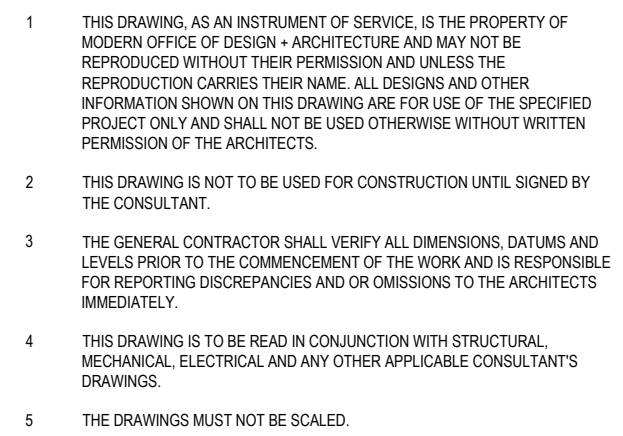


A000	TITLE SHEET
A001	SITE PHOTOS
A002	BYLAW / INFO
A003	CONCEPT IMAGES
A0052	SITE / LANDSCAPE PLAN
A101	LEVEL 0 PARKING PLAN
A102	LEVEL 1 MAIN FLOOR PLAN
A103	LEVEL 2 & 3 FLOOR PLAN
A104	LEVEL 4 - 6 FLOOR PLAN
A105	ROOF PLAN
A301	EXTERIOR ELEVATIONS
A302	EXTERIOR ELEVATIONS
A401	BUILDING SECTIONS



REVISIONS

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PROJECT

NAME THE CHELSEA

NUMBER 26002

ADDRESS 2115, 2117 24 AVE NW, CALGARY AB

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DRAWING INFORMATION

SCALE

DRAWN BY BK

CHECKED BY

TITLE SHEET

A000



MAIN ENTRANCE



NORTH-WEST BIRD'S EYE VIEW



WEST ELEVATION



NORTH ELEVATION



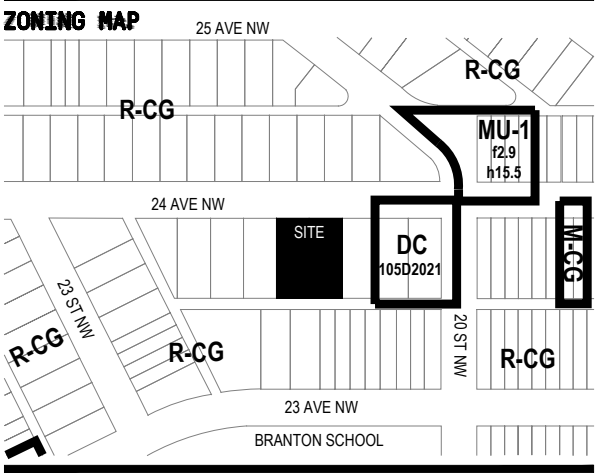
EAST ELEVATION



SOUTH ELEVATION

MODA

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REVISIONS

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PROJECT

NAME THE CHELSEA

NUMBER 20002

ADDRESS 2115, 2117 24 AVE NW, CALGARY AB

LEGAL PLAN 911093 BLOCK 14 LOT 12 & 13

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DRAWING INFORMATION

SCALE NTS

DRAWN BY BK

CHECKED BY BK

CONCEPT
IMAGES

A003

DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lots 12 & 13
Block 14
Plan 9110G1
MUNICIPAL ADDRESS: 2115/2117 24 Avenue N.W.
Calgary, Alberta

DATE OF SURVEY: February 25th, 2026.

LEGEND

Elevations are shown thus: X = 1000.00 Metres. (Geodetic)
Elevations are referred to ASCM 5017 Elev=1000.66
Distances are in metres and decimals thereof.
Bearings are Grid (GTM-1149) and Derived from GNSS Observations.
Found Iron Posts are shown thus: 
Drill Holes are shown thus: 
Found Iron Bars are shown thus: 
Magnetic Nails are shown thus: 
Calculation points are shown thus: 
Fire Hydrants are shown thus: 
Water Valves are shown thus: 
Gas Valves are shown thus: 
Manholes are shown thus: 
Camp Standards are shown thus: 
Street Signs are shown thus: 
Property lines are shown thus: 
Utility Right of Way are shown thus: 
Eaves are shown thus: 
Fences are shown thus: 
Strengthened Cables are shown thus: 
Underground Electrical lines shown thus: 
Stormlines are shown thus: 
Sanitarylines are shown thus: 
Combined Storm/Sanitary are shown thus: 
Telephone Lines are shown thus: 
Vocallines are shown thus: 
Overhead Electrical lines shown thus: 
All fences are within 0.2 metres of the property line unless otherwise shown.
All eaves are measured to fascia unless otherwise shown.
Unless noted otherwise lines outside of property are not to scale.

NOTE

Lot 12. This information is based on the C. of T. 021 290 182 which was searched on the 22nd day of February, 2026, and is subject to:
Covest No.: 13560, 921 284 942, 941 235 817

ABBREVIATIONS

A—Arc Length
ACC—Accessory
A/C—Air Conditioner
B—Building
BOC—Bank of Curve
BOW—Bank of Water
Calc.—Calculated
C/L—Centerline
C/L—Centerline
D/H—Drill Hole
E/C—Endorsement
F/S—Found
L—Iron Post
L/S—Lip of Gutter
M.A.—Main Entrance Access
M.K.—Mark
O.D.—Overhead Drainage
R/W—Right of Way
R/W—Right of Way
W/O—Without Basement
W/W—Window Well

This plan represents the best information at the time of survey.
Arc Surveys Ltd. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.
Call Alberto One—Call: 1-800-242-3447

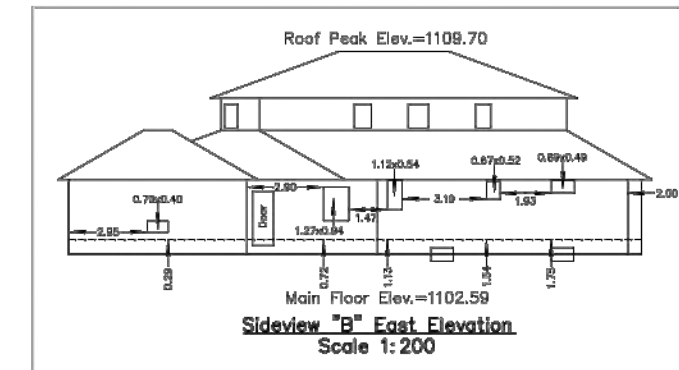
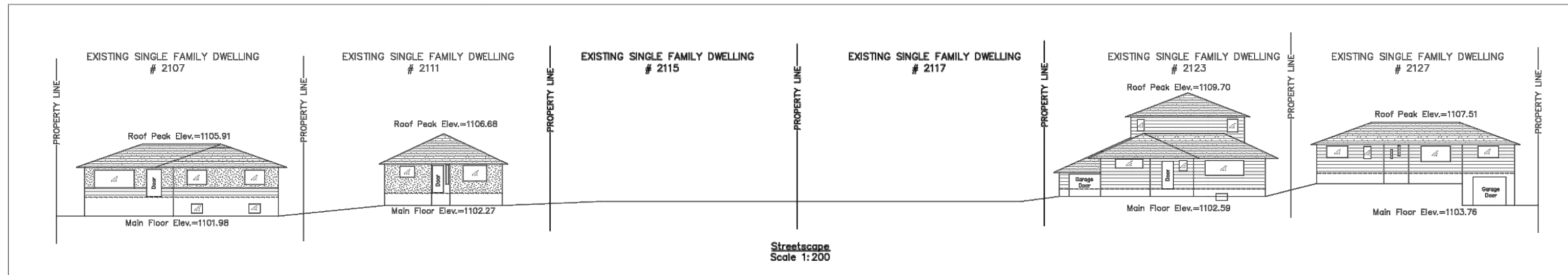
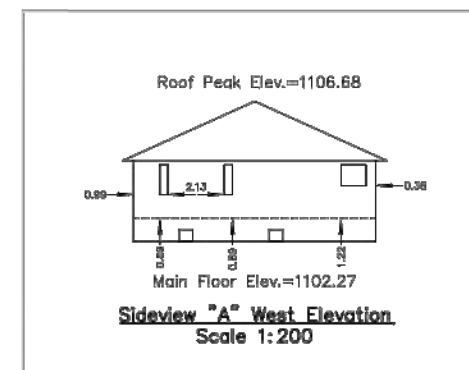
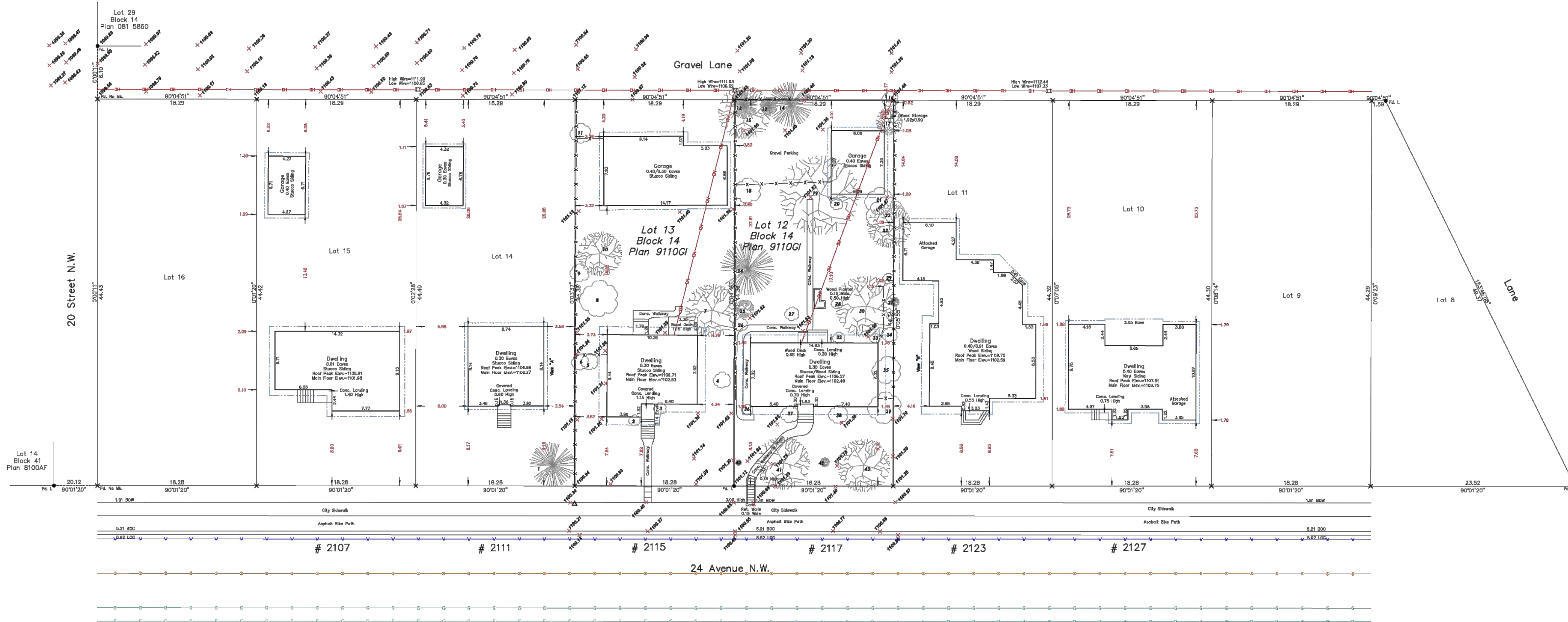
 denotes Coniferous
 denotes Deciduous

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia.	Height
1	Coniferous	0.80	5.00	9.50
2	Bush	1.20	1.20	1.60
3	Bush	1.30	1.30	1.50
4	Bush	1.80	1.80	3.00
5	Bush	1.80	1.80	3.00
6	Bush	1.80	1.80	3.00
7	Deciduous	0.55	6.00	6.00
8	Bush	4.00	4.00	4.00
9	Bush	2.00	2.50	2.50
10	Deciduous	0.55	5.00	6.00
11	Bush	2.50	2.50	2.50
12	Coniferous	0.40	3.00	10.00
13	Coniferous	0.35	2.00	10.50
14	Coniferous	0.45	5.00	10.50
15	Deciduous	0.30	5.00	6.00
16	Bush	1.70	1.70	4.00
17	Deciduous	0.20	3.00	5.00
18	Bush	2.80	2.80	3.00
19	Deciduous	0.85	9.00	8.00
20	Bush	1.30	1.60	1.60
21	Bush	3.00	3.00	5.00
22	Bush	4.00	5.00	5.00
23	Deciduous	0.25	6.00	6.00
24	Coniferous	0.50	6.00	11.00
25	Deciduous	0.10	2.00	5.50
26	Bush	1.50	2.30	2.30
27	Bush	1.50	1.50	1.50
28	Bush	1.20	1.90	1.90
29	Bush	1.20	3.00	3.00
30	Deciduous	0.50	7.00	7.00
31	Deciduous	0.30	1.00	5.00
32	Bush	1.30	1.40	1.40
33	Bush	1.10	2.00	2.00
34	Bush	1.80	1.80	1.80
35	Bush	3.00	3.00	3.00
36	Bush	1.20	2.50	2.50
37	Bush	1.90	2.60	2.60
38	Bush	2.50	0.50	0.50
39	Bush	3.50	3.50	3.50
40	Deciduous	0.05	0.60	2.00
41	Deciduous	0.50	6.00	8.00
42	Deciduous	0.05	1.00	2.50
43	Deciduous	0.50	6.00	8.00

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ZONING MAP



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REVISIONS

STAMP

PROJECT

NAME THE CHELSEA

NUMBER 2602

ADDRESS 2115, 2117 24 AVE NW, CALGARY AB

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DRAWING INFORMATION

SCALE 1:150

DRAWN BY DV

CHECKED BY

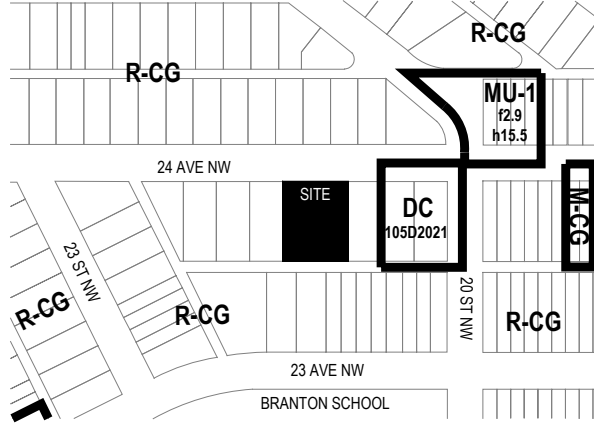
SITE
SURVEY

A051

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ZONING MAP



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NAME THE CHELSEA

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DRAWING INFORMATION

SCALE 1/8" = 1'-0"

DRAWN BY BK

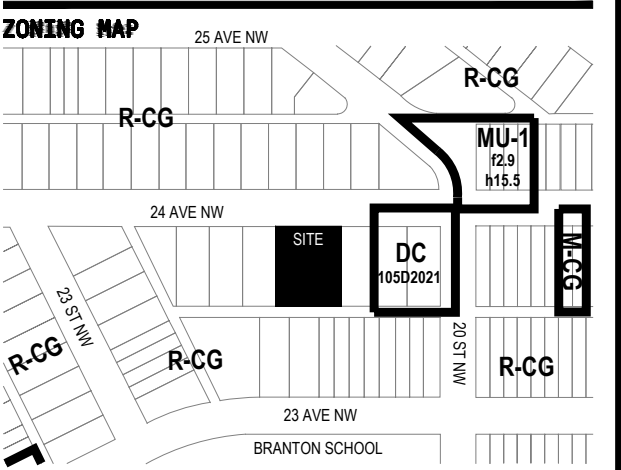
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EXTERIOR
ELEVATIONS

A301



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REVISIONS

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888 KLUMPER Architect, AIA, Principal

DRAWING INFORMATION

SCALE 1/8" = 1'-0"

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EXTERIOR ELEVATIONS

A302



1 SOUTH ELEVATION
A302 1/8" = 1'-0"

2 WEST ELEVATION
A302 1/8" = 1'-0"

KEY LEGEND

- FLUTED METAL PANEL CLADDING - BLACK
- VERTICAL PREFINISHED METAL PLANK - GREY
- PREFINISHED METAL PANEL - WHITE
- PREFINISHED METAL FLASHING - COLOUR TO MATCH ADJACENT CLADDING
- BRICK ARCHITECTURAL BUILD OUT - GREY
- PREFINISHED METAL PICKET GUARD RAIL - GREY
- GLASS GUARD RAIL
- NATURAL CONCRETE FINISH
- PREFINISHED VERTICAL ALUMINUM FINS - COLOUR TO MATCH ADJACENT CLADDING
- ALUMINUM CLAD VINYL WINDOW - DARK GREY
- PREFINISHED INSULATED OVERHEAD DOOR - GREY
- STAINED WOOD FENCE - GREY
- ILLUMINATED GOLD-TRIMMED SIGNAGE