 STOREY	
USES:	RESTAURANT; FOOD SERVICE ONLY, RETAIL AND CONSUMER SERVICE
UNIT D1	±221 S.M. OR ±2,374 S.F.
UNIT D2	±99 S.M. OR ±1,069 S.F.
UNIT D3	±95 S.M. OR ±1,022 S.F.
UNIT D4	±95 S.M. OR ±1,022 S.F.
UNIT D5	±100 S.M. OR ±1,071 S.F.
UNIT D6	±100 S.M. OR ±1,071 S.F.
UNIT D7	±99 S.M. OR ±1,070 S.F.
UNIT D8	±105 S.M. OR ±1,125 S.F.
COMMON AREA	±19 S.M. OR ±202 S.F.
GROSS FLOOR AREA	±932 S.M. OR ±10,028 S.F.
GROSS LEASABLE AREA	±913 S.M. OR ±9,826 S.F.
BUILDING E - 2 STOREYS	
USES:	CHILD CARE SERVICE, RETAIL AND CONSUMER SERVICE
UNIT E1	±940 S.M. OR ±10,123 S.F.
UNIT E2	±979 S.M. OR ±10,537 S.F.
COMMON AREA	±143 S.M. OR ±1,537 S.F.
GROSS FLOOR AREA	±2,062 S.M. OR ±22,197 S.F.
GROSS LEASABLE AREA	±1,919 S.M. OR ±20,660 S.F.
OUTDOOR PLAYGROUND	±489 S.M. OR ±5,261 S.F.
TOTAL BUILDING GFA	±7,682 S.M. OR ±82,689 S.F.

NOTES:

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DRAWING LIST

ARCHITECTURAL

DP00.00	COVER SHEET
DP10.01	CONTEXT PLAN & PROJECT STATISTICS
DP10.02	OVERALL MASTER PLAN
DP10.03	EXISTING SITE PLAN
DP10.04	PROPOSED SITE PLAN
DP10.05	TRUCK MOVEMENTS
DP10.06	TRUCK MOVEMENTS AND FIREFIGHTING REGULATIONS
DP10.07	PEDESTRIAN CONNECTIVITY
DP10.08	PARKING LAYOUT
DP10.09	PYLON SIGN PLANS AND ELEVATIONS
DP10.10	SITE DETAILS
DP-A20.01	BUILDING A FLOOR PLAN
DP-A20.10	BUILDING A ROOF PLAN
DP-A40.01	BUILDING A ELEVATIONS
DP-B20.01	BUILDING B MAIN FLOOR PLAN
DP-B20.10	BUILDING B ROOF PLAN
DP-B40.01	BUILDING B EXTERIOR ELEVATIONS
DP-B50.01	BUILDING B BUILDING SECTIONS
DP-C20.01	BUILDING C MAIN FLOOR PLAN AND ROOF PLAN
DP-C40.01	BUILDING C EXTERIOR ELEVATIONS AND BUILDING SECTIONS
DP-D20.01	BUILDING D MAIN FLOOR PLAN AND ROOF PLAN
DP-D40.01	BUILDING D EXTERIOR ELEVATIONS AND BUILDING SECTIONS
DP-E20.01	BUILDING E FLOOR PLANS
DP-E20.10	BUILDING E ROOF PLAN
DP-E40.01	BUILDING E ELEVATIONS AND SECTIONS

CIVIL

(1) 151-13 SVC	SITE SERVICING PLAN (NW)
(2) 151-13 SVC	SITE SERVICING PLAN (SW)
(3) 151-13 SVC	SITE SERVICING PLAN (NE)
(4) 151-13 GRAD	SITE GRADING PLAN (NW)
(5) 151-13 GRAD	SITE GRADING PLAN (SW)
(6) 151-13 GRAD	SITE GRADING PLAN (NE)
(7) 151-13 SEC	SECTIONS

ELECTRICAL

E1.00	ELECTRICAL LEGEND, LIGHTING SCHEDULE, AND DETAILS
E1.01	SITE LIGHTING AND POWER PLAN
E1.02	SITE PHOTOMETRY PLAN

LANDSCAPE

DPL1	LANDSCAPE PLAN
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STRUCTURAL

DPS1	GENERAL NOTES, PLANS AND DETAILS
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DEVELOPMENT PERMIT 2026-05-15

No. Description Date (YYYY-MM-DD)

Issued For / Revisions

Project Project Number: 23066

HARVEST HILLS COMMERCIAL

333 96 Ave NE Calgary, Alberta

Legal Description SW 1/4-22-25-1-W5M Building Permit No.

Development Permit No. DSPP No.

350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000

GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title
CONTEXT PLAN & PROJECT STATISTICS

Drawn by: _____ Scale _____

Reviewed by: _____ As indicated

Manager: _____ Date (YYYY-MM-DD)

Peer Review: _____

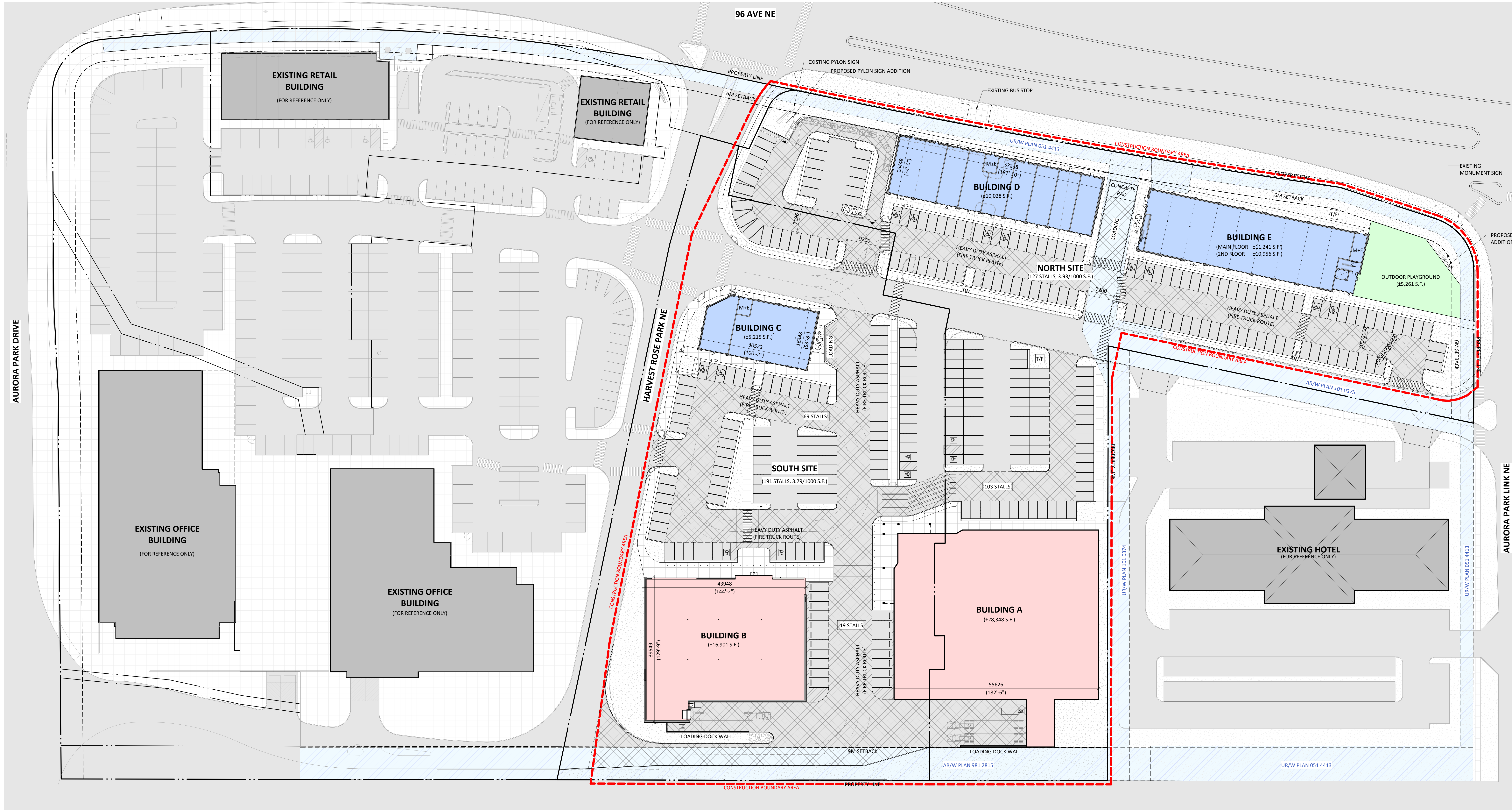
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DP10.01 Revision Number

- NOTES:**
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SITE PLAN LEGEND

- SOFT LANDSCAPED AREA (SOD/PLANTING BED)
- HARD LANDSCAPED AREA (GRAVEL/SLATE CHIPS)
- HARD LANDSCAPED AREA (CONCRETE SIDEWALK)
- LIGHT ASPHALT PAVING
- HEAVY DUTY ASPHALT PAVING (TRUCK AND FIRE ROUTE)
- EASEMENT AND UR/W
- PROPOSED TRANSFORMER
- CONSTRUCTION BOUNDARY AREA



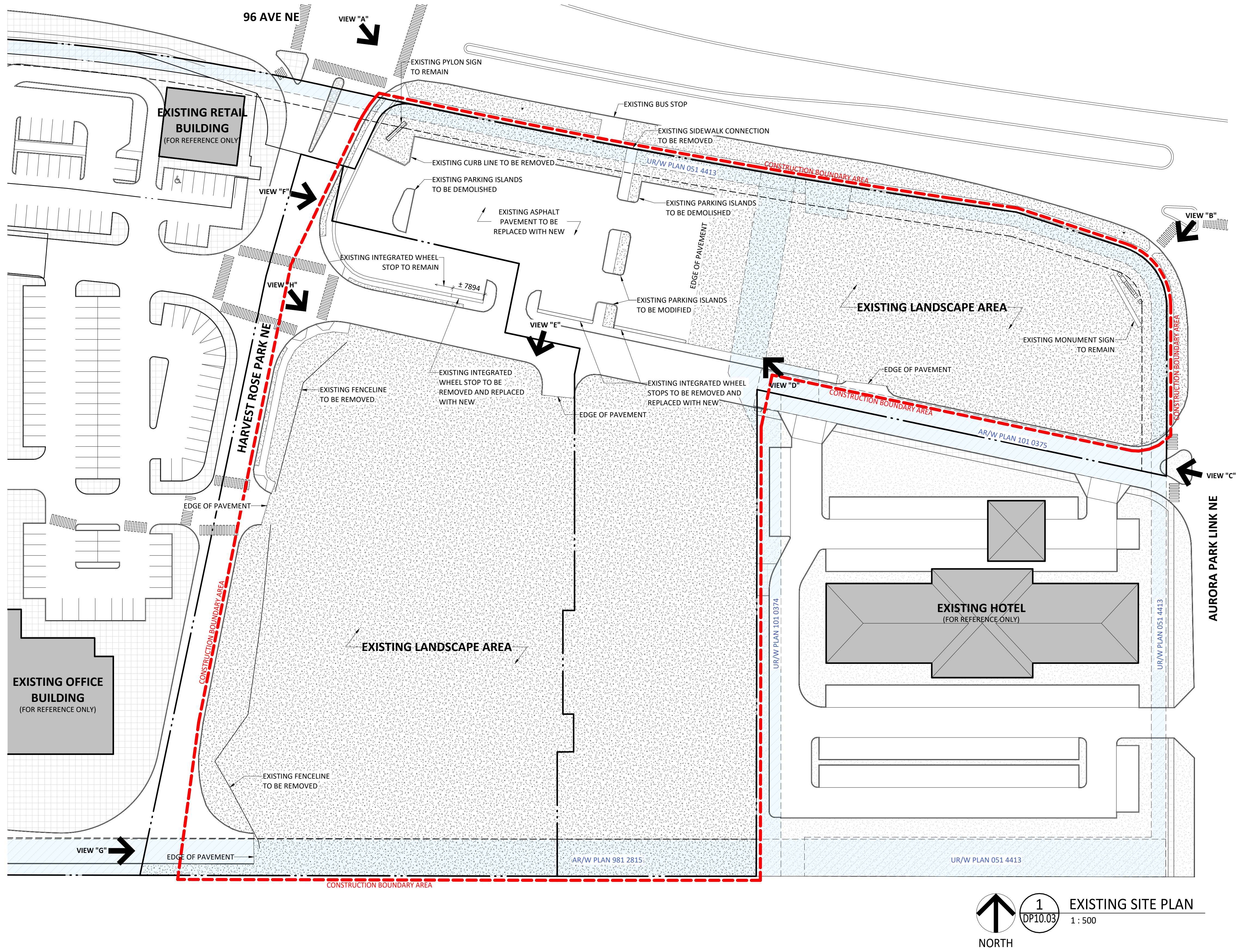
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DP10.02
OVERALL MASTER PLAN
1 : 400

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Project	Project Number: 23066
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350,140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
Fax: 403.264.2077

Drawing Title OVERALL MASTER PLAN	
Drawn by:	Scale
Reviewed by:	As indicated
Manager:	Date (YYYY-MM-DD)
Peer Review:	
Drawing Number	Drawing Package
DP10.02	Revision Number

- NOTES:**
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SITE PHOTOS



VIEW "A"



VIEW "B"



VIEW "C"



VIEW "D"



VIEW "E"



VIEW "F"



VIEW "G"



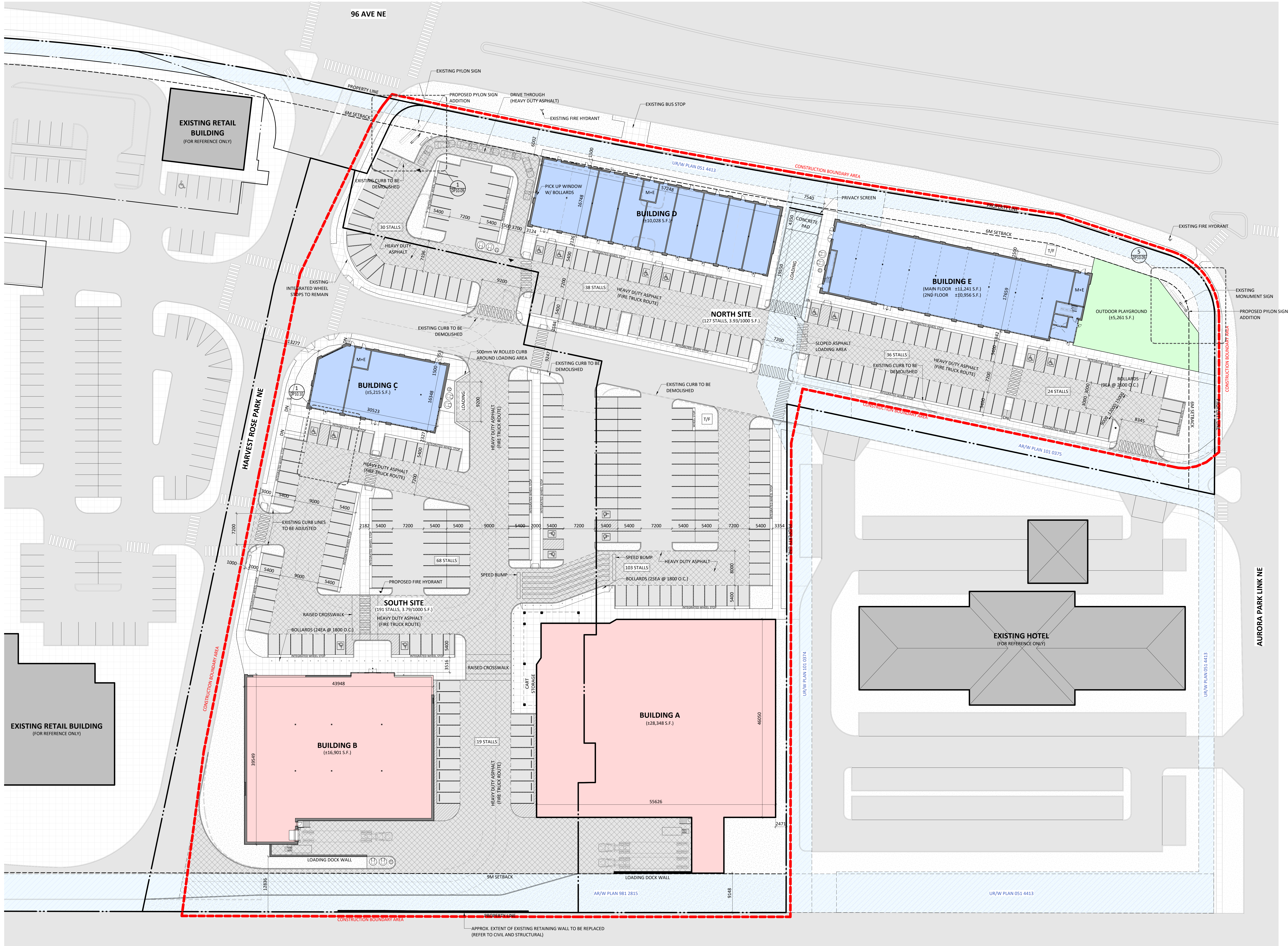
VIEW "H"

DEVELOPMENT PERMIT		2026-05-15	
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Issued For / Revisions			
Project		Project Number: 23066	
HARVEST HILLS COMMERCIAL			
333 96 Ave NE Calgary, Alberta			
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Development Permit No.		DSSP No.	
350,140-10 Ave SE Calgary, Alberta. TZG 0R1 Ph: 403.233.2000		GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title EXISTING SITE PLAN			
Drawn by:		Scale As indicated	
Reviewed by:		Date (YYYY-MM-DD)	
Manager:		Peer Review:	
Drawing Number		Drawing Package	
DP10.03		Revision Number	

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SITE PLAN LEGEND

- SOFT LANDSCAPED AREA (SOD/PLANTING BED)
- HARD LANDSCAPED AREA (GRAVEL/SLATE CHIPS)
- HARD LANDSCAPED AREA (CONCRETE SIDEWALK)
- LIGHT ASPHALT PAVING
- HEAVY DUTY ASPHALT PAVING (TRUCK AND FIRE ROUTE)
- EASEMENT AND UR/W
- PROPOSED TRANSFORMER
- CONSTRUCTION BOUNDARY AREA



NORTH

1 SITE PLAN
DP10.04
1 : 300

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HARVEST HILLS COMMERCIAL	
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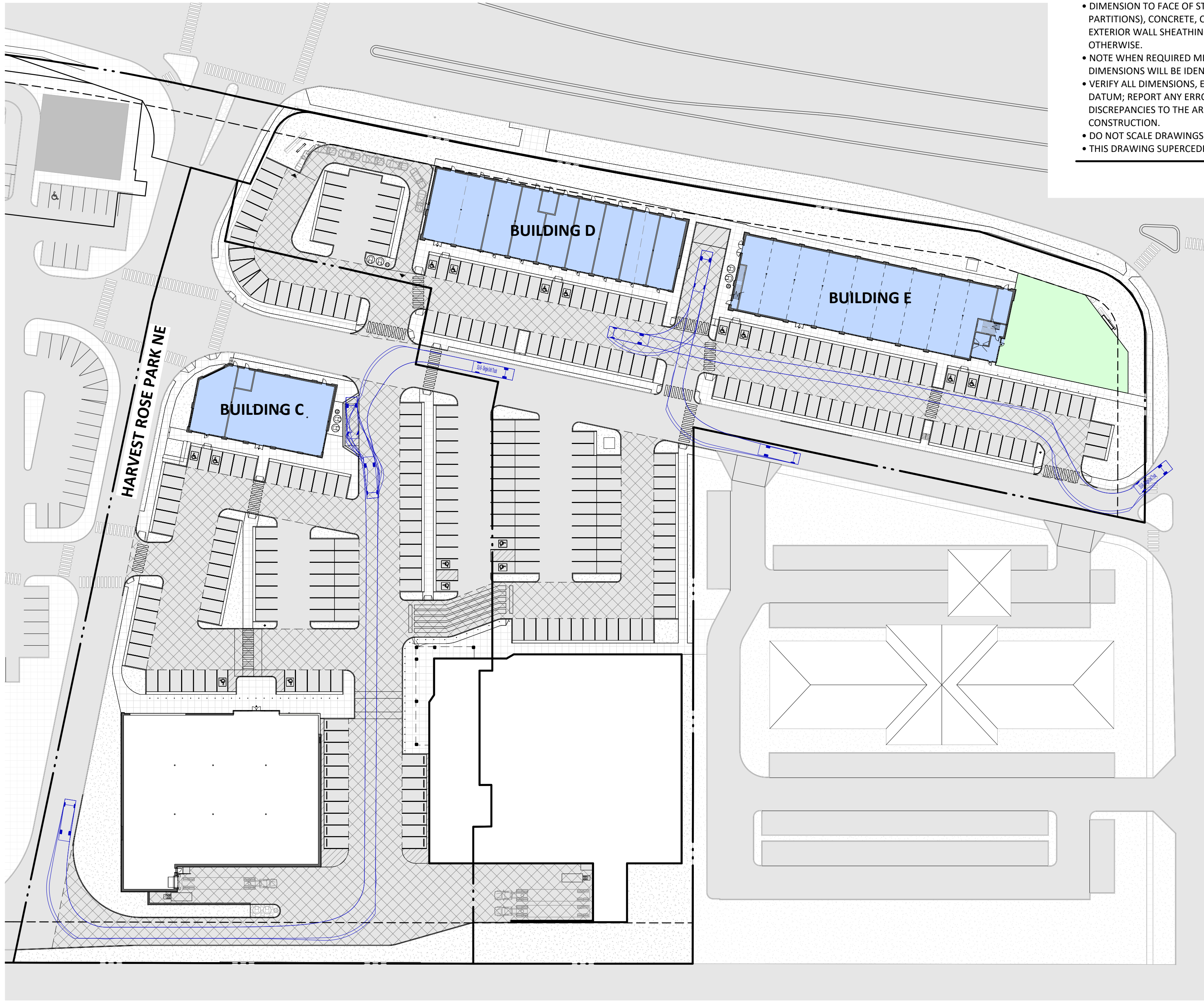
Drawing Title PROPOSED SITE PLAN	
Drawn by: Author	Scale As indicated
Reviewed by:	Date (YYYY-MM-DD)
Manager:	
Peer Review:	
Drawing Number DP10.04	Drawing Package Revision Number



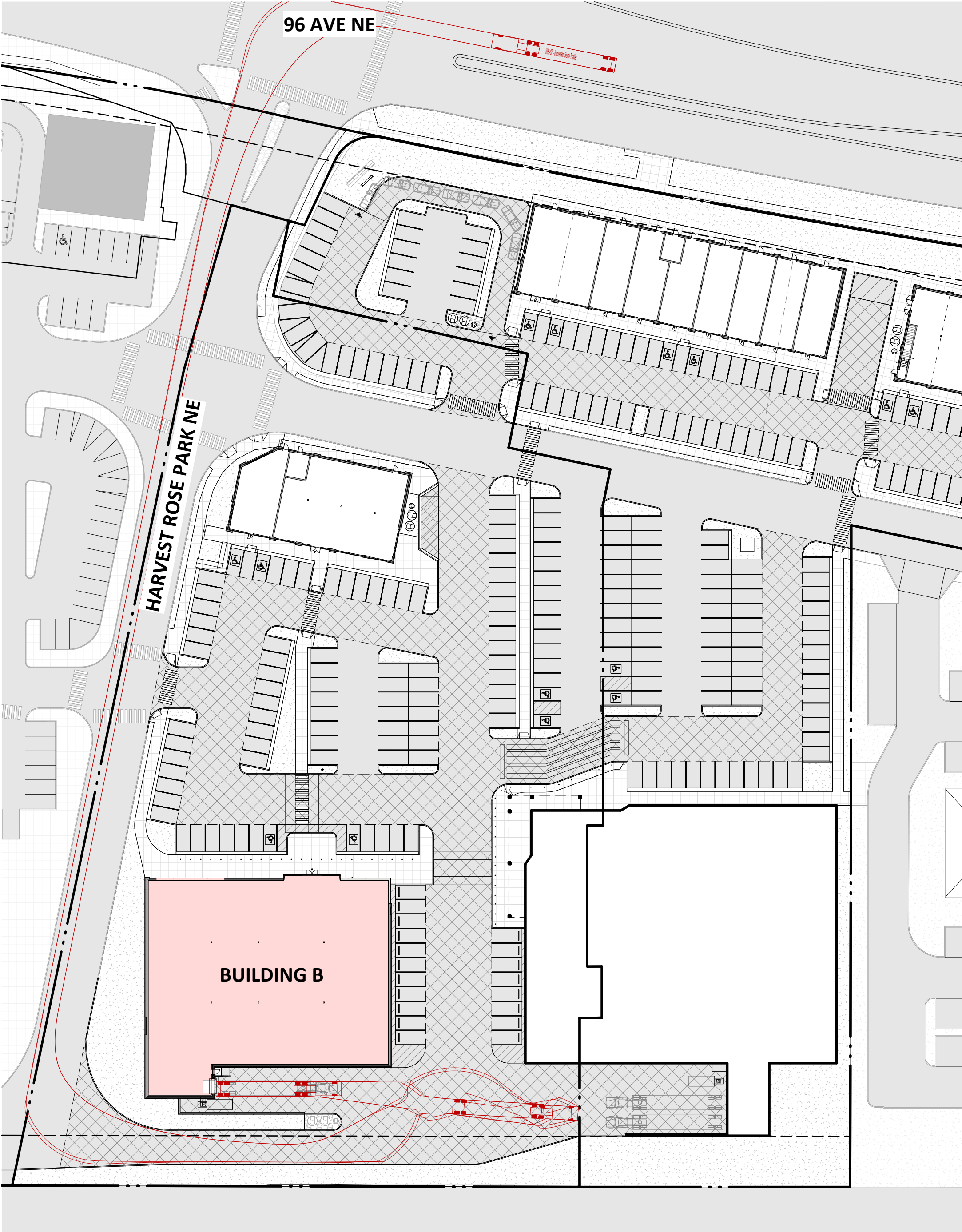
1 TRUCK MOVEMENT - BUILDING A IN
DP10.05 1:600
NORTH



2 TRUCK MOVEMENT - BUILDING A OUT
DP10.05 1:600
NORTH



5 TRUCK MOVEMENT - OTHER BUILDINGS
DP10.05 1:600
NORTH



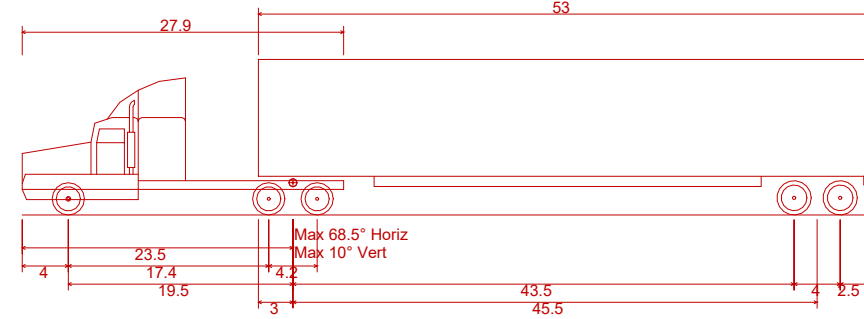
3 TRUCK MOVEMENT - BUILDING B IN
DP10.05 1:600
NORTH



4 TRUCK MOVEMENT - BUILDING B OUT
DP10.05 1:600
NORTH

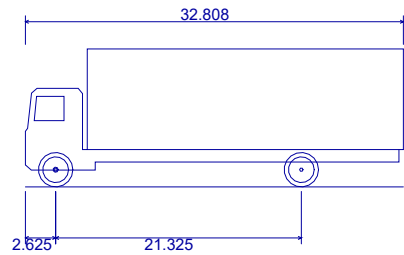
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TRUCK LEGEND



WB-67 - Interstate Semi-Trailer
Overall Length 73.501ft
Overall Width 8.500ft
Overall Body Height 13.500ft
Min Body Ground Clearance 4.334ft
Max Truck Width 8.500ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 28.40°

BUILDING A AND B (WB-67)



MSU - Medium Single Unit Truck
Overall Length 32.808ft
Overall Width 6.530ft
Overall Body Height 11.974ft
Min Body Ground Clearance 4.450ft
Truck Width 6.530ft
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 36.417ft

OTHER BUILDINGS (SU-9)

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350,140-10 Ave SE

Calgary, Alberta.

TZG 0R1 Ph: 403.233.2000

GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title
TRUCK MOVEMENTS

Drawn by: Author Scale

Reviewed by: As indicated

Manager: Date (YYYY-MM-DD)

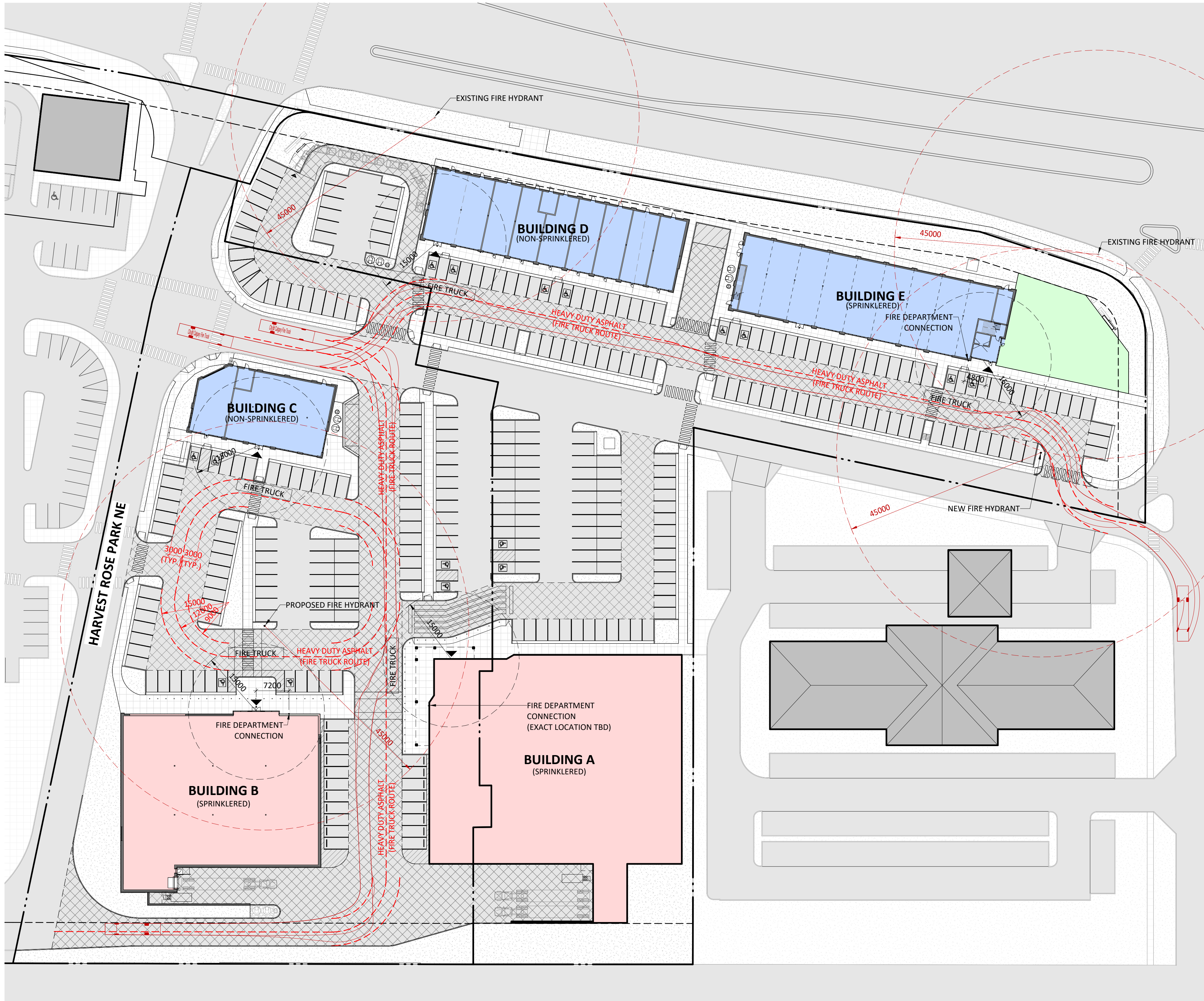
Peer Review:

Drawing Number Drawing Package

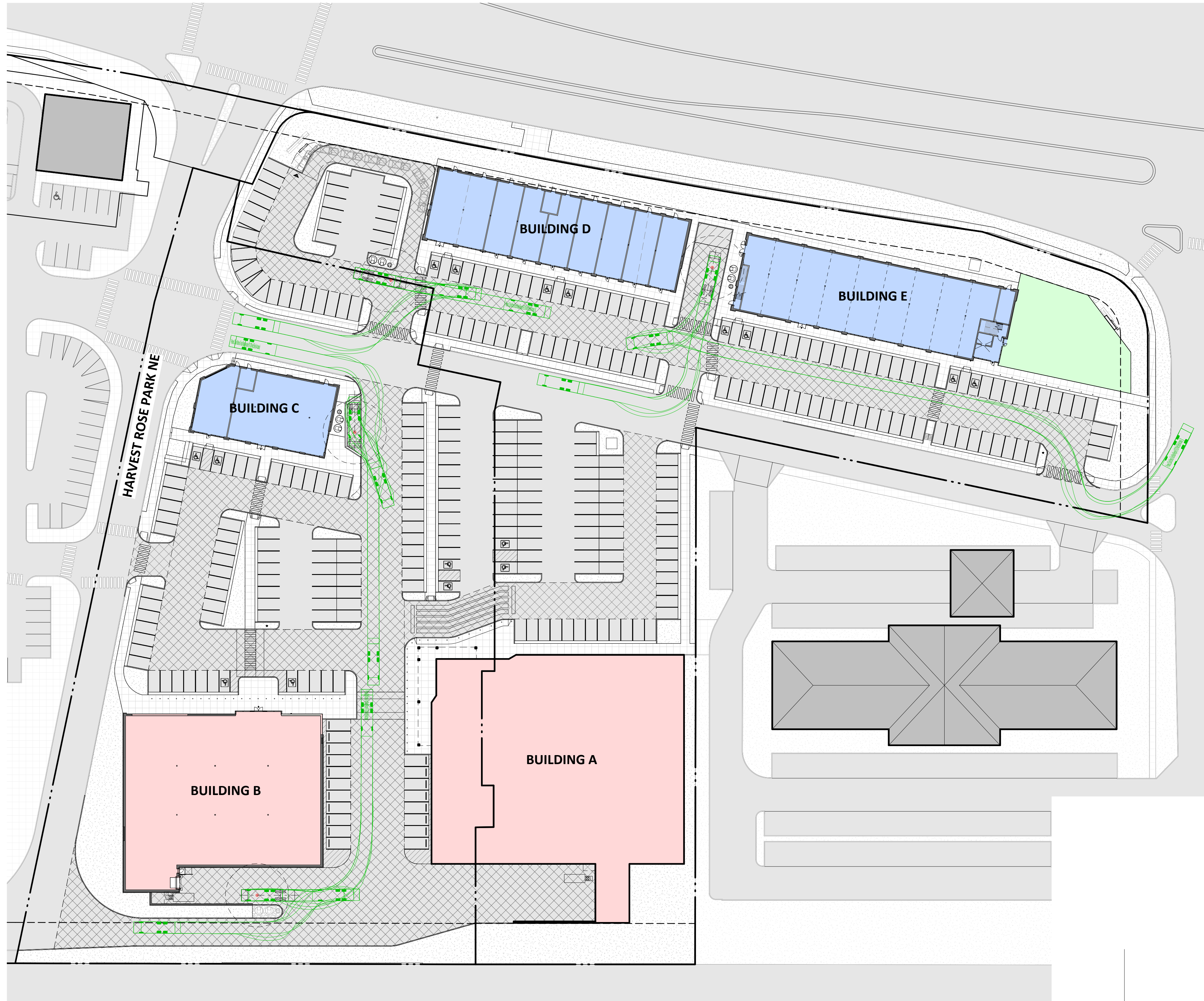
DP10.05 Revision Number

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1 TRUCK MOVEMENT - FIRE TRUCK
1 : 500



2 TRUCK MOVEMENT - WASTE COLLECTION
1 : 500

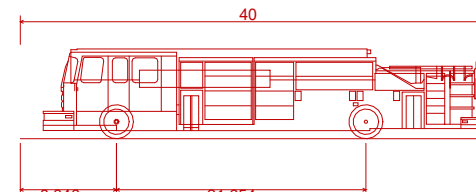
FIRE DEPARTMENT ACCESS & FIREFIGHTING PROVISIONS

1. SPRINKLERED BUILDINGS (BUILDINGS A, B, E)
 - Location of FDC: The Fire Department Connection (FDC) shall be located not less than 3 m and not more than 15 m from the principal entrance. [NBC(AE) 3.2.5.15.(3)]
 - Location of Access Route: The closest portion of the fire access route shall be located not less than 3 m and not more than 15 m from the principal entrance. [NBC(AE) 3.2.5.5.(1)]
 - FDC to Hydrant Distance: The unobstructed path of travel from the FDC to a fire hydrant shall not exceed 45 m. [NBC(AE) 3.2.5.15.(2)]
2. NON-SPRINKLERED BUILDING (BUILDING C, D)
 - Fire Truck Parking & Travel Distance: The fire truck parking location on the access route shall be arranged so that the unobstructed path of travel from the vehicle to the principal entrance is not more than 45 m. [NBC(AE) 3.2.5.5.(2)(c) & (3)]
 - Total Hydrant Coverage: The length of the access route from a hydrant to the parked vehicle plus the unobstructed path of travel for the firefighter from the vehicle to the principal entrance shall not exceed 90 m. [NBC(AE) 3.2.5.5.(2)(b) & (3)]
3. ACCESS ROUTE DIMENSIONS
 - The fire access route shall have a minimum clear width of 6 m and a minimum centre-line turning radius of 12 m. [NBC(AE) 3.2.5.6.(1)]

FIRE TRUCK DIAGRAM LEGEND

- HEAVY DUTY ASPHALT PAVING (TRUCK AND FIRE ROUTE)
- FIRE TRUCK ACCESS ROUTE
- 15M RADIUS FROM PRIMARY ENTRANCE
- 45M RADIUS FROM EXISTING/PROPOSED FIRE HYDRANT
- PRIMARY ENTRANCE

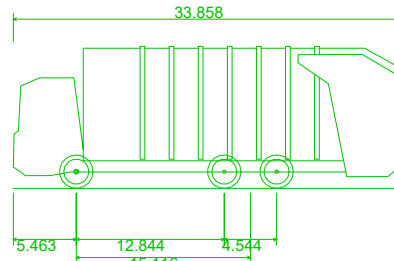
SERVICE TRUCK LEGEND



City of Calgary Fire Truck

Overall Length	40.00ft
Overall Width	9.16ft
Overall Body Height	7.73ft
Min Body Ground Clearance	0.70ft
Track Width	8.43ft
Lock-to-lock time	6.09s
Curb to Curb Turning Radius	38.39ft

CITY OF CALGARY FIRE TRUCK



City of Calgary Waste Collection Vehicle

Overall Length	33.85ft
Overall Width	6.90ft
Overall Body Height	12.32ft
Min Body Ground Clearance	1.01ft
Track Width	8.30ft
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	31.00ft

WASTE COLLECTION VEHICLE

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Drawing Title
TRUCK MOVEMENTS AND FIREFIGHTING REGULATIONS

Drawn by: Author Scale

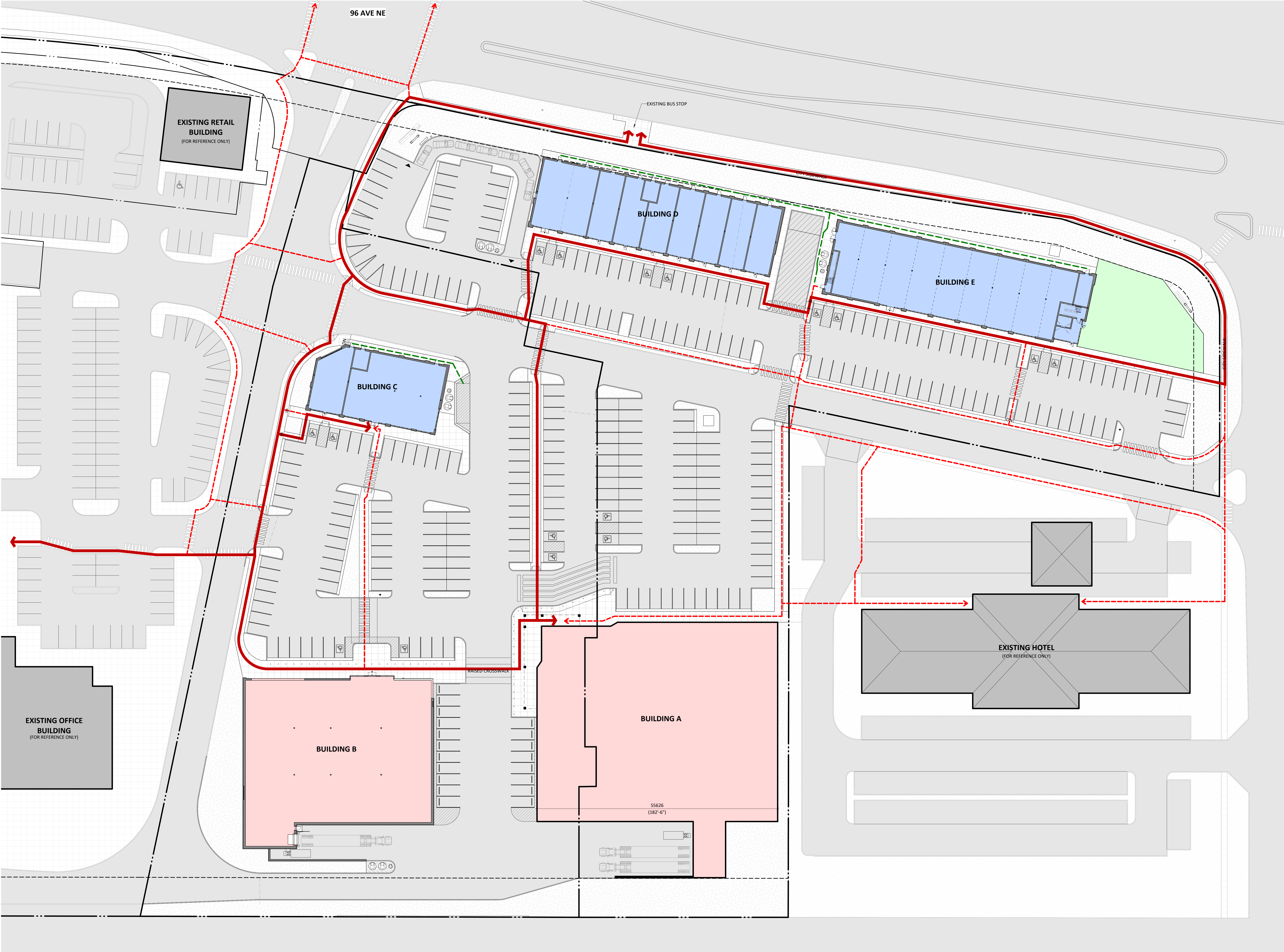
Reviewed by: As indicated

Manager: Date (YYYY-MM-DD)

Peer Review:

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DP10.06 Revision Number



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 - DO NOT SCALE DRAWINGS.
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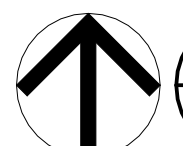
PEDESTRIAN CONNECTIVITY

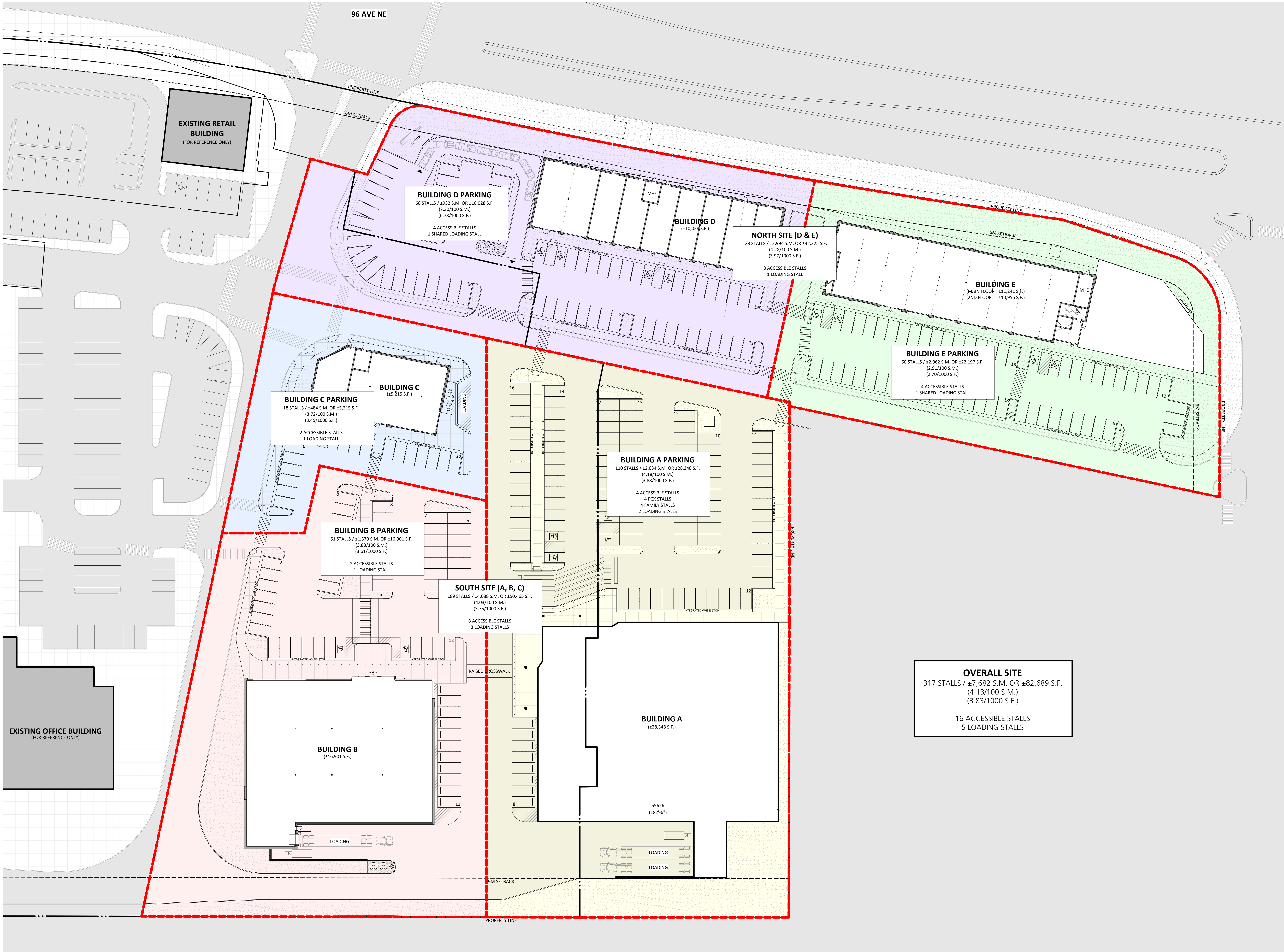
- ← PEDESTRIAN ROUTE - PRIMARY (BARRIER FREE)
- ← PEDESTRIAN ROUTE - SECONDARY
- ← LOADING/SERVICE ROUTE

DEVELOPMENT PERMIT		2026-05-15
No.	Description	Date (YYYY-MM-DD)
Issued For / Revisions 		
Project	Project Number: 23066	
HARVEST HILLS		
COMMERCIAL		
333 96 Ave NE Calgary, Alberta		
Legal Description	Building Permit No.	
SW 1/4-22-25-1-W5M		
Development Permit No.	DSSP No.	

350,140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title PEDESTRIAN CONNECTIVITY	
Drawn by: Author	Scale As indicated
Reviewed by:	Date (YYYY-MM-DD)
Manager:	
Peer Review:	
Drawing Number DP10.07	Drawing Package Revision Number

 **1**
DP10.07 **PEDESTRIAN CONNECTIVITY**
1 : 300



NOTES:

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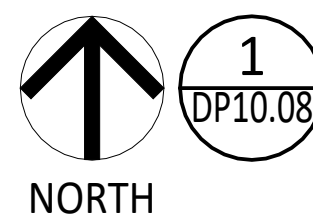
DEVELOPMENT PERMIT	2026-05-15
No. / Description	Date (YYYY-MM-DD)
Issued For / Revisions	
Project	Project Number: 23066
HARVEST HILLS COMMERCIAL	
333 96 Ave NE Calgary, Alberta	
Legal Description	Building Permit No.
SW 1/4-22-25-1-W5M	
Development Permit No.	DSP No.

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Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
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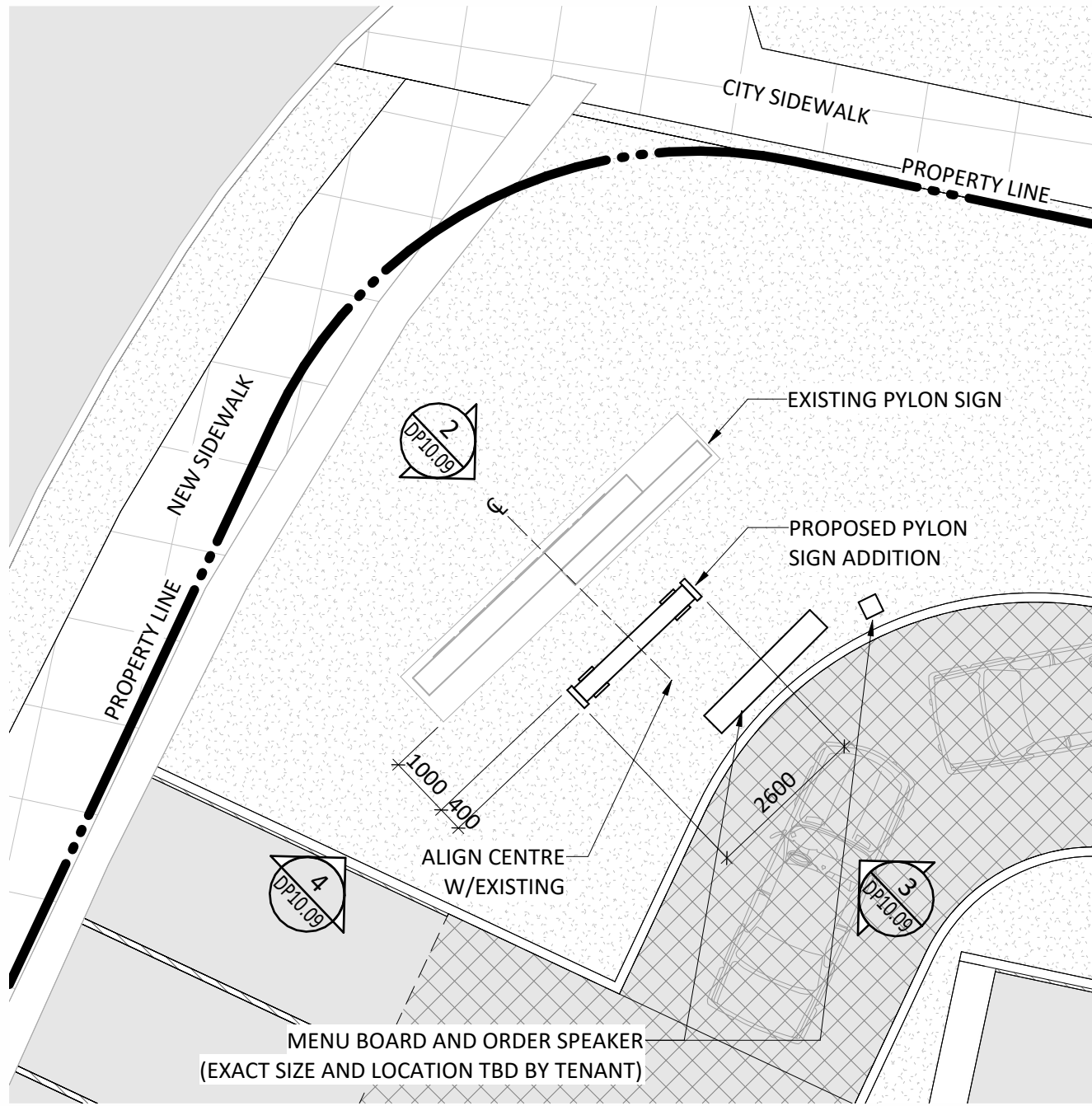
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Drawn by: Author	Scale 1 : 300
Reviewed by:	Date (YYYY-MM-DD)
Manager:	
Peer Review:	
Drawing Number DP10.08	Drawing Package Revision Number

PARKING LAYOUT
1 : 300

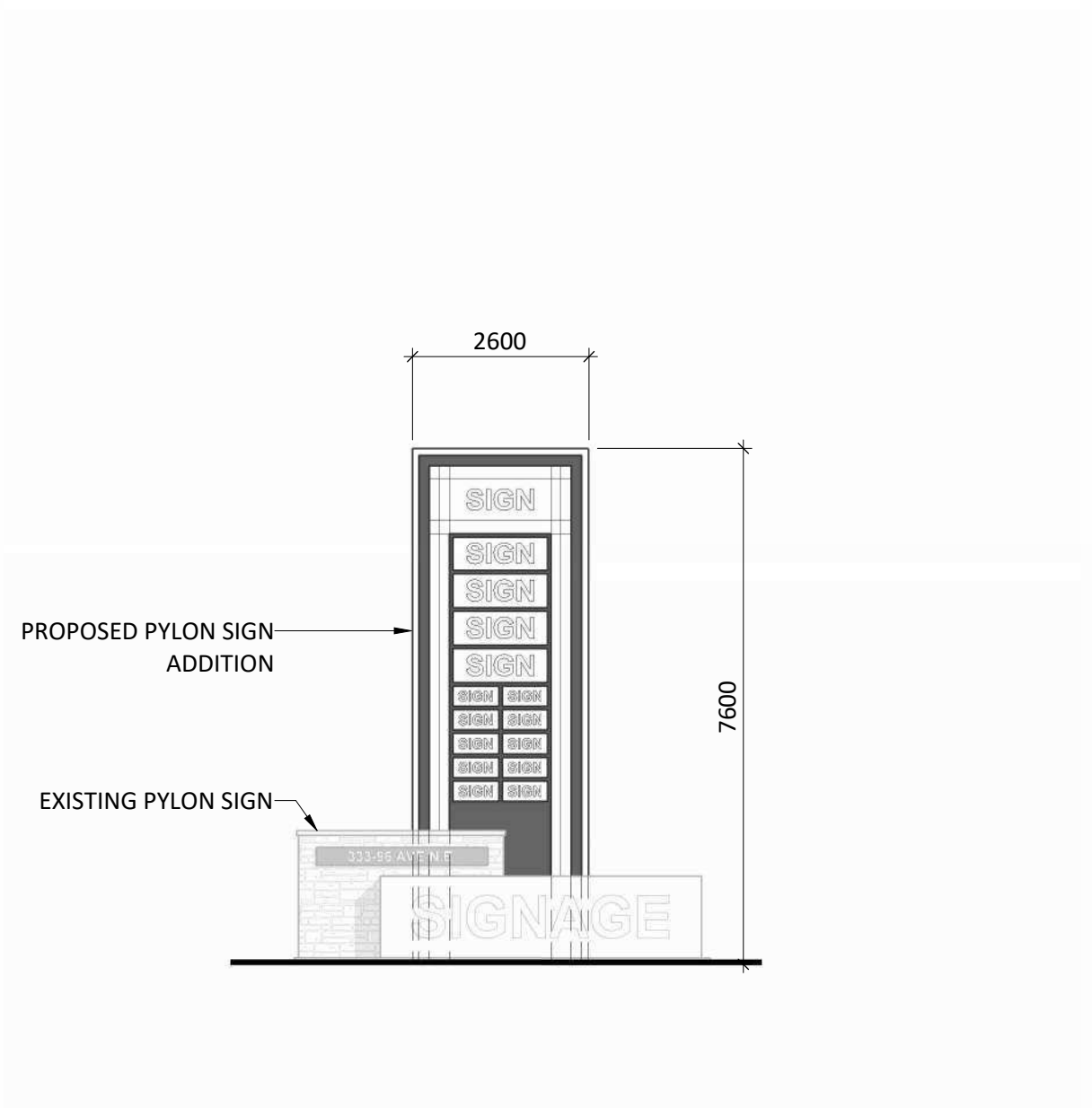


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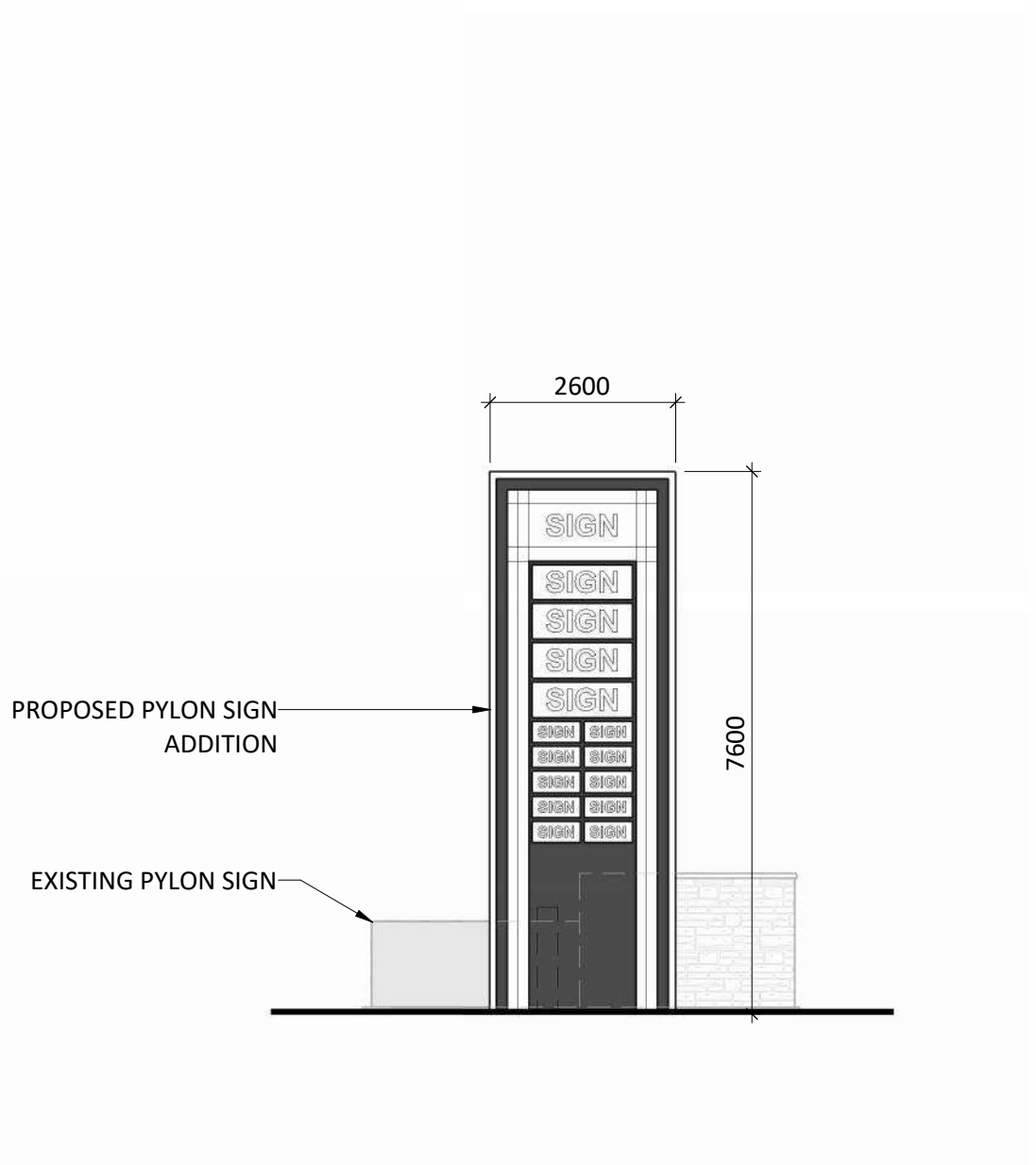
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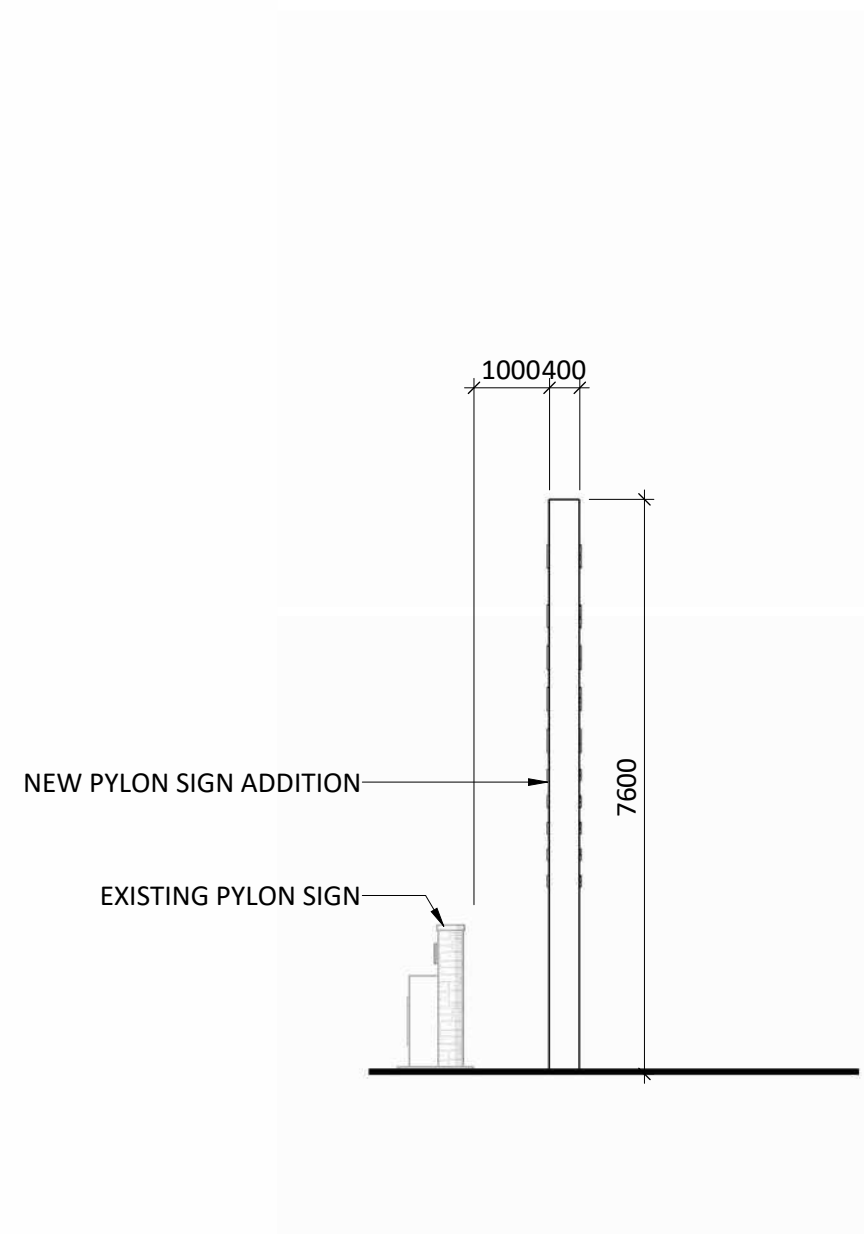
1 ENLARGED SITE PLAN - NW PYLON SIGN
DP10.09 1 : 100



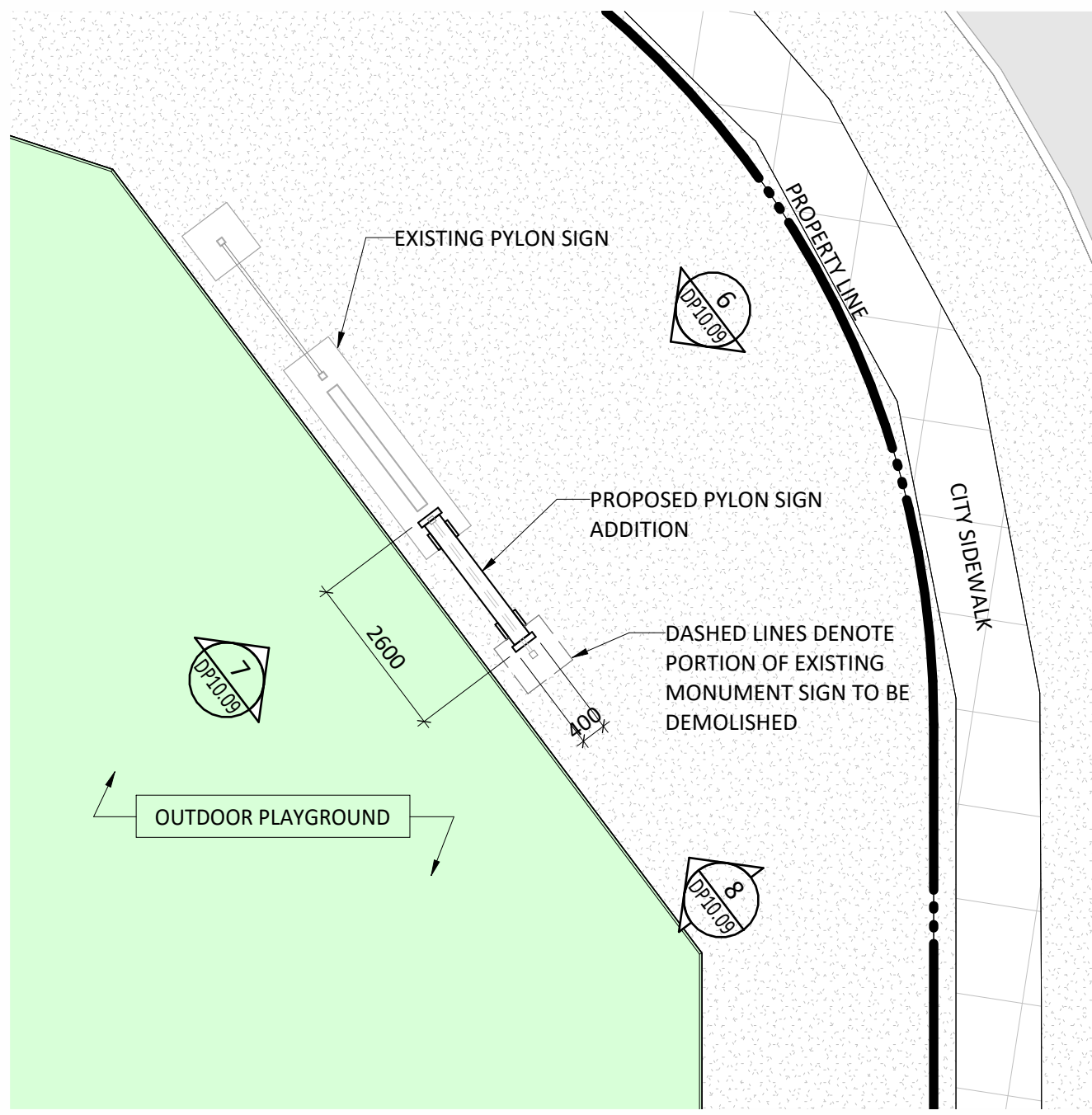
2 PYLON SIGN (NW) FRONT VIEW
DP10.09 1 : 100



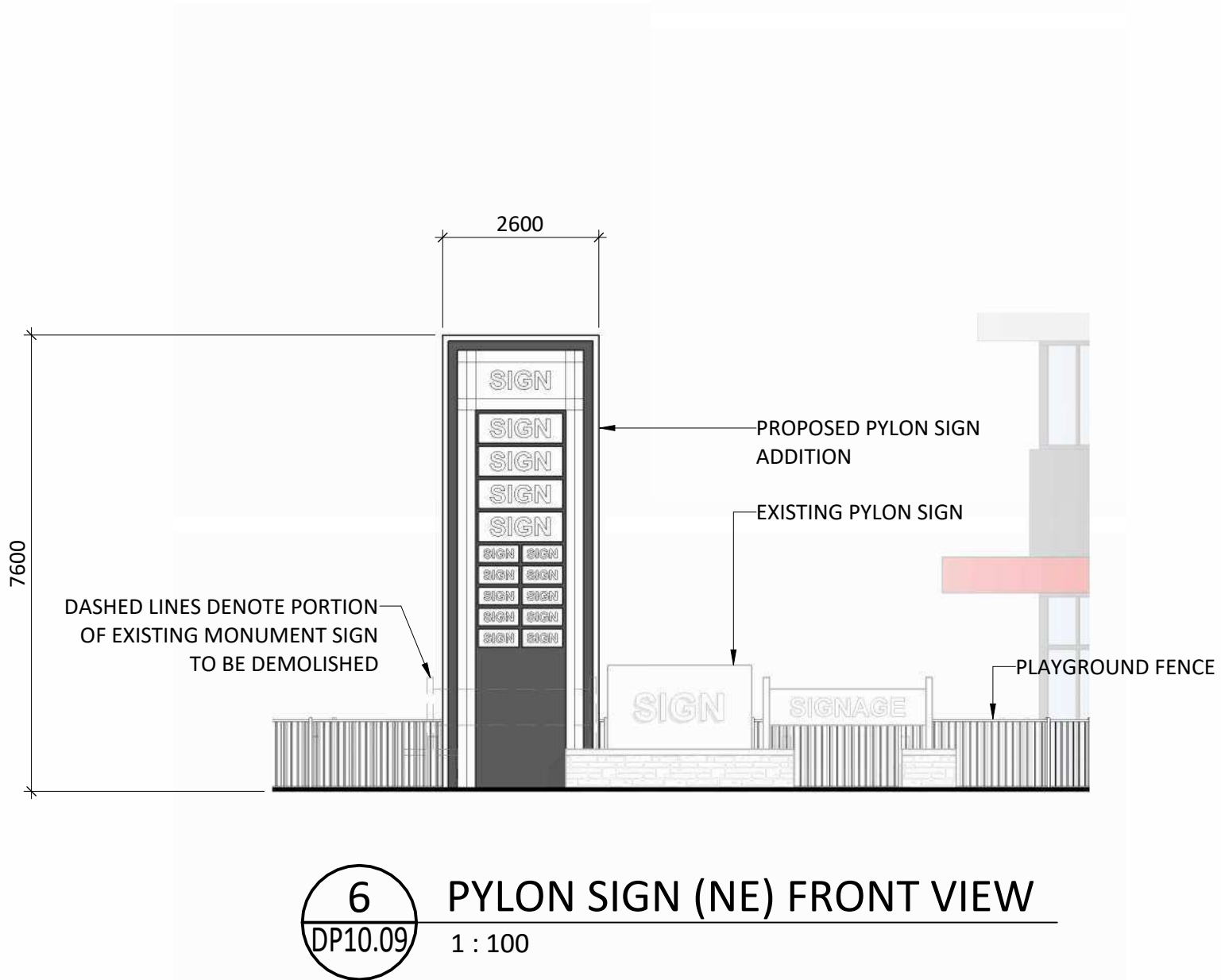
3 PYLON SIGN (NW) REAR VIEW
DP10.09 1 : 100



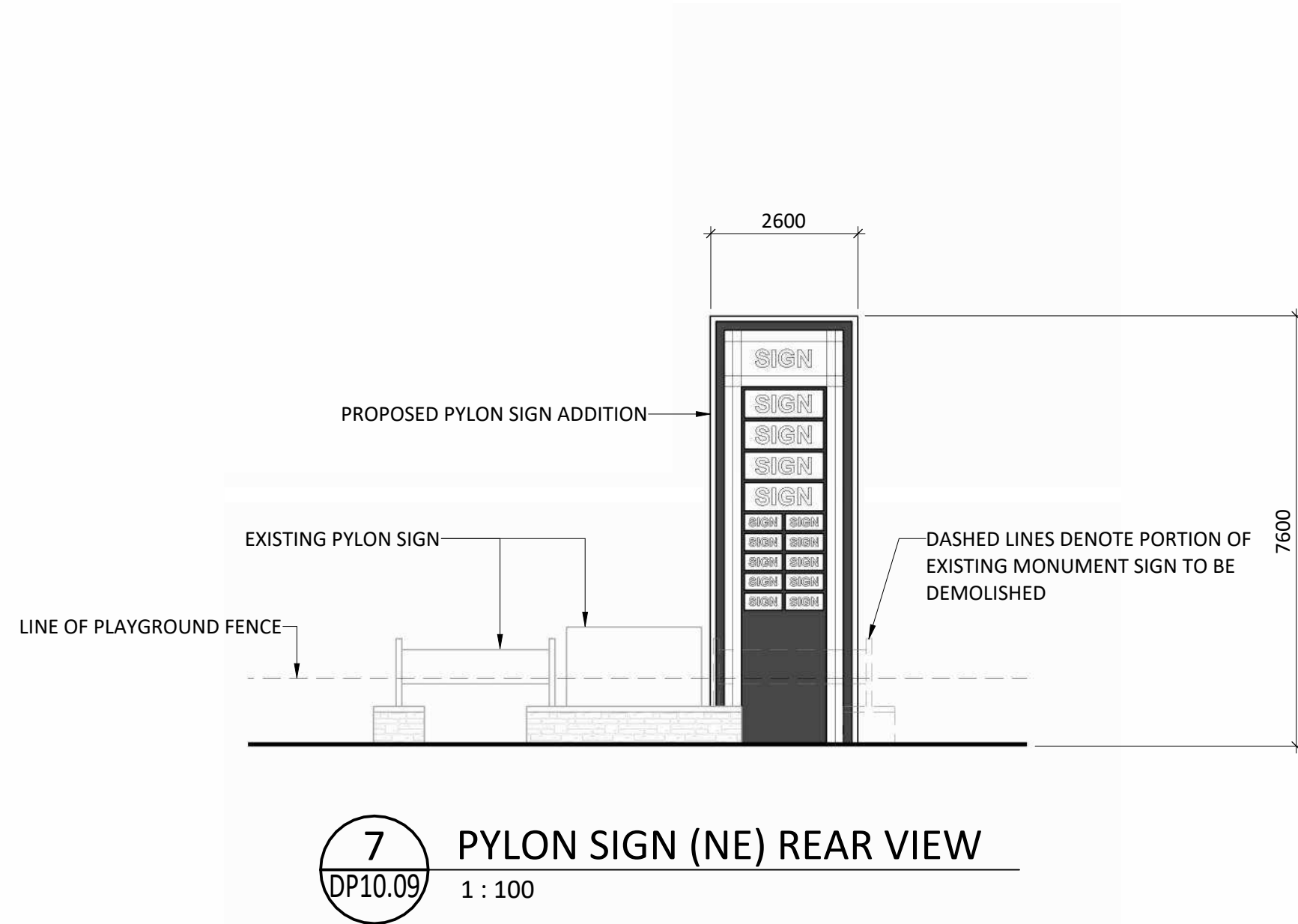
4 PYLON SIGN (NW) SIDE VIEW
DP10.09 1 : 100



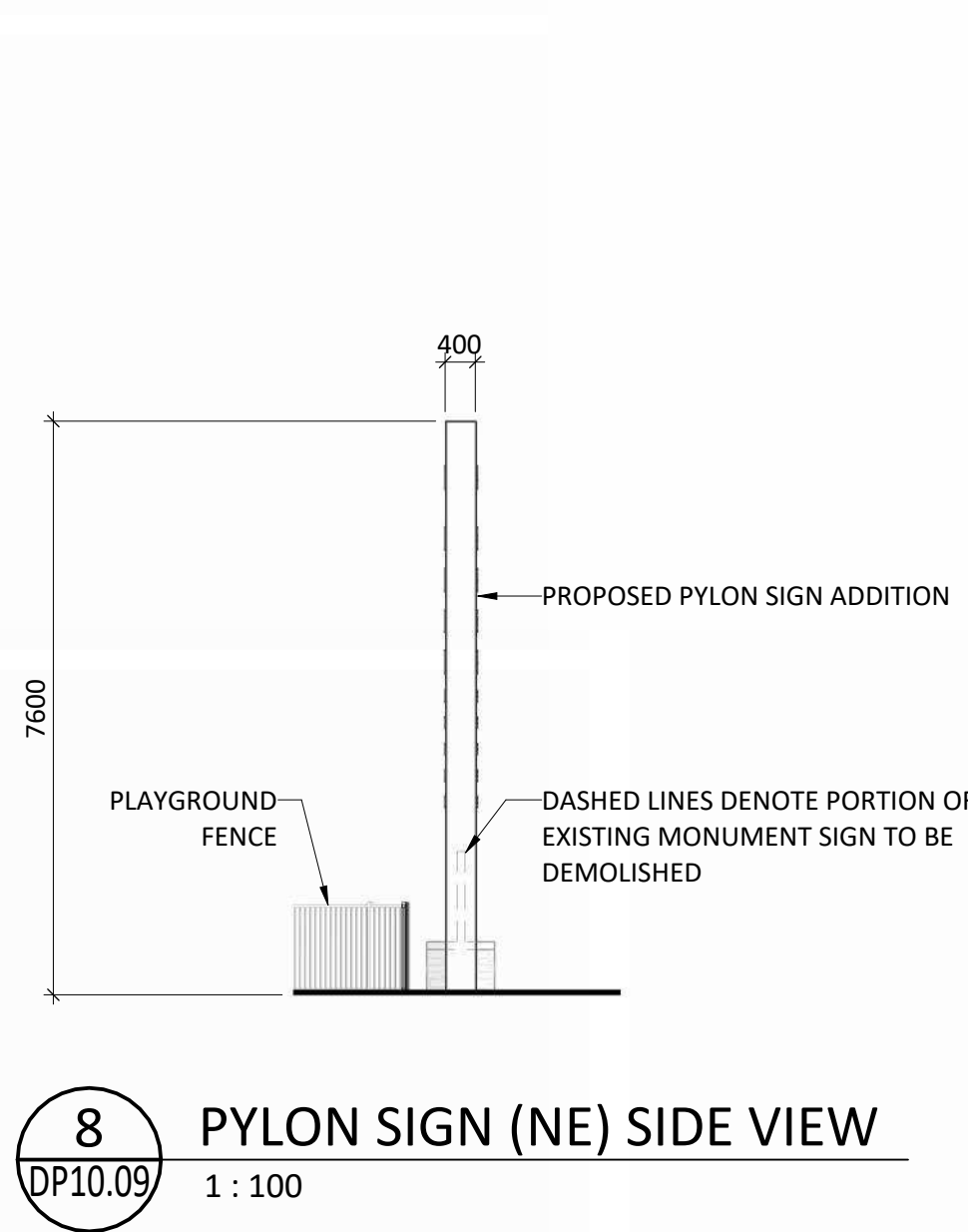
5 ENLARGED SITE PLAN - NE PYLON SIGN
DP10.09 1 : 100



6 PYLON SIGN (NE) FRONT VIEW
DP10.09 1 : 100



7 PYLON SIGN (NE) REAR VIEW
DP10.09 1 : 100



8 PYLON SIGN (NE) SIDE VIEW
DP10.09 1 : 100

NOTES:

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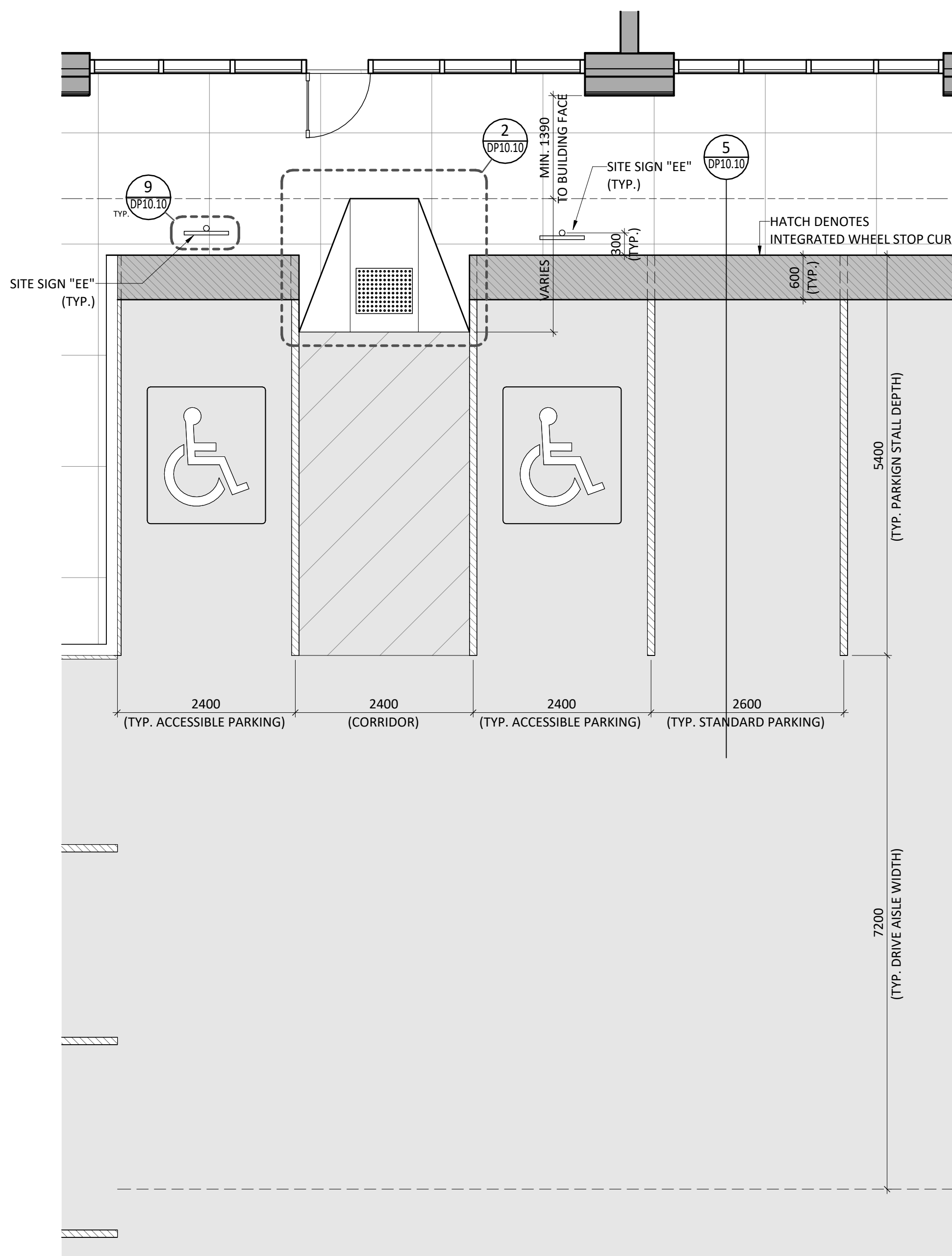
DEVELOPMENT PERMIT		2026-05-15
No.	Description	Date (YYYY-MM-DD)
Issued For / Revisions		
Project	Project Number: 23066	
HARVEST HILLS		
COMMERCIAL		
333 96 Ave NE Calgary, Alberta		
Legal Description	Building Permit No.	
SW 1/4-22-25-1-W5M		
Development Permit No.	DSSP No.	

GGA-ARCHITECTURE

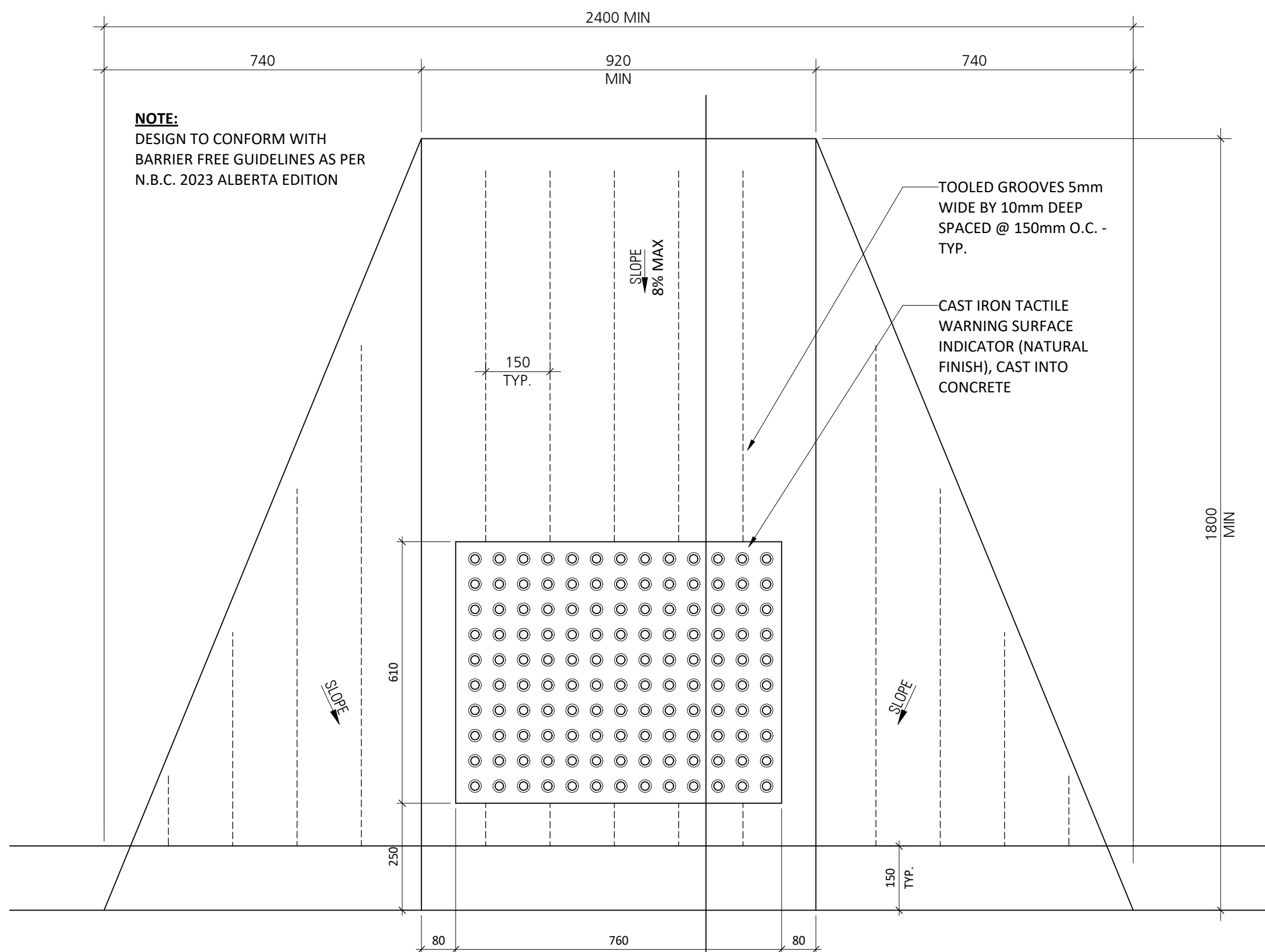
350,140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
Fax: 403.264.2077

Drawing Title PYLON SIGN PLANS AND ELEVATIONS	
Drawn by: Author	Scale 1 : 100
Reviewed by:	Date (YYYY-MM-DD)
Manager:	
Peer Review:	
Drawing Number DP10.09	Drawing Package Revision Number

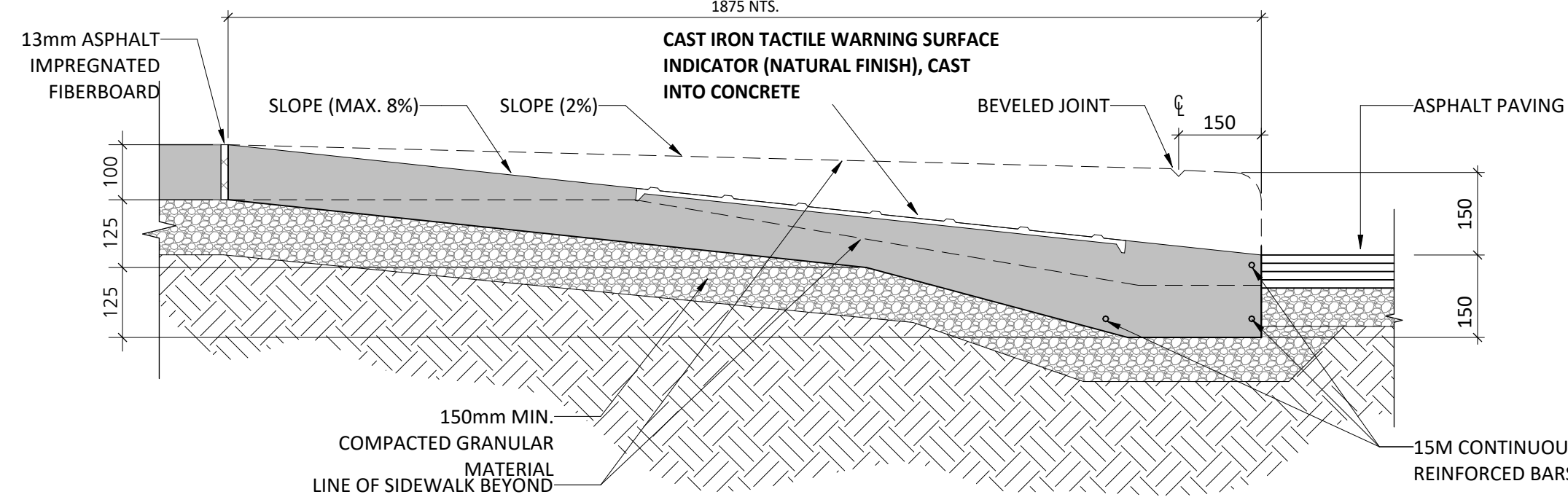
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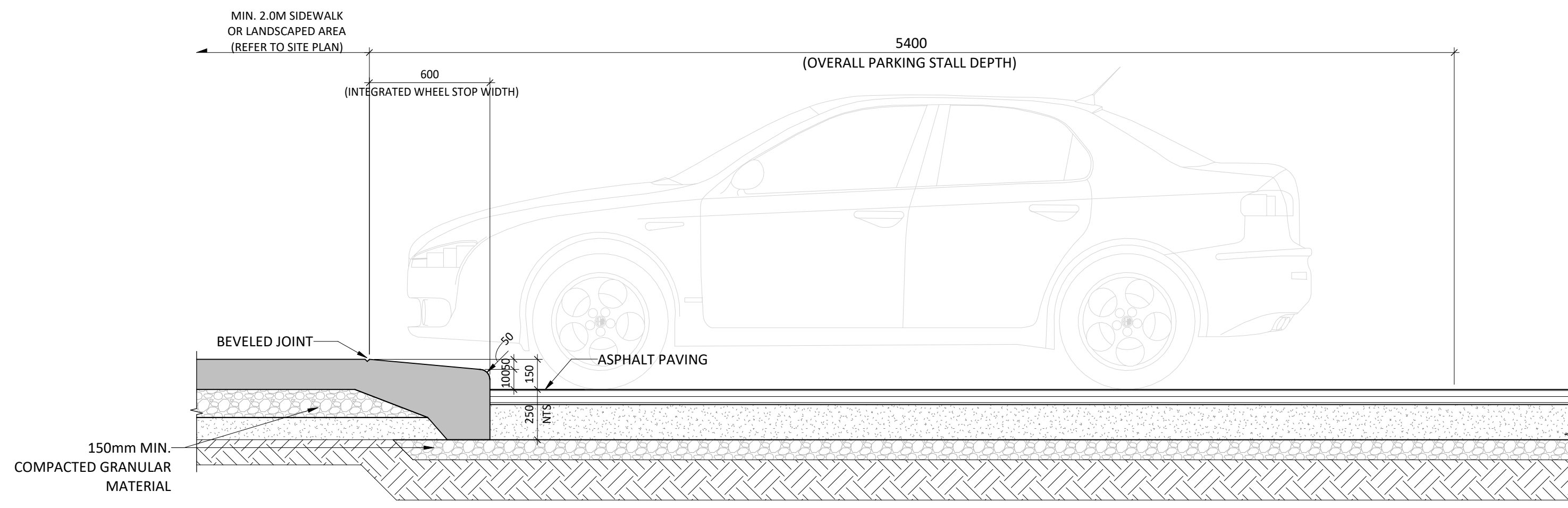
1 TYPICAL PARKING STALL DETAIL
1 : 50



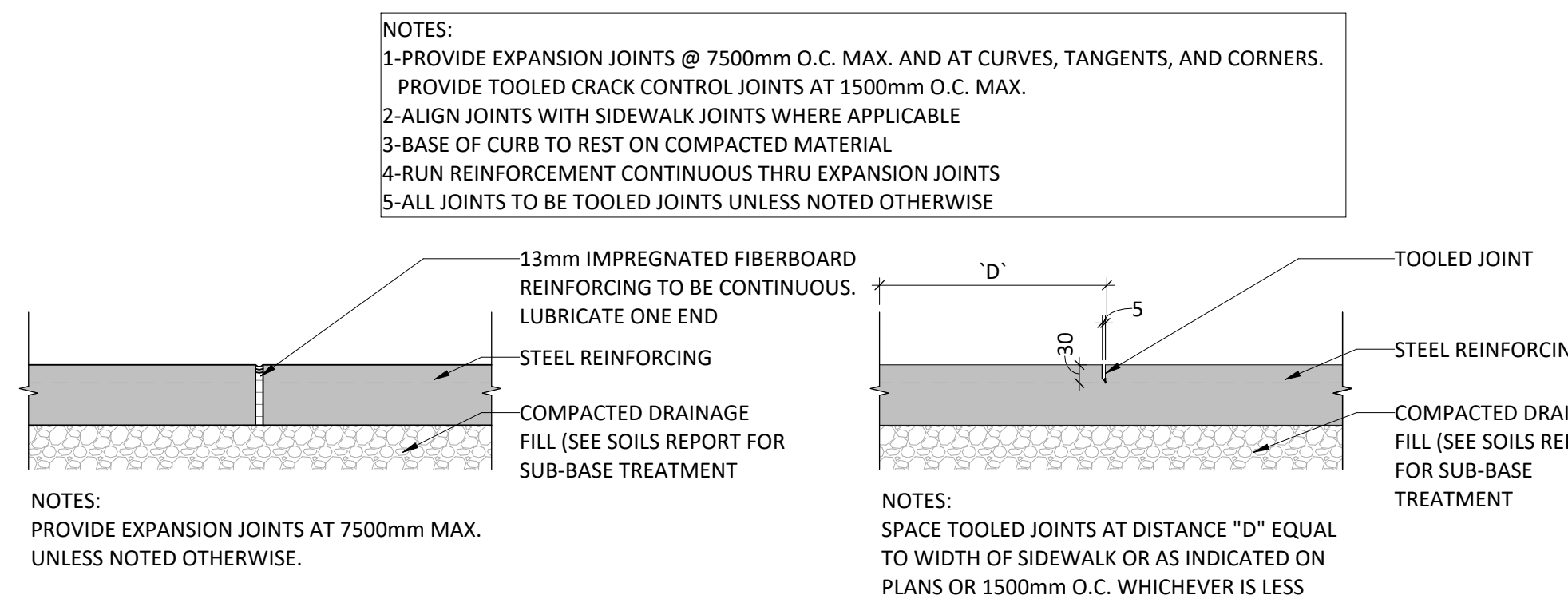
2 BARRIER FREE CURB CUT PLAN DETAIL
1 : 10



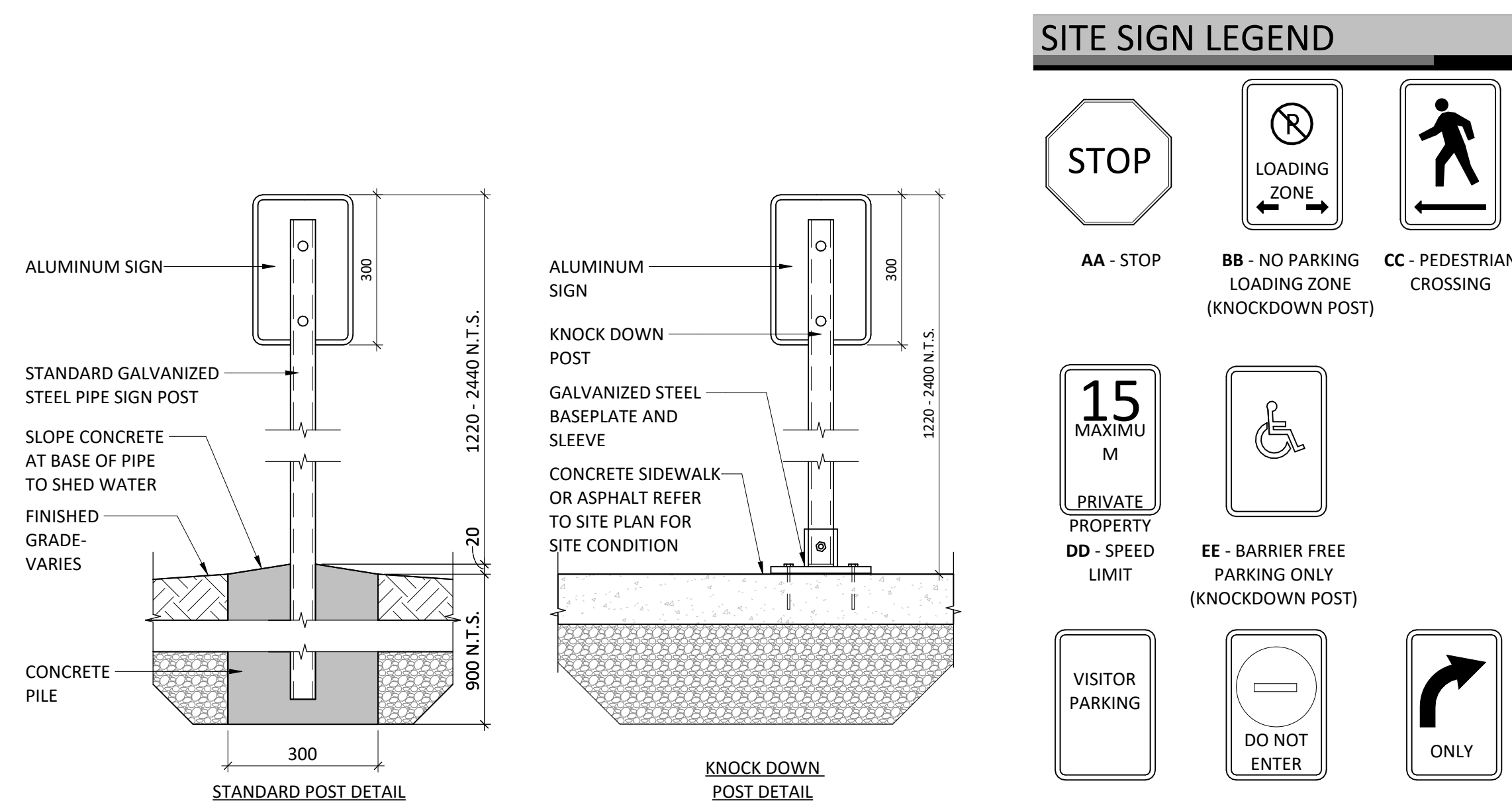
3 BARRIER FREE CURB CUT SECTION DETAIL
1 : 10



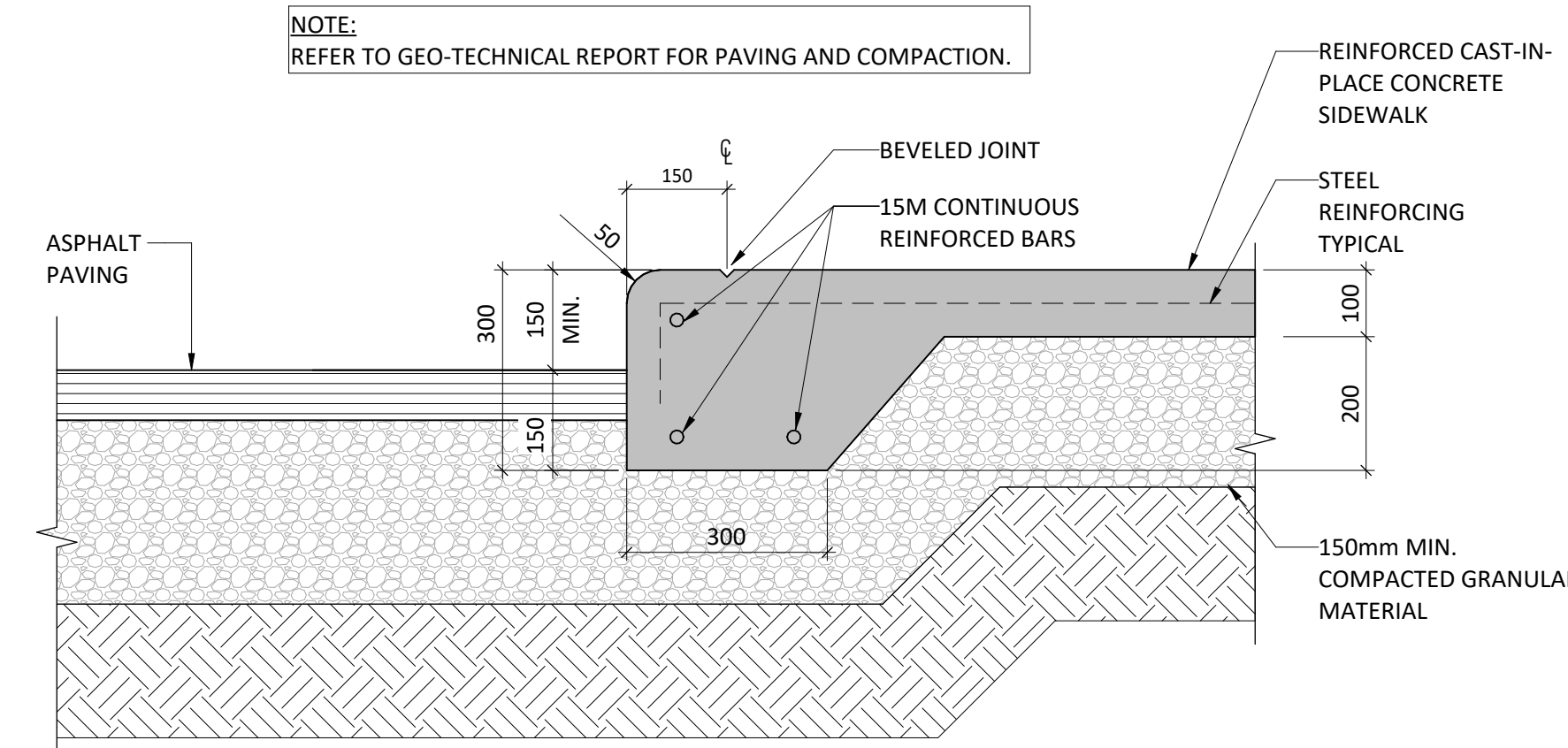
5 INTEGRATED WHEEL STOP CURB DETAIL
1 : 20



7 TYPICAL SIDEWALK JOINT DETAILS
1 : 10



9 SITE SIGNAGE DETAILS
1 : 10

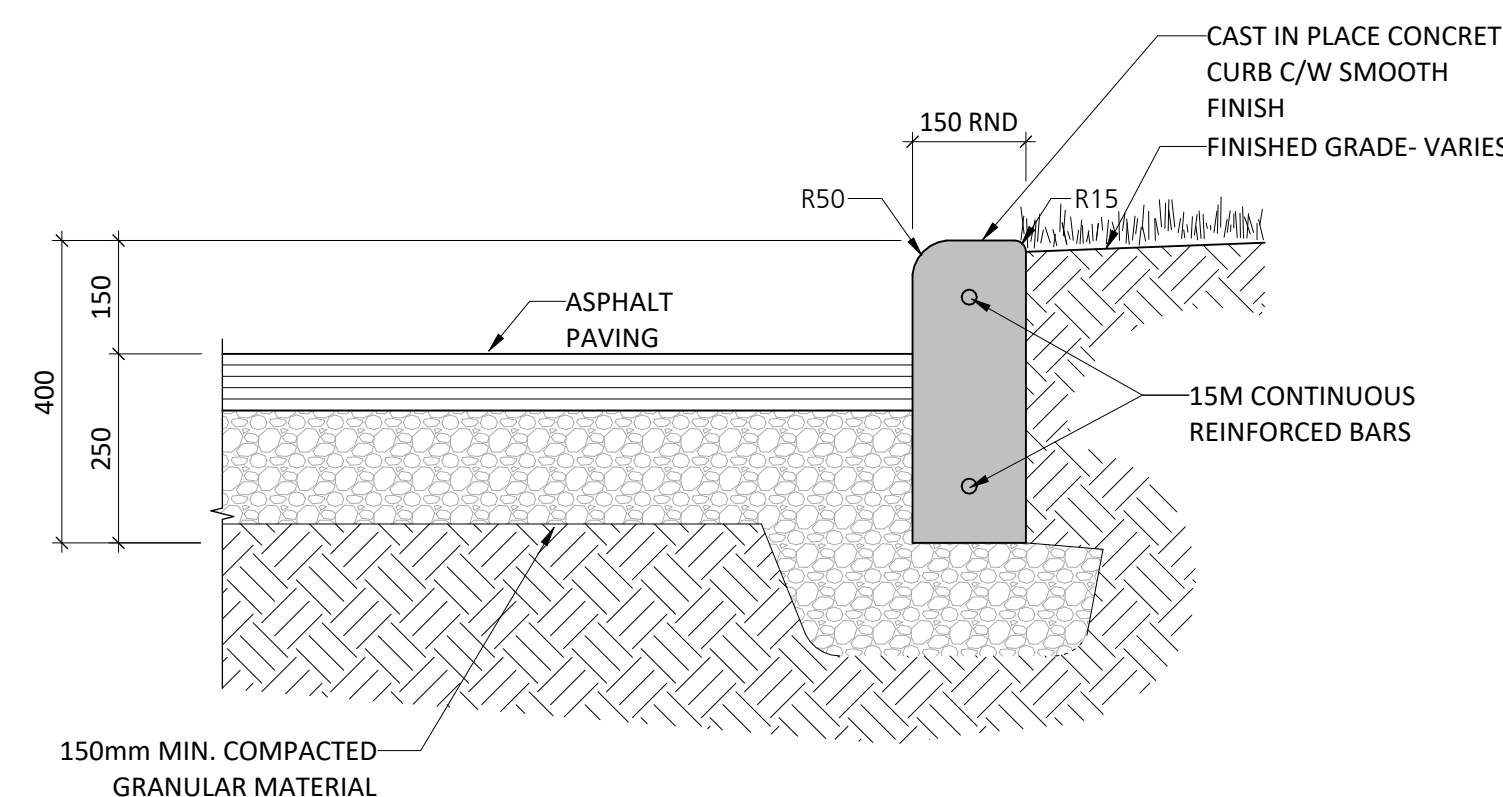


4 SIDEWALK EDGE AT ASPHALT DETAIL
1 : 10

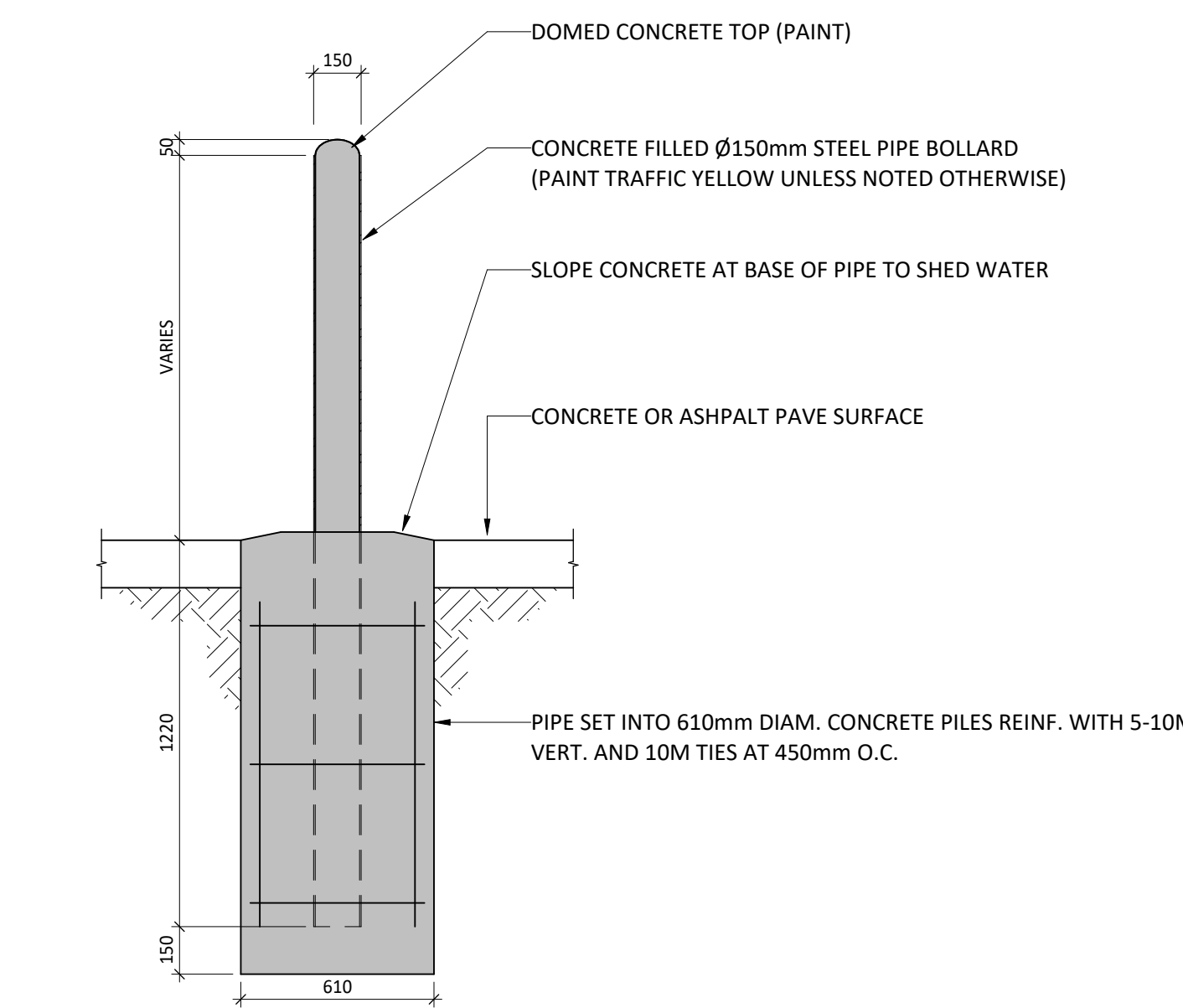
INTEGRATED WHEEL STOP

WE ARE PROPOSING AN INTEGRATED WHEEL STOP DESIGN THAT FUNCTIONS AS A STRUCTURAL EXTENSION OF THE CURB. THIS DESIGN COMPLIES WITH THE DIMENSIONAL REQUIREMENTS (HEIGHT, DEPTH, AND LENGTH) OF LAND USE BYLAW 1P2007 WHILE OFFERING SUPERIOR PERFORMANCE IN THE FOLLOWING AREAS:

- IMPROVED SITE MAINTENANCE: UNLIKE CONVENTIONAL 150MM-WIDE WHEEL STOPS THAT CREATE A 450MM GAP FROM THE CURB, THIS INTEGRATED DESIGN ELIMINATES THE "DEBRIS TRAP" WHERE RAINWATER, DIRT, AND LITTER TYPICALLY ACCUMULATE.
- ENHANCED PEDESTRIAN CIRCULATION: WHEN A STALL IS VACANT, THE 1:12 SLOPE SERVES AS A FUNCTIONAL EXTENSION OF THE SIDEWALK (APPROX. 600MM), PROVIDING A WIDER AND MORE COMFORTABLE WALKING SURFACE.
- SAFETY & ACCESSIBILITY (UNIVERSAL DESIGN): THIS DESIGN ELIMINATES THE COMMON "TRIPPING HAZARD" ASSOCIATED WITH STANDALONE WHEEL STOPS. IT PROVIDES A SAFER TRANSITION FOR ALL USERS, INCLUDING THOSE WITH LIMITED MOBILITY OR VISUAL IMPAIRMENTS.
- OPERATIONAL EFFICIENCY: THE SLOPED PROFILE IS MORE COMPATIBLE WITH SNOW CLEARING EQUIPMENT, PREVENTING ICE BUILDUP DURING WINTER MONTHS AND ENSURING UNOBSTRUCTED DRAINAGE FLOW TOWARD THE CATCH BASINS.
- AESTHETIC CONTINUITY: THE INTEGRATED APPROACH MAINTAINS A CLEAN AND MODERN VISUAL PROFILE ACROSS THE SITE WHILE FULLY PERFORMING THE PRIMARY FUNCTION OF A VEHICLE STOP.



6 TYPICAL CONCRETE CURB AT LANDSCAPING/ASPHALT
1 : 10



8 TYPICAL BOLLARD DETAIL
1 : 20

DEVELOPMENT PERMIT 2026-05-15

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HARVEST HILLS COMMERCIAL

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Development Permit No. DSPP No.

350,140-10 Ave SE Calgary, Alberta. TZG 0R1 Ph: 403.233.2000

GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title

SITE DETAILS

Drawn by: JL Scale As indicated

Reviewed by: Manager: Date (YYYY-MM-DD)

Peer Review:

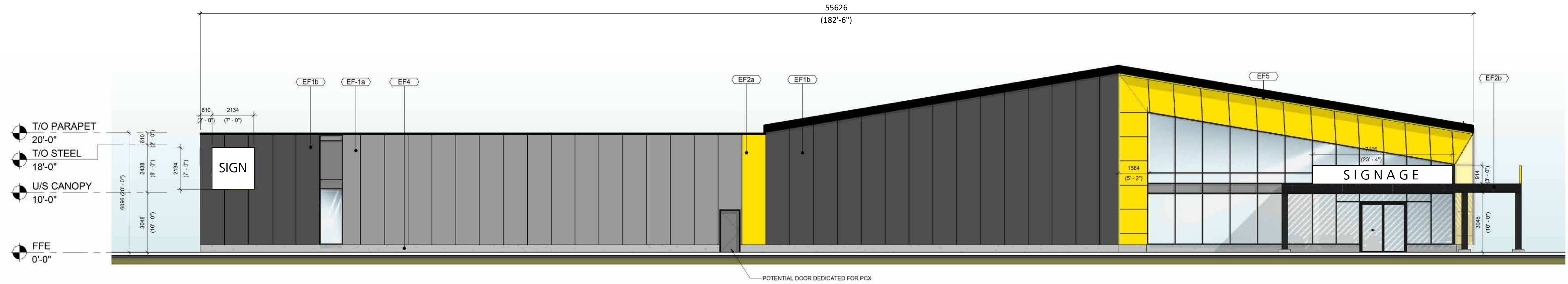
Drawing Number

DP10.10

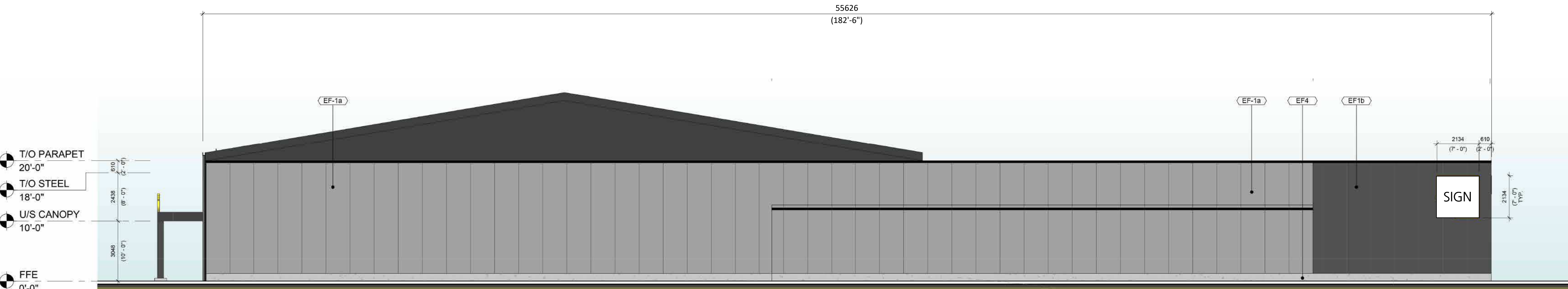
Drawing Package

Revision Number

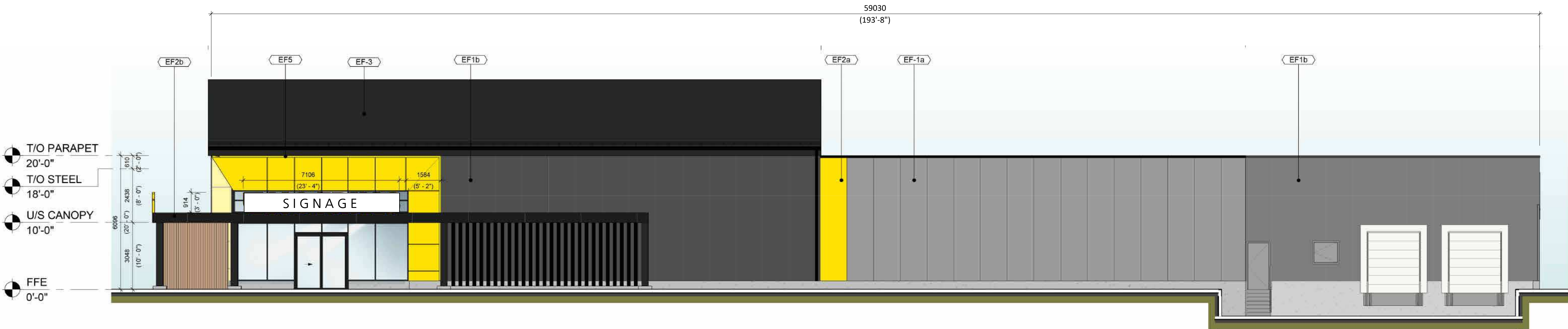
NOTE: 1. ALL SIGNS ON KNOCKDOWN POSTS UNLESS NOTED OTHERWISE - REFER TO DETAIL. 2. FINAL NUMBER AND TYPE OF SIGNS TO BE CONFIRMED BY SIGNAGE CONSULTANT.



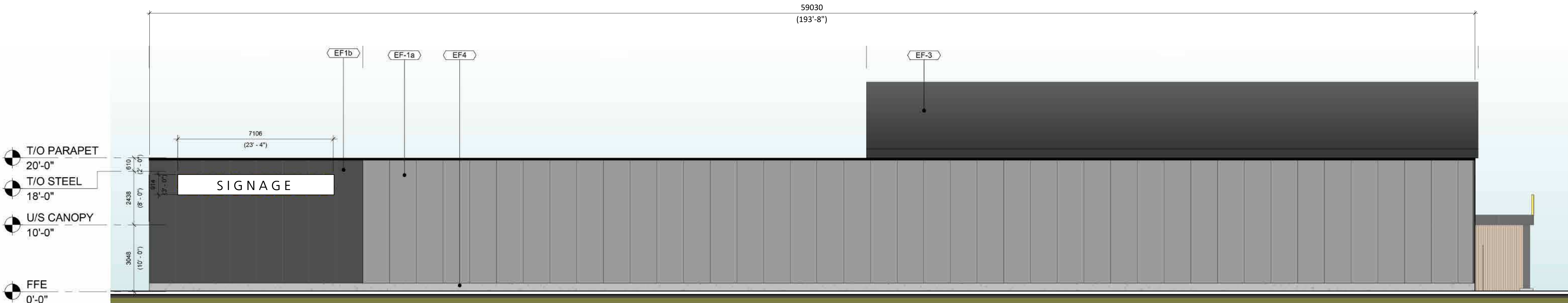
1 BUILDING A NORTH ELEVATION
1 : 100



2 BUILDING A SOUTH ELEVATION
1 : 100



3 BUILDING A WEST ELEVATION
1 : 100



4 BUILDING A EAST ELEVATION
1 : 100

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NOTE: DRAWINGS PROVIDED BY TENANT AND SUBJECT TO UPDATED REVISIONS

EXTERIOR FINISH SCHEDULE	
INSULATED METAL PANEL	
EF1a	NORREC METAL PANEL ELEMENTAL GREY - NOROC - L PROFILE
EF1b	NORREC METAL PANEL COLOUR CHARCOAL - NOROC - L PROFILE
PREFINISHED ALUMINUM COMPOSITE PANEL	
EF2a	ALUMINUM COMPOSITE PANELS - YELLOW - COMB YBNC
EF2b	ALUMINUM COMPOSITE PANELS - COLOUR BLACK
VERTICAL METAL SIDING	
EF3	- T80
CONCRETE FOUNDATION CURB	
EF4	- EXPOSED CONCRETE FOUNDATION
LIGHTING	
EF5	- EXTERIOR LED STRIP

CLIENT REVIEW 2026-05-01

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GGA-ARCHITECTURE

350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 Fax: 403.264.2077

Drawing Title BUILDING A ELEVATIONS

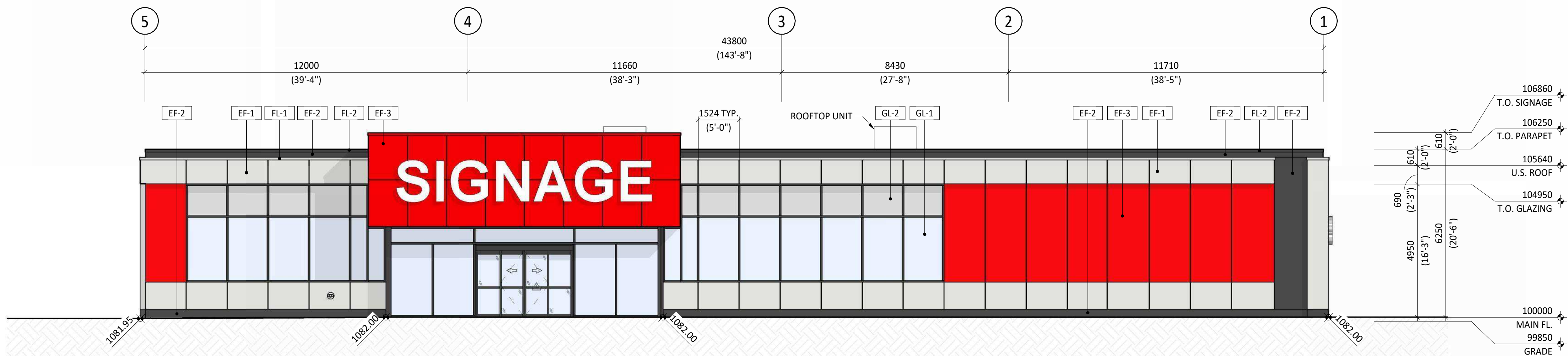
Drawn by: Scale As indicated

Reviewed by: Date (YYYY-MM-DD)

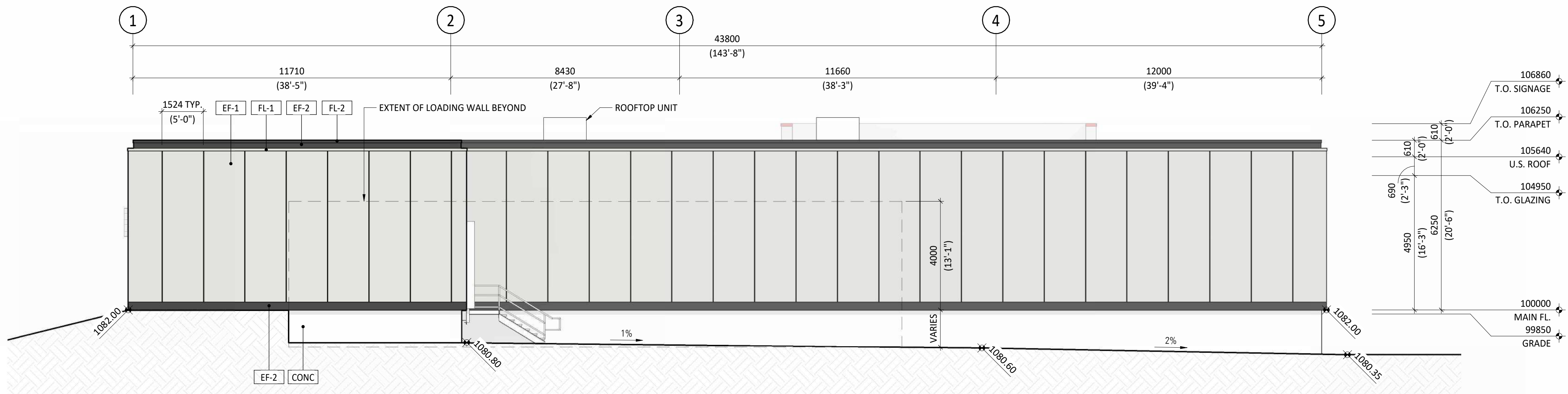
Manager: Peer Review:

Drawing Number Drawing Package

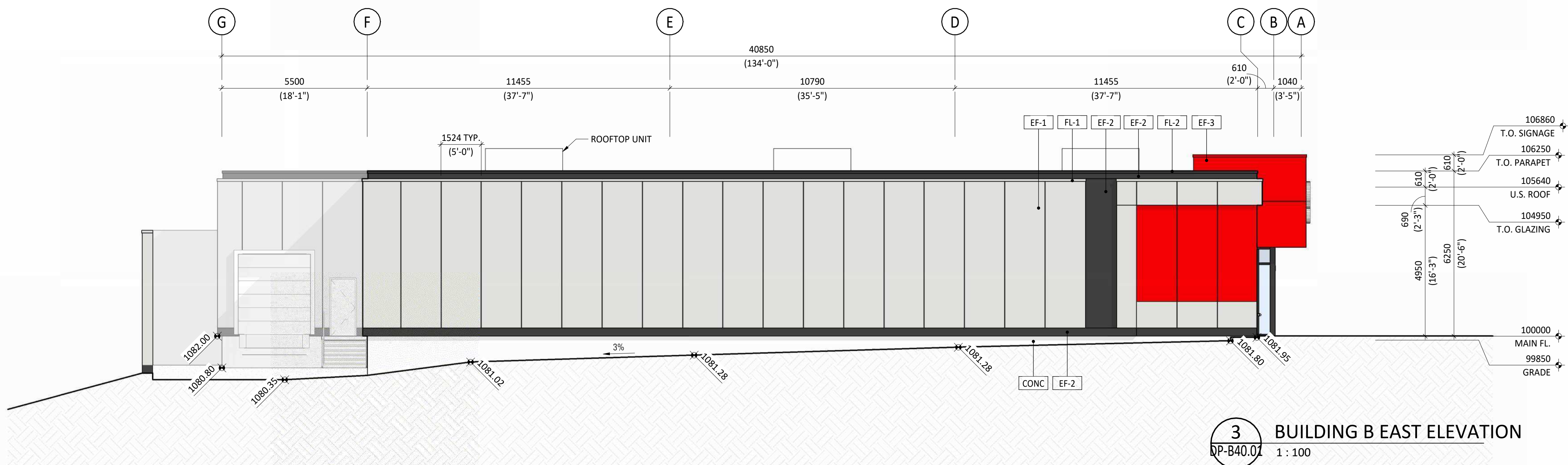
DP-A40.01 Revision Number



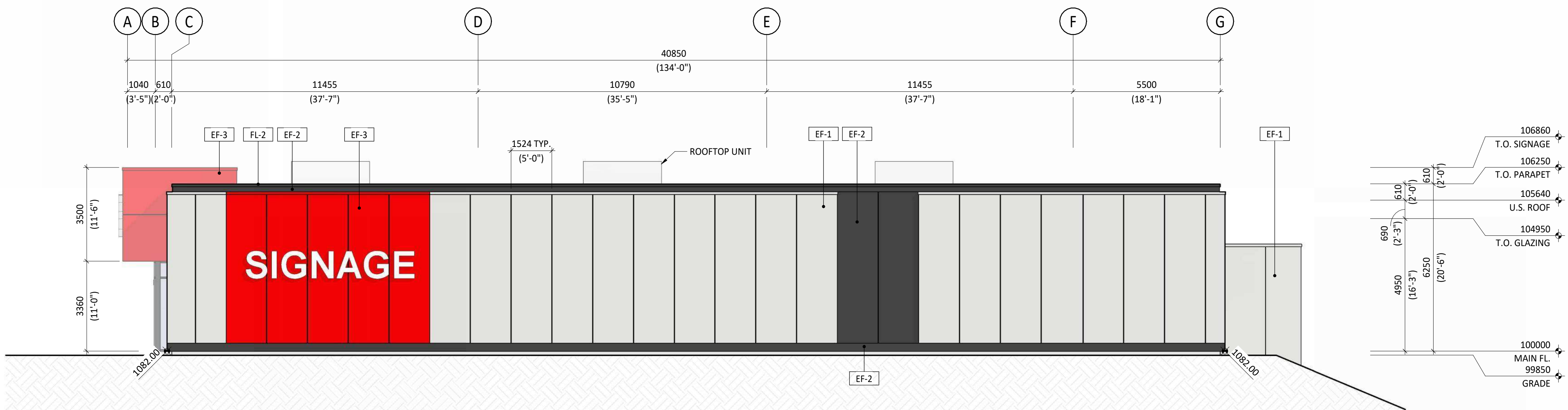
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DP-B40.01 1 : 100



2 BUILDING B SOUTH ELEVATION
DP-B40.01 1 : 100



3 BUILDING B EAST ELEVATION
DP-B40.01 1 : 100



4 BUILDING B WEST ELEVATION
DP-B40.01 1 : 100

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MATERIALS

- EF-1 EIFS - STUCCO FINISH - OFF WHITE
EF-2 EIFS - STUCCO FINISH - BLACK
EF-3 EIFS - STUCCO FINISH - RED
FL-1 FLASHING - OFF WHITE
FL-2 FLASHING - BLACK
FL-3 FLASHING - RED
GL-1 STOREFRONT GLAZING
GL-2 SPANDREL PANEL

CLIENT REVIEW 2026-05-01

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Development Permit No. DSSP No.

GGA-ARCHITECTURE 350,140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
Fax: 403.264.2077

Drawing Title
BUILDING B EXTERIOR ELEVATIONS

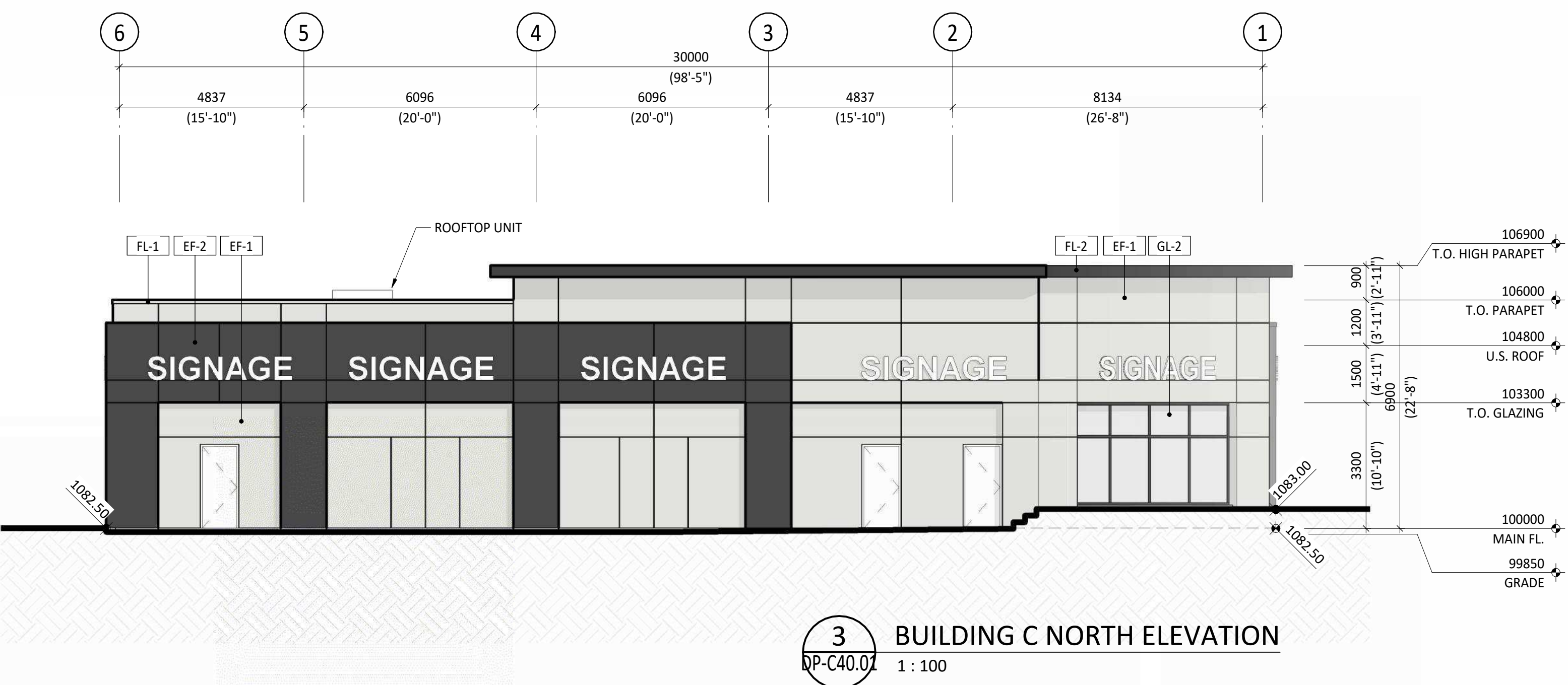
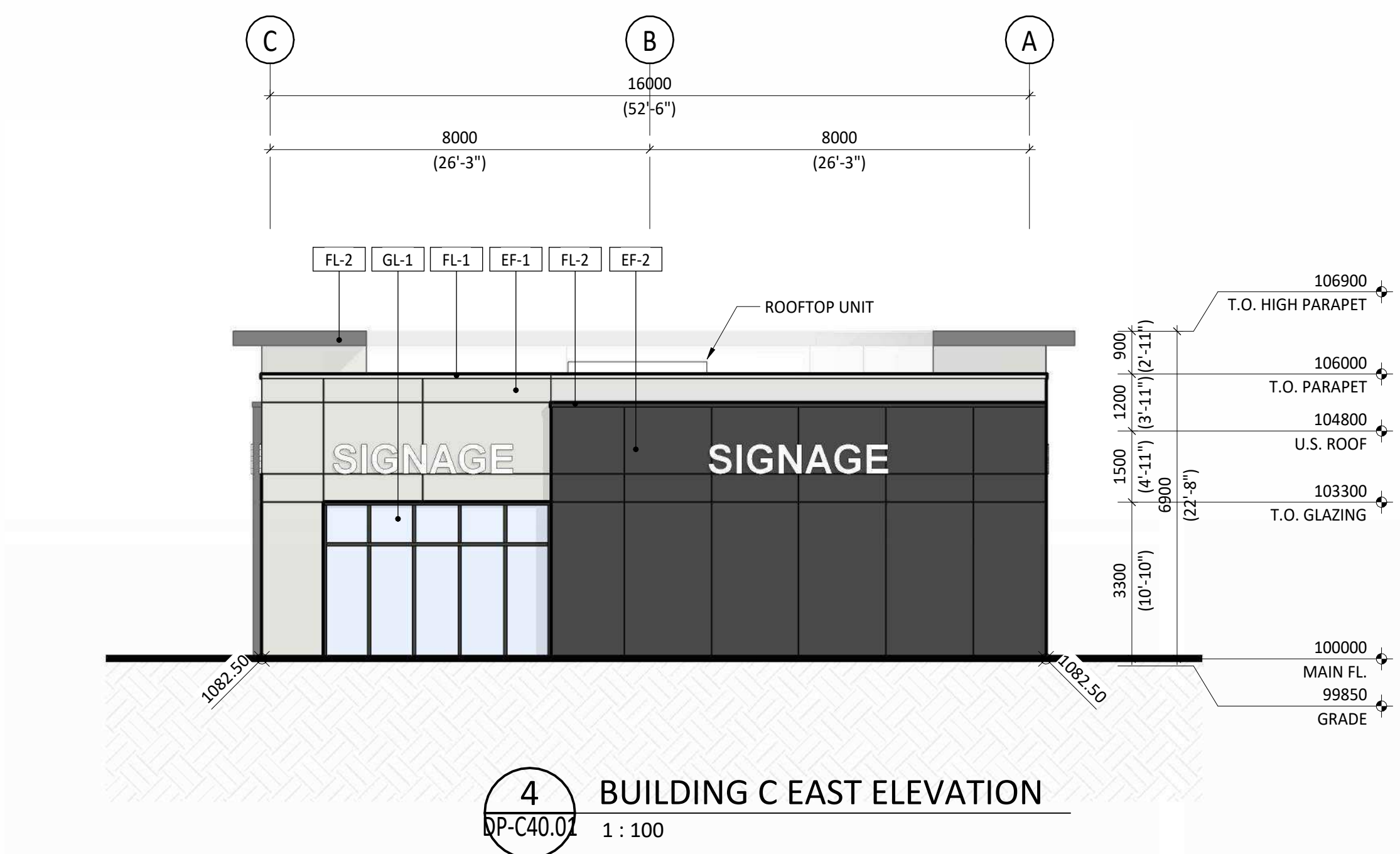
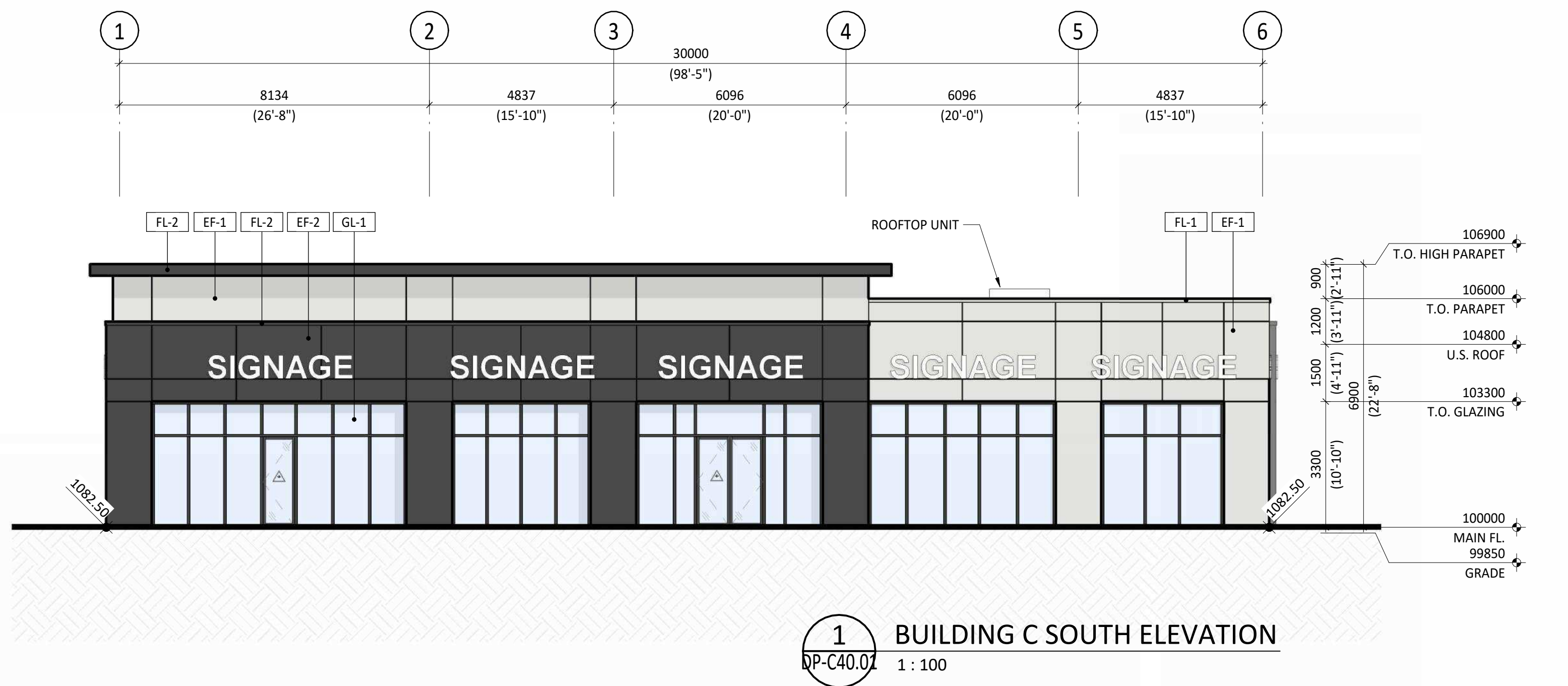
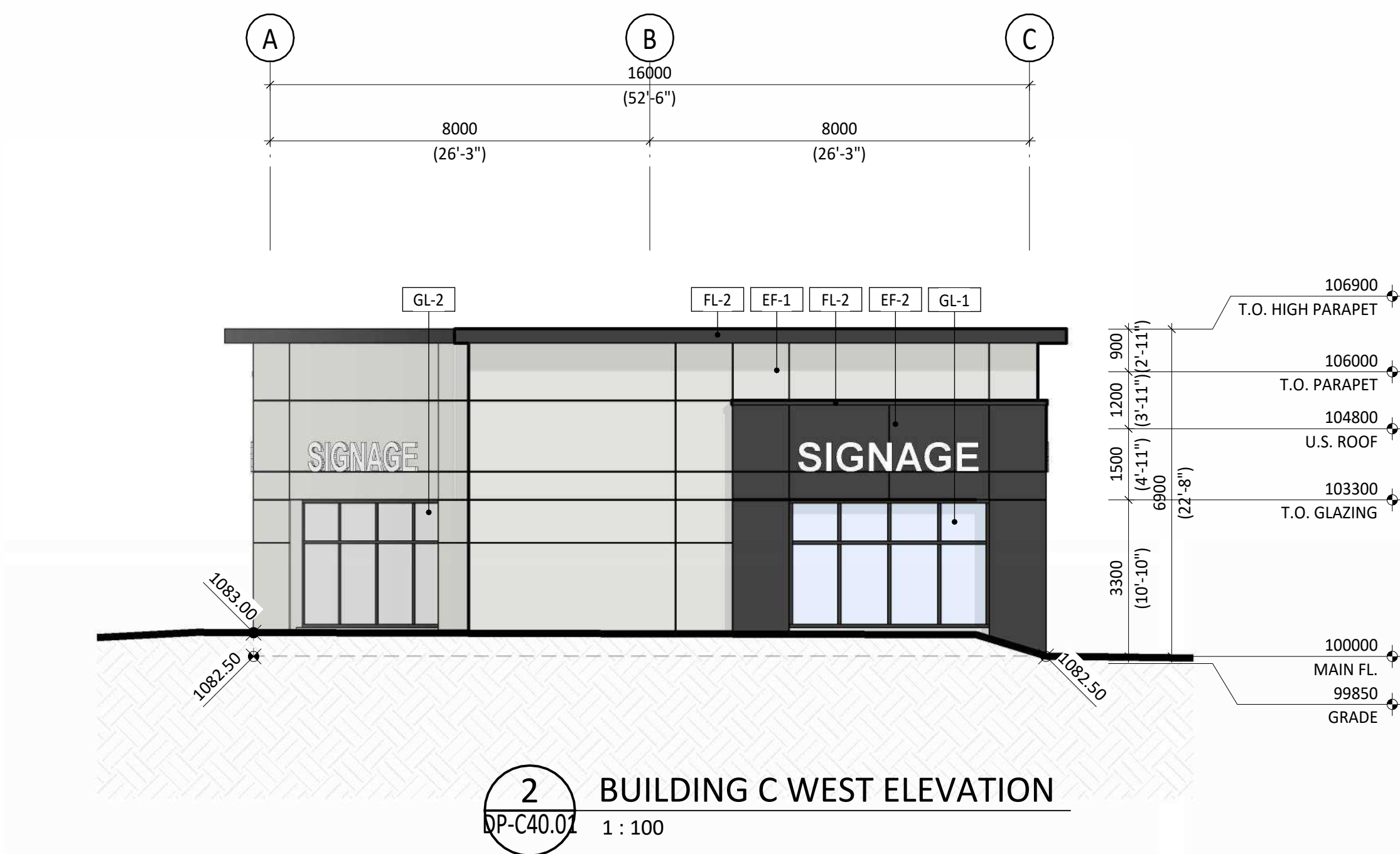
Drawn by: Author Scale
Reviewed by: EL 1 : 100
Manager: Date (YYYY-MM-DD)
Peer Review:

Drawing Number
DP-B40.01
Revision Number

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MATERIALS

- EF-1 EIFS - STUCCO FINISH - OFF WHITE
EF-2 EIFS - STUCCO FINISH - CHARCOAL
FL-1 FLASHING - OFF WHITE
FL-2 FLASHING - CHARCOAL
GL-1 GLAZING - STOREFRONT GLAZING
GL-2 GLAZING - SPANDREL GLAZING



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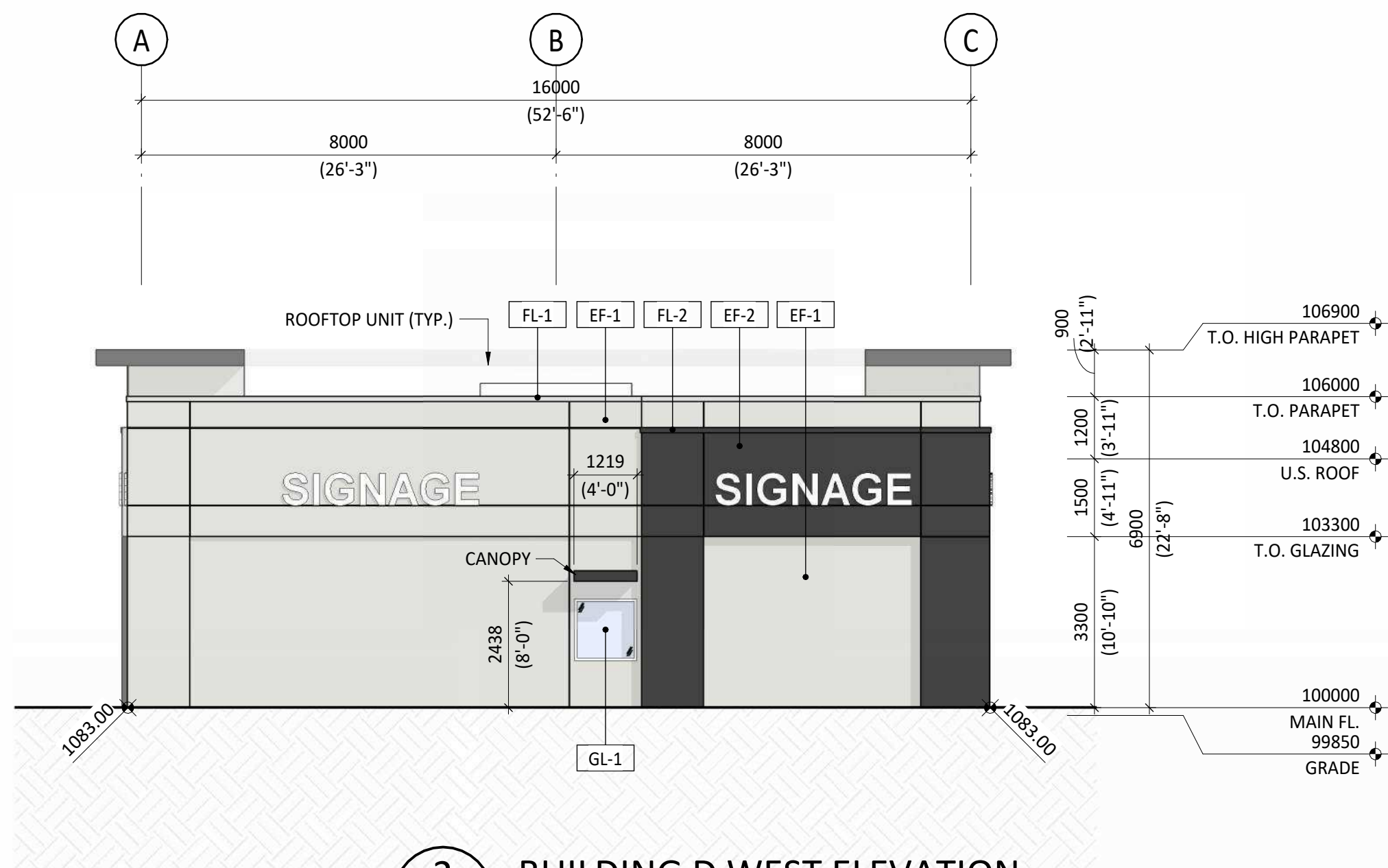
Development Permit No. DSPP No.

350,140-10 Ave SE Calgary, Alberta. TZG OR1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077

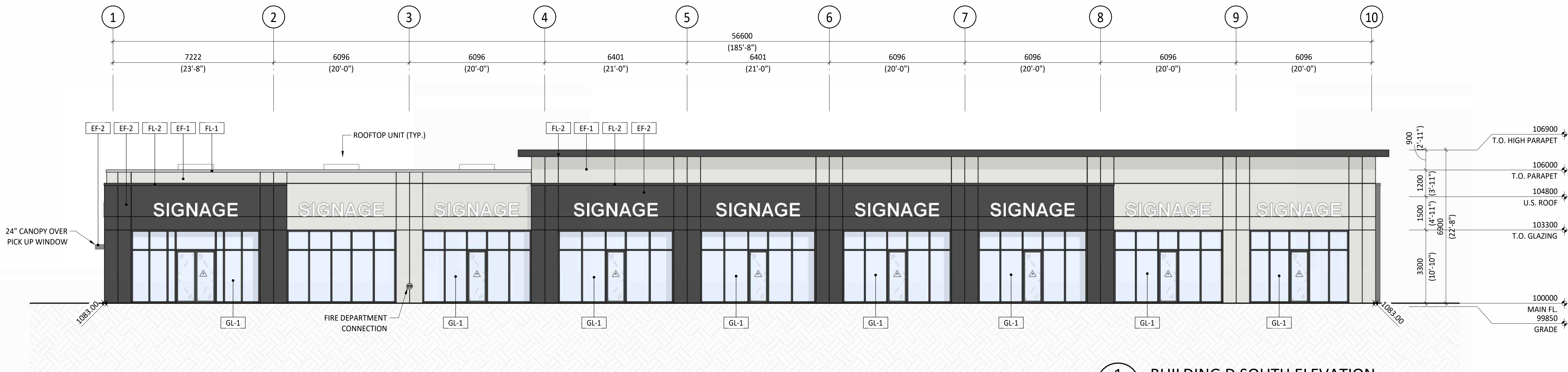
Drawing Title BUILDING C EXTERIOR ELEVATIONS AND BUILDING SECTIONS

Drawn by: Author Scale 1 : 100 Reviewed by: EL Date (YYYY-MM-DD) Manager: Peer Review:

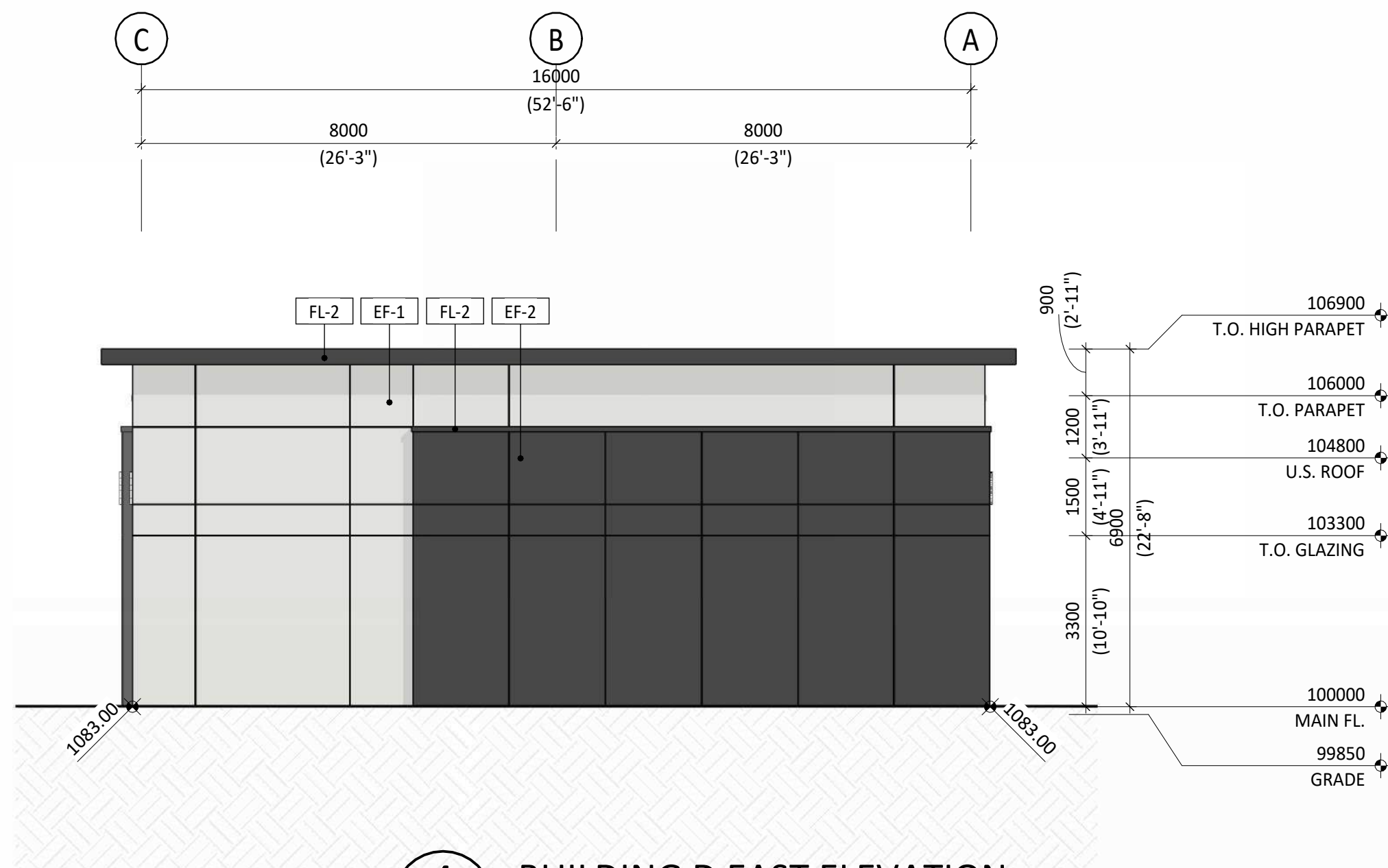
Drawing Number DP-C40.01 Drawing Package Revision Number



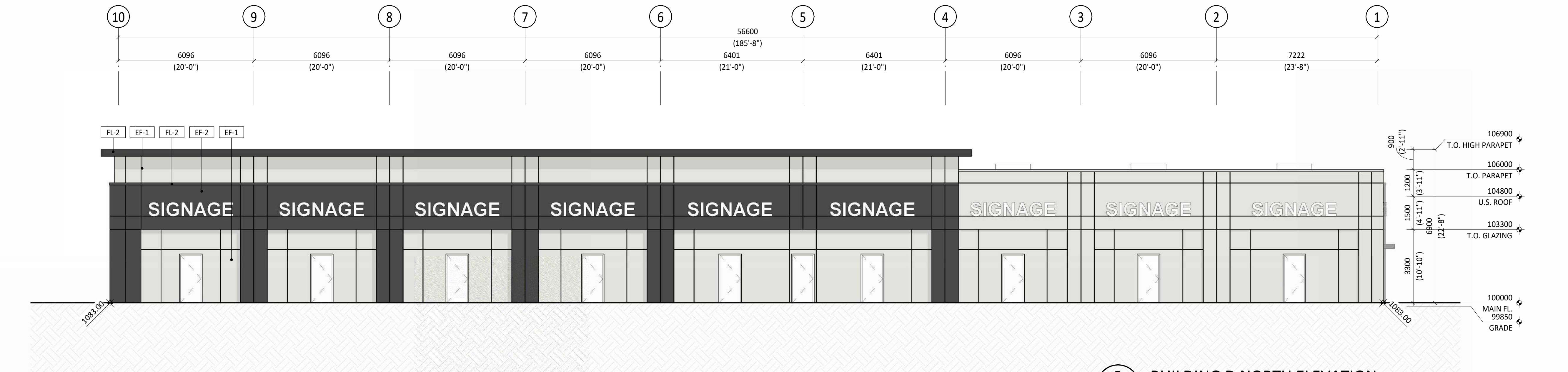
2 BUILDING D WEST ELEVATION
DP-D40.01 1:100



1 BUILDING D SOUTH ELEVATION
DP-D40.01 1:100



4 BUILDING D EAST ELEVATION
DP-D40.01 1:100



3 BUILDING D NORTH ELEVATION
DP-D40.01 1:100

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MATERIALS

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EF-2 EIFS - STUCCO FINISH - CHARCOAL
FL-1 FLASHING - OFF WHITE
FL-2 FLASHING - CHARCOAL
GL-1 GLAZING - STOREFRONT GLAZING

CLIENT REVIEW 2026-05-01

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Development Permit No. DSPP No.

350,140-10 Ave SE

Calgary, Alberta.

TZG OR1

Ph: 403.233.2000

GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title
BUILDING D ELEVATIONS AND SECTIONS

Drawn by: Author Scale

Reviewed by: EL 1:100

Manager: Date (YYYY-MM-DD)

Peer Review:

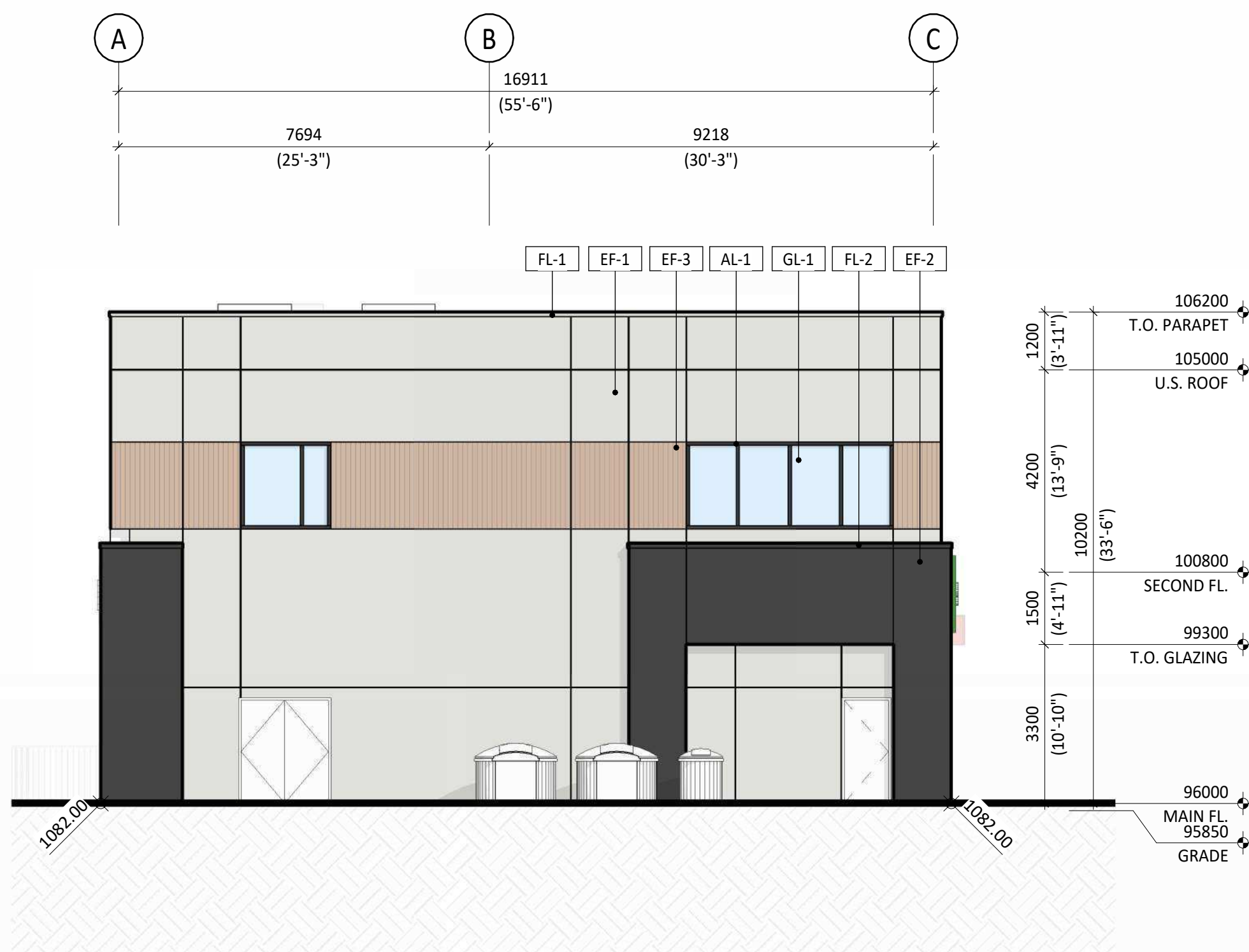
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DP-D40.01 Revision Number

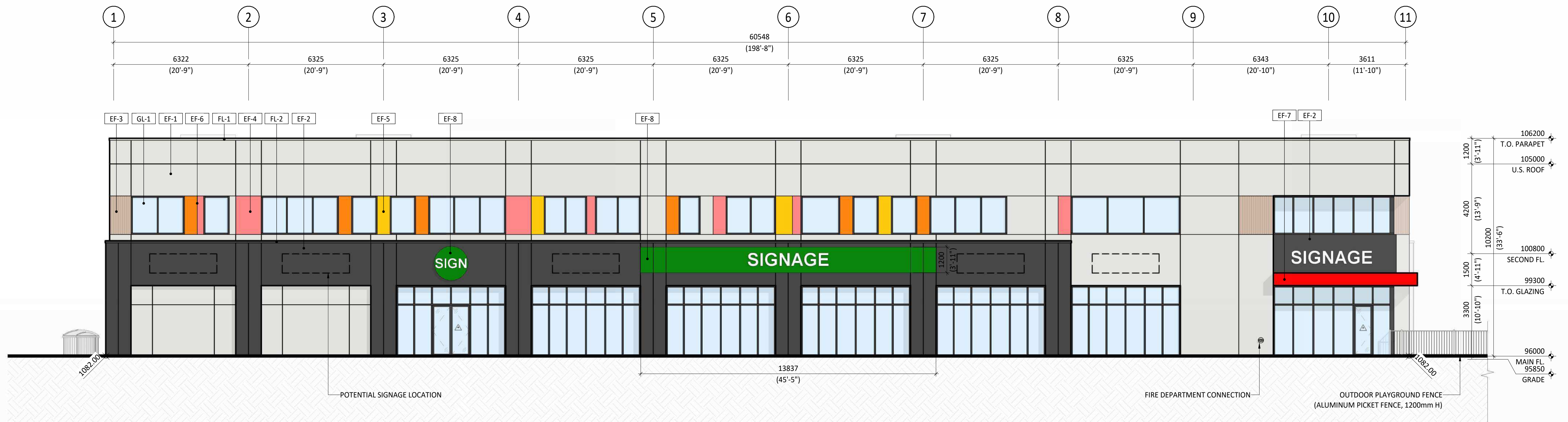
- NOTES:**
- DIMENSION TO FACE OF STUD (INTERIOR PARTITIONS), CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
 - NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
 - VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUM, REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
 - DO NOT SCALE DRAWINGS.
 - THIS DRAWING SUPERCEDES PREVIOUS ISSUES.

MATERIALS

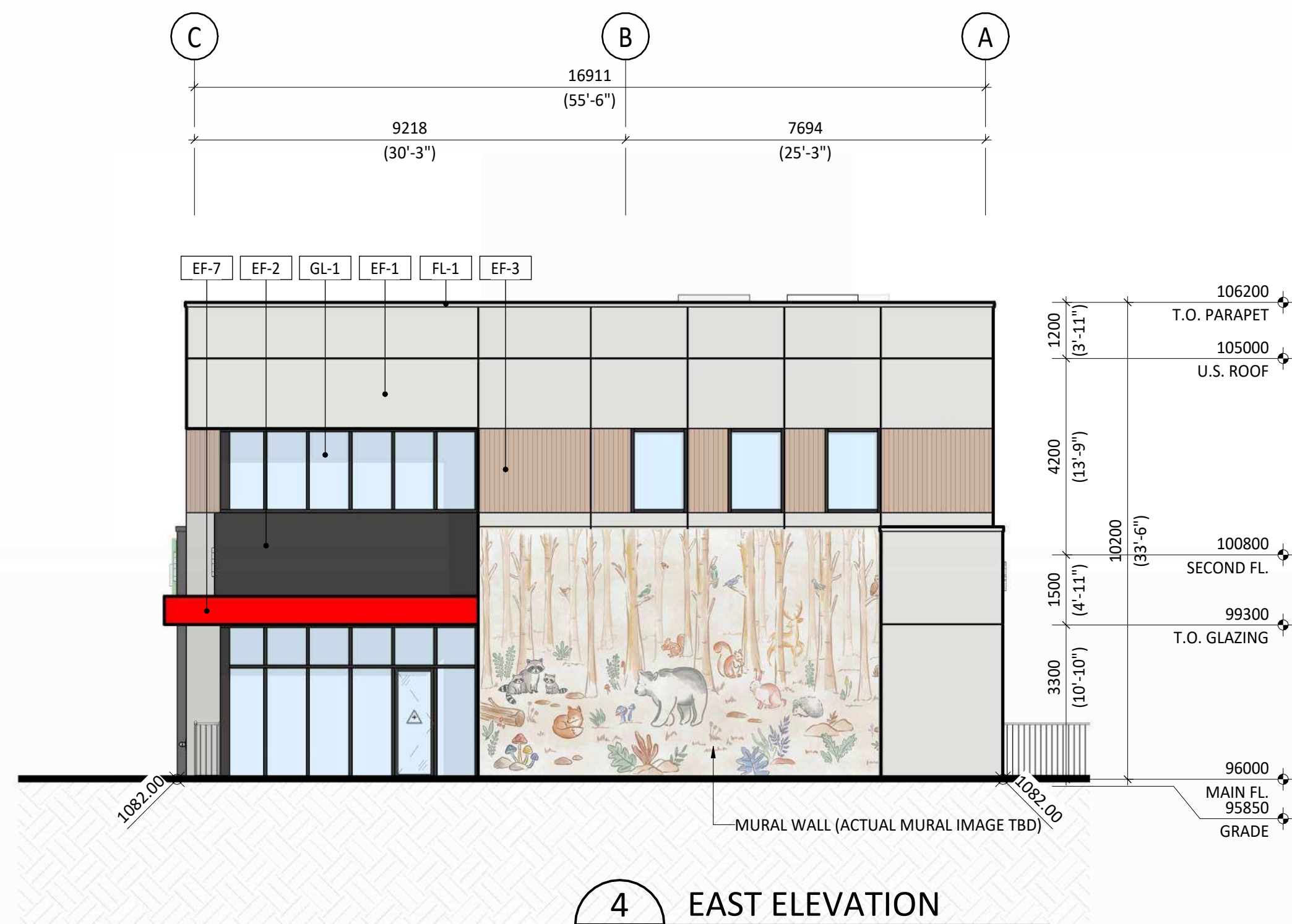
- | | |
|------|--|
| AL-1 | ALUMINUM COATING - COLOUR |
| EF-1 | EIFS - STUCCO FINISH - OFF WHITE |
| EF-2 | EIFS - STUCCO FINISH - CHARCOAL |
| EF-3 | EIFS - STUCCO FINISH - WOOD |
| EF-4 | EIFS - STUCCO FINISH - ACCENT COLOUR 1 |
| EF-5 | EIFS - STUCCO FINISH - ACCENT COLOUR 2 |
| EF-6 | EIFS - STUCCO FINISH - ACCENT COLOUR 3 |
| EF-7 | EIFS - STUCCO FINISH - ACCENT COLOUR 4 |
| EF-8 | EIFS - STUCCO FINISH - TENANT BRAND COLOUR |
| FL-1 | FLASHING - OFF WHITE |
| FL-2 | FLASHING - CHARCOAL |
| GL-1 | GLAZING - STOREFRONT GLAZING |



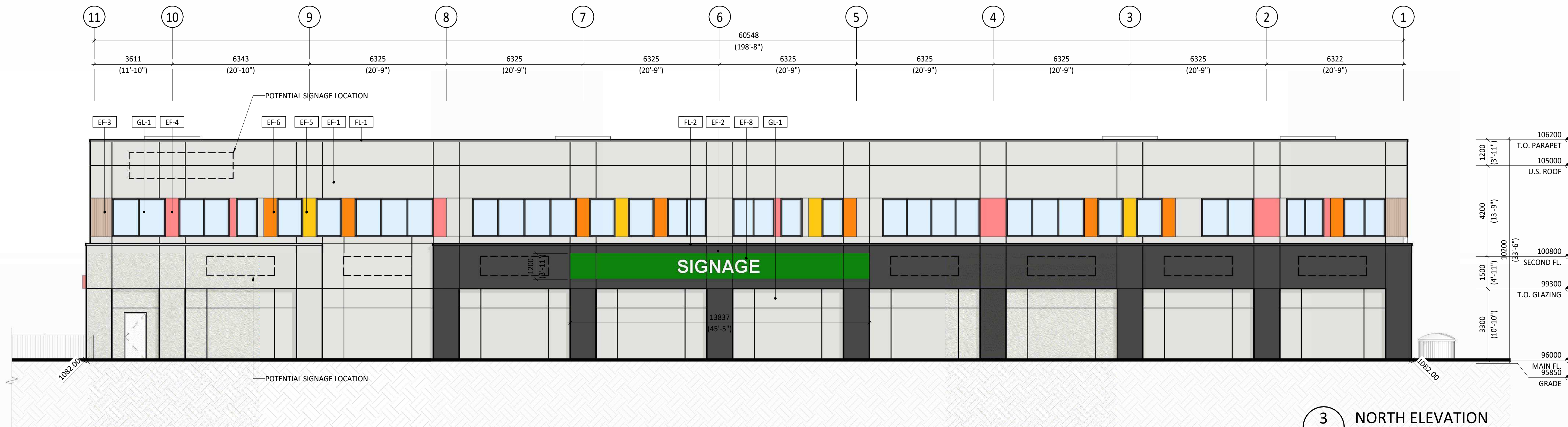
2 WEST ELEVATION
DP-E40.01 1:100



1 SOUTH ELEVATION
DP-E40.01 1:100



4 EAST ELEVATION
DP-E40.01 1:100



3 NORTH ELEVATION
DP-E40.01 1:100

CLIENT REVIEW 2026-05-01
No. Description Date (YYYY-MM-DD)

Issued For / Revisions

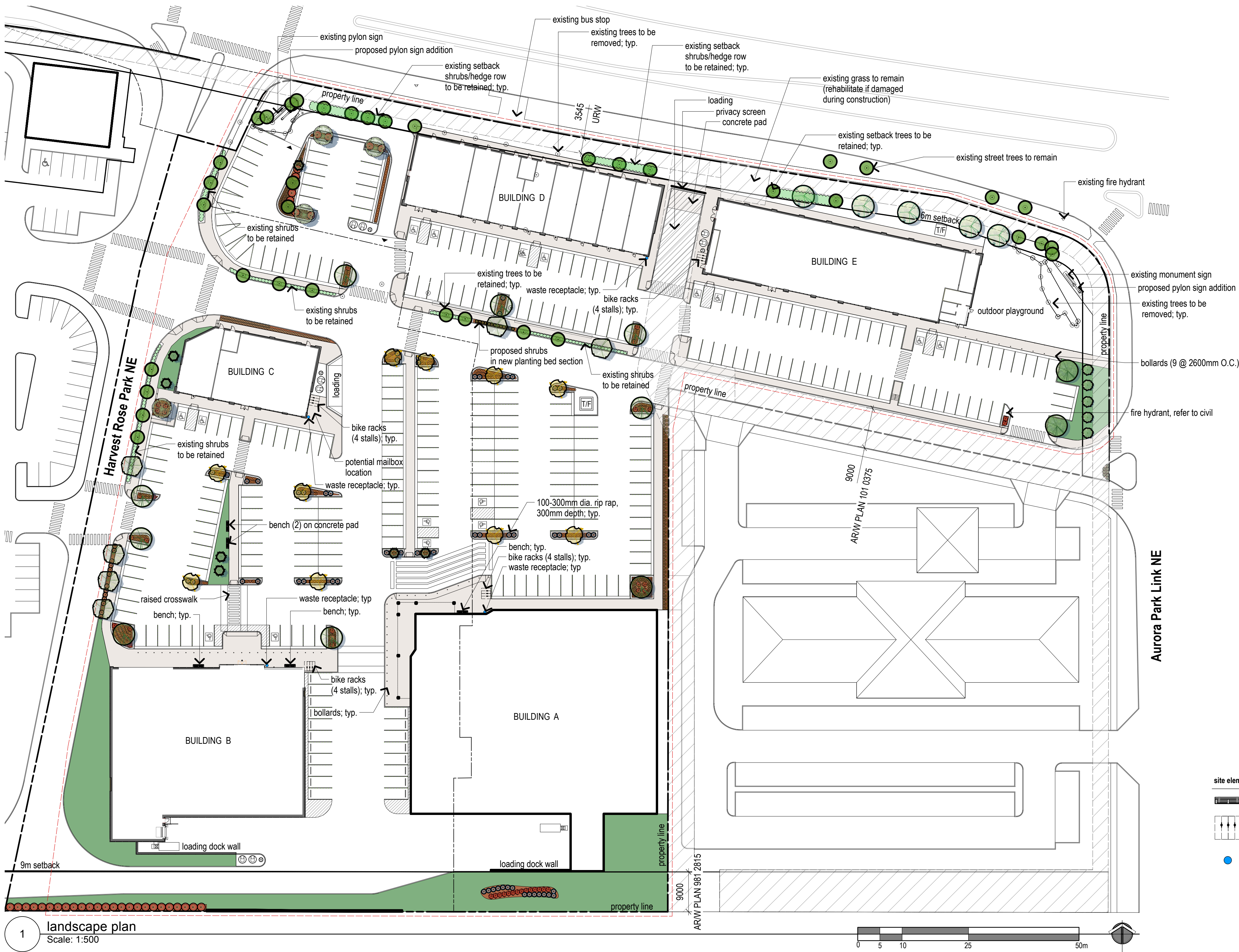
Project	Project Number:
HARVEST HILLS COMMERCIAL	
333 96 Ave NE Calgary, Alberta	
Legal Description SW 1/4-22-25-1-W5M	Building Permit No.
Development Permit No.	DSPP No.

GGA-ARCHITECTURE 350,140-10 Ave SE
Calgary, Alberta.
TZG OR1
Ph: 403.233.2000
Fax: 403.264.2077

Drawing Title
BUILDING E ELEVATIONS AND SECTIONS

Drawn by: Author	Scale 1:100
Reviewed by: EL	Date (YYYY-MM-DD)
Manager:	
Peer Review:	

Drawing Number	Drawing Package
DP-E40.01	Revision Number



1

landscape plan

Scale: 1:500

land use bylaw landscape requirements

City of Calgary Zoning:

C-C2

total parcel area

28,826.00 m2

landscape setback areas

6.0m front setback area per LUB 766: 96 Avenue NE (north)	1,156.36	m2
9.0m rear setback area per LUB 767.1d: Direct Control open space (south)	1,339.29	m2
6.0m side setback area per LUB 768.1d: Aurora Park Link (east)	242.21	m2
6.0m side setback area per LUB 768.1a: Harvest Rose Park (west)	0.00	m2
total setback area	2737.86	m2

total number of trees required in setback areas (LUB 769.1.b.ii + .3.c.ii one tree/50m2)

	required	provided
6.0m front setback area per LUB 766: 96 Avenue NE (north)	23	21
9.0m rear setback area per LUB 767.1d: Direct Control open space (south)	27	0*
6.0m side setback area per LUB 768.2: Aurora Park Link (east)	5	5
6.0m side setback area per LUB 768.2: Harvest Rose Park (west)	0	0*
trees in setback	55	26
total trees (setback + on site)		82

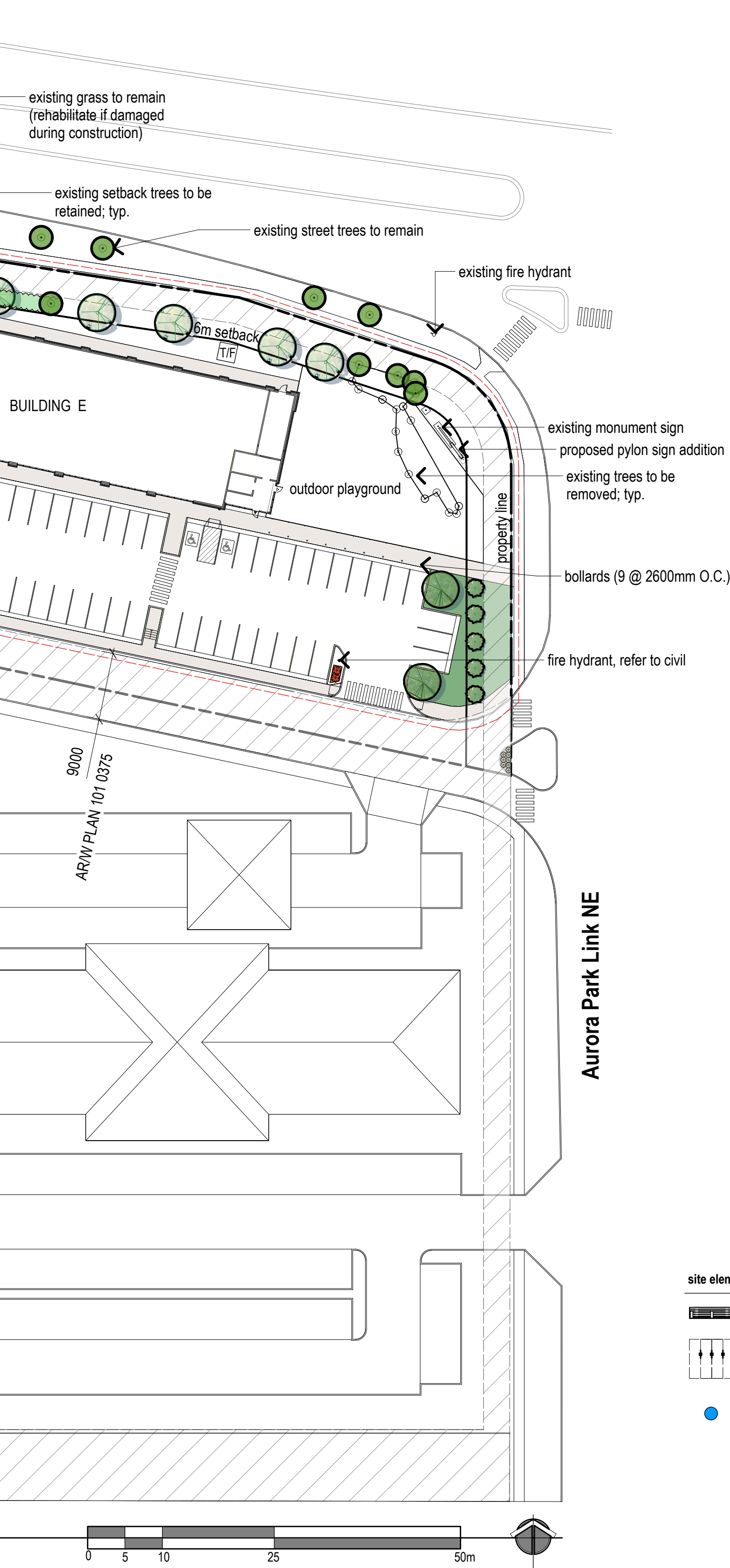
* due to utility right of way in north, east, and south setbacks, required trees have been planted in other areas on site

total number of shrubs required in setback areas (LUB 769.1.b.ii + .3.c.ii two shrubs/50m2)

	required	provided
6.0m front setback area per LUB 766: 96 Avenue NE (north)	46	0*
9.0m rear setback area per LUB 767.1d: Direct Control open space (south)	54	54
6.0m side setback area per LUB 768.2: Aurora Park Link (east)	10	0*
6.0m side setback area per LUB 768.2: Harvest Rose Park (west)	0	0*
total shrubs in setback	110	54

* due to utility right of way in north, east, and south setbacks, required shrubs have been planted in other areas on site

total deciduous tree breakdown (75% of total trees)			
large trees (50% min 75mm cal)	10	22	
small trees (50% min 50mm cal)	10	10	
total deciduous trees	20	32	
total site coniferous tree breakdown (25% of total trees)			
large trees (50% 3.0m ht min)	4	4	
small trees (50% 2.0m ht min)	3	12	
total coniferous trees	7	16	
total trees proposed on site	27	48	
total trees; proposed and retained		82	
parking lot total area* (including drive aisles, parking stalls & vehicular access)			
required	9,660.00		
provided			
required			
provided			
parking lot landscaped areas including islands, strips, and softscaped areas that interface the parking lot (0.15 m2 for every 1.0 m2 of total surface area per LUB 694.2a)			
combined lengths of parking strips	1,449.00	m2	3,287.80 m2
required parking lot islands start/end of parking rows (1 tree each per LUB 694.3d)	14	14	
parking strips (1 tree per 15.0m of length per LUB 694.4d)	13	13	
total trees in parking lot	27	27	
required shrubs parking lot islands start/end of parking rows (2 shrubs each per LUB 694.3d)			
shrubs in strips + landscaped areas around parking lot perimeter		40	
total shrubs in parking lot		75	
total shrubs planted on site (less parking lot + setback planting requirements)		26	

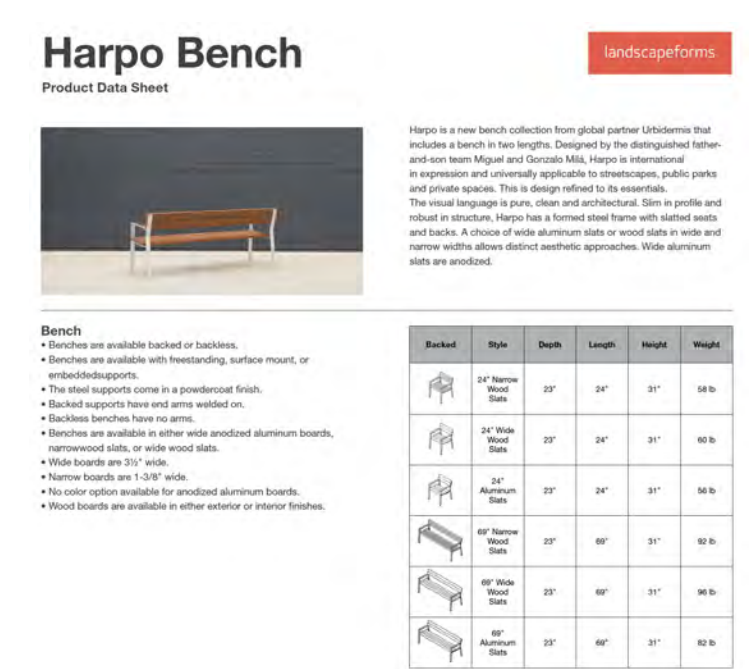
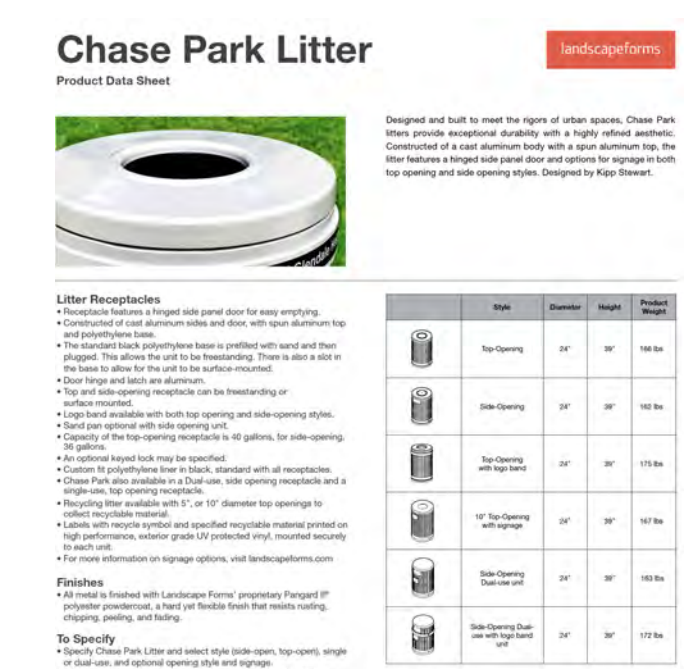
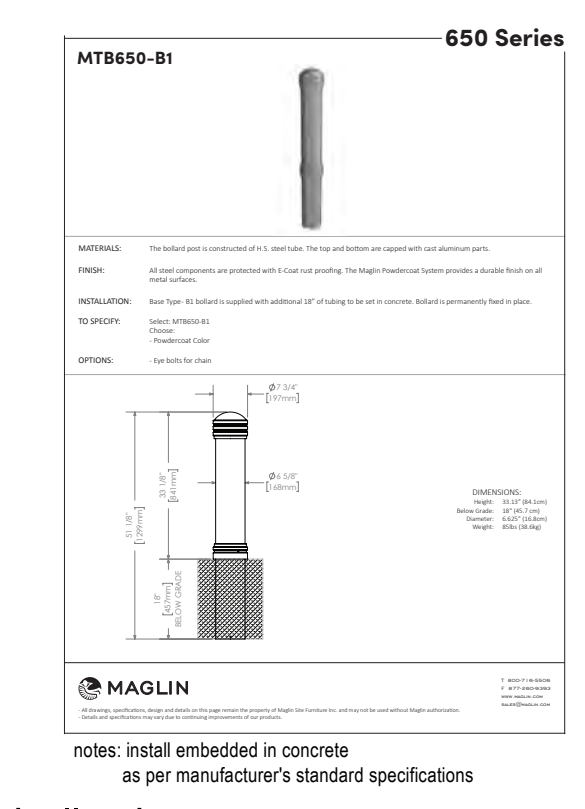


trees		
pyramidal mountain ash <i>Sorbus aucuparia</i> 'Fasigiata' Qty: 11	75mm caliper balled and burlapped	
amur maple <i>Acer ginniala</i> Qty: 10	50mm caliper balled and burlapped	
white spruce <i>Picea glauca</i> Qty: 4	3m height balled and burlapped	
sester's dwarf spruce <i>Picea pungens</i> 'Sester Dwarf' Qty: 7	2m height balled and burlapped	
* trembling aspen <i>Populus tremuloides</i> Qty: 5	75mm caliper balled and burlapped	
* lodgepole pine <i>Pinus contorta</i> Qty: 5	2m height balled and burlapped	
brandon elm <i>Ulmus americana</i> 'Brandon' Qty: 6	75mm caliper balled and burlapped	
existing tree to be retained Qty: 34	existing shrub/hedge row to be retained Qty: approximate area, to be confirmed on-site	
* trees proposed within setback; 16 north setback trees retained		

shrubs		
mugo pine <i>Pinus mugo</i> Qty: 55	#5 container 600mm min height or spread	
dwarf korean lilac <i>Syringa meyeri</i> 'Palibin' Qty: 13	#5 container 600mm min height or spread	
goldflame spirea <i>Spiraea x bumalda</i> 'Goldflame' Qty: 13	#5 container 600mm min height or spread	
woods rose <i>Rosa woodsii</i> Qty: 39	#5 container 600 mm min height + spread	
rose glow japanese barberry <i>Berberis thunbergii</i> 'Rose Glow' Qty: 35	#5 container 600mm min height or spread	

perennials		
little bluestem <i>Schizachyrium scoparium</i> 'Standing Ovation' Qty: 141	#2 container	
heavy metal blue switch grass <i>Panicum virgatum</i> 'Heavy Metal' Qty: 64	#2 container	
Karl Foerster Feather Reed Grass <i>Calamagrostis acutiflora</i> 'Karl Foerster' Qty: 49	#2 container	
stella de oro daylily <i>Heemerocallis</i> 'Stella de Oro' Qty: 339	15cm pot	

site elements		material legend	
bench	Qty: 5	freedom fescue sod: 25% creeping red fescue – audubon creeping red fescue 25% sheep fescue – mx 86 sheep fescue 25% sheep fescue – marco polo sheep fescue 25% ecostar hard fescue – ecostar hard fescue	
bike rack	Qty: 16	plain grey broom finish concrete; refer to civil	
waste receptacle model: ring, electro polished stainless steel from Landscape Forms	Qty: 4	planting bed growing medium	



bollard waste receptacle bench bike rack

NOT FOR CONSTRUCTION

for review and coordination only

notes

- This drawing is copyright © 818 studio ltd., and shall not be reproduced, revised, transmitted, and/or utilized by any third party outside of the Owner without written permission from 818 studio ltd.
- These drawings are schematic in nature and intended solely for Development Permit approval. These drawings are not final and are subject to change based on client input and City requirements. Do not use for construction, detailed pricing, or fabrication purposes.
- Do not scale drawings.
- Refer to Civil drawings for all grading information.
- All walkways are plain concrete unless noted otherwise.
- All landscape areas to be watered with an automatic underground irrigation system. Contractor to ensure irrigation meter is installed and properly operating prior to charging and running the irrigation system.

EIGHT ONE EIGHT STUDIO

PLANNING + DESIGN COLLABORATIVE

number	revision	date	by	approved
2	development permit	2026-05-15		
1	draft dtp	2026-05-13		
issued for		date (y.m.d)		

project

harvest hills commercial

drawing

landscape plan

drawn

rr

checked

pt

date

2026/04/13

scale

as noted

approved

rbg

project number

104.52

sheet

DPL1