



1 | Site Plan - Existing Context
1 : 500



S-IAD

Synergy Initiative of Architecture + Design

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CPHD, LEED AP BD+C

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AMENDED DRAWINGS

DP No Date Received
DP2026-03013 JUL 17 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

**EXPERIENCE CHURCH
4700 102 Ave SE**

DRAWING TITLE:

Site Plan -
Existing
Context

DATE:

2026 07 17

NOTE: This design is the
property of **S-IAD** & is not to
be used in any manner
without written approval from
S-IAD.

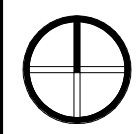
ISSUE FOR:

Development
Permit

SHEET

A0.2

REVISION



#	Description	Date
Revision Schedule		



EXISTING MAIN FLOOR AREA: 14,795.10 SQ/FT

EXISTING SECOND FLOOR AREA: 4,383.5 SQ/FT

EXISTING TOTAL FLOOR AREA: 19,178.60 SQ/FT

SITE LEGEND:

- PROPERTY LINE
- SETBACK LINE
- URW LINE
- NATIVE GRASS
- LIMESTONE LANDSCAPE GRAVEL
- ASPHALT
- SIDEWALK/PAD CAST-IN-PLACE
- LANDSCAPE MULCH
- PAVER PAD
- SITE LIGHT
- STORM WATER MANHOLE COVER
- CATCH BASIN
- PEDESTRIAN PATH PAINTED LINES
- CONCRETE WHEEL STOP
- FIRE TRUCK ACCESS
- RECYCLING + GARBAGE SORTING AREA
- MATERIALS FOR RECYCLING INCLUDE: WOOD, PLASTICS, CARDBOARD.
- STORM WATER
- WATER MAIN
- SANITARY SEWER
- ENMAX ELECTRICAL LINE
- ATCO GAS LINE
- WATER METER
- GAS METER
- ELECTRICAL PANEL
- FIRE HYDRANT
- PATH OF TRAVEL
- SIDEWALK ACCESSIBLE SLOPE

GENERAL NOTES:

- PLAN NOTES:
- A1. NO CHANGES PROPOSED TO EXISTING CURB, GUTTERS, SITE ENTRY
 - A2. NO CHANGE PROPOSED TO SITE PVAING, SITE GRAVEL OR SITE CONCRTE
 - A3. PARKING LOT TO REMAIN AS IT IS, STALL LINES ARE DRAWN FOR REFERENCE FOR PARKING CAPACITY ONLY
 - A4. NO CHANGE PROPOSED TO SITE GRADES OR GRADING
 - A5. EXISTING BIKE PARKING
 - A6. EXISTING FIRE HYDRANT
 - A7. EXISTING DRIVEWAY AND FIRETRUCK ACCESS ASSUMED TO:
 - BE ABLE TO SUPPORT VEHICLE WEIGHT FOR FIRE FIGHTING OF MIN 38,556 kg OR 85,000 lbs
 - ENTIRE SITE WAS PREVIOUSLY DESIGNED TO SUPPORT LARGE SEMI TRUCKS AND FULL 11' CARGO TRAILERS
 - HAVE GRADES COMPLAINT FOR FIRE FIGHTING ACCESS
 - BE DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 517 kPa (75 psi) OVER A 24" BY 24" AREA CORRESPONDING TO THE OUTRIGGER SIZE.
 - A8. EXISTING POLE LIGHT
 - A9. EXISTING LIGHT POLE TO BE REMOVED
 - A10. ALL EXISTING TREES, SHRUBS AND PLANTIING ON SITE TO REMAIN AS IS, NO CHANGES PROPOSED
 - EXISTING TREE INVENTORY
 - 7 CONIFEROUS TREES
 - 17 DECIDUOUS TREES
 - 19 SHRUBS

SITE INFORMATION:

LOT: 16
BLOCK: 13
PLAN: 0811334

LOT: 23
BLOCK: RW
PLAN: RY32

CIVIC ADDRESS:

4700 102 AVE SE

AREA:

31,141.30 m²

ZONING: I-G INDUSTRIAL GENERAL

FAR: 1.0

BUILDING AREA:

EXISTING FOOTPRINT: 1,374.50 m²

PROPOSED FOOTPRINT: 1,374.50 m²

EXISTING GFA: 1,781.75 m²

PROPOSED GFA: 1,781.75 m²

PROPOSED FAR: 0.04

MAX BUILDING HEIGHT: 18.0 m

SETBACKS:

FRONT: 6.0 m

REAR: 1.2 m

SIDE: 1.2 m

PARKING REQUIREMENTS:

TOTAL STALLS PROVIDED:

434 ~ 1 STALL FOR EVERY 2 PERSONS

ACCESSIBLE STALLS:

NBC-AE 3.8.2.5

434 STALLS = Min 4 + 1 FOR EACH INCREMENT OF 100 STALLS

= 7 TOTAL REQUIRED

= 7 PROVIDED

BIKE PARKING:

EXISTING = 4

PROPOSED = 24 C2 STALLS PROVIDED

PARKING PROVIDED:

429 PARKING STALLS PROVIDED

0.95 STALLS / 2 PERSONS (905 PEOPLE)

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EXPERIENCE CHURCH
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DRAWING TITLE:

Site Plan -
Existing

DATE:

2026 07 17

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ISSUE FOR:

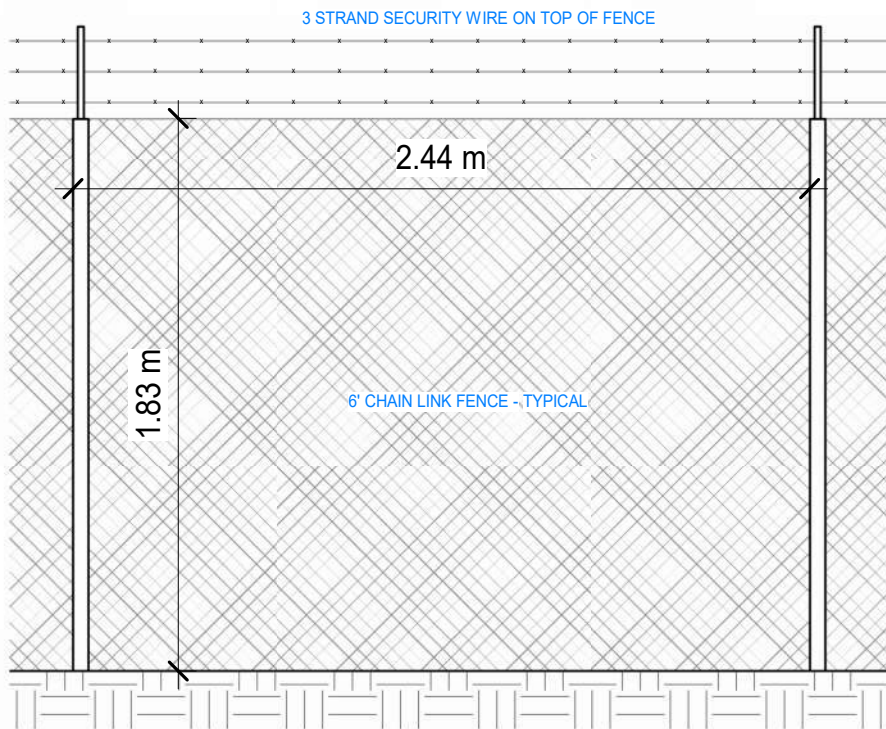
Development
Permit

SHEET

A1.0

REVISION

#	Description	Date
Revision Schedule		



2 Site Section - Chain Link Fence -

A1.0 Typical
1:25



SITE LEGEND:

- PROPERTY LINE
- SETBACK LINE
- URW LINE
- NATIVE GRASS
- LIMESTONE LANDSCAPE GRAVEL
- ASPHALT
- SIDEWALK/PAD CAST-IN-PLACE
- LANDSCAPE MULCH
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4700 102 AVE SE

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31,141.30 m²

ZONING: I-G INDUSTRIAL GENERAL

FAR: 1.0

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SETBACKS:
FRONT: 6.0 m
REAR: 1.2 m
SIDE: 1.2 m

PARKING REQUIREMENTS:
TOTAL STALLS PROVIDED:
434 ~ 1 STALL FOR EVERY 2 PERSONS

ACCESSIBLE STALLS:
NBC-AE 3.8.2.5
434 STALLS = Min 4 + 1 FOR EACH INCREMENT OF 100 STALLS
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EXISTING = 4
PROPOSED = 24 C2 STALLS PROVIDED

PARKING PROVIDED:
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0.95 STALLS / 2 PERSONS (905 PEOPLE)

GENERAL NOTES:

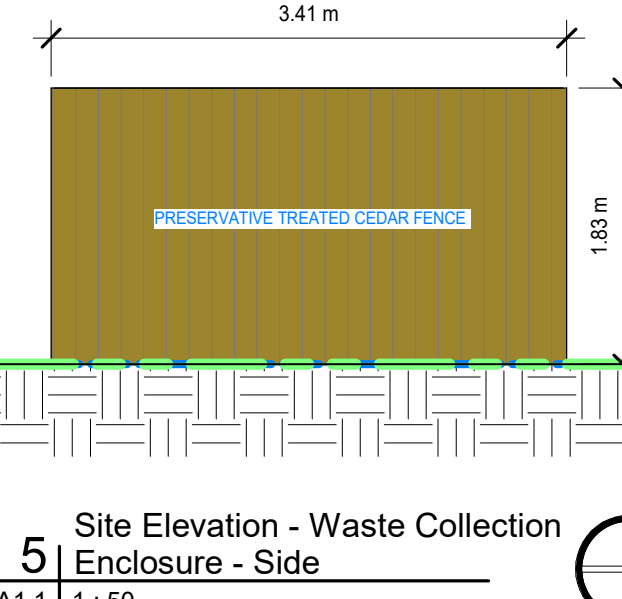
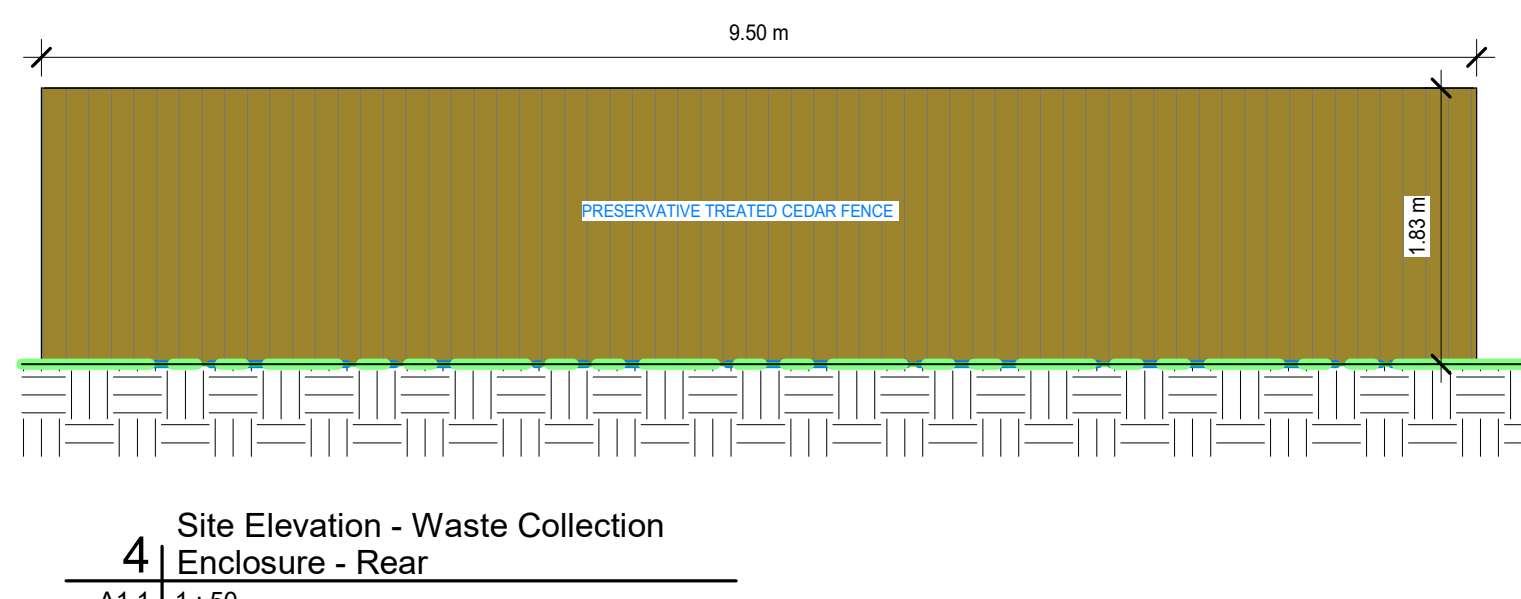
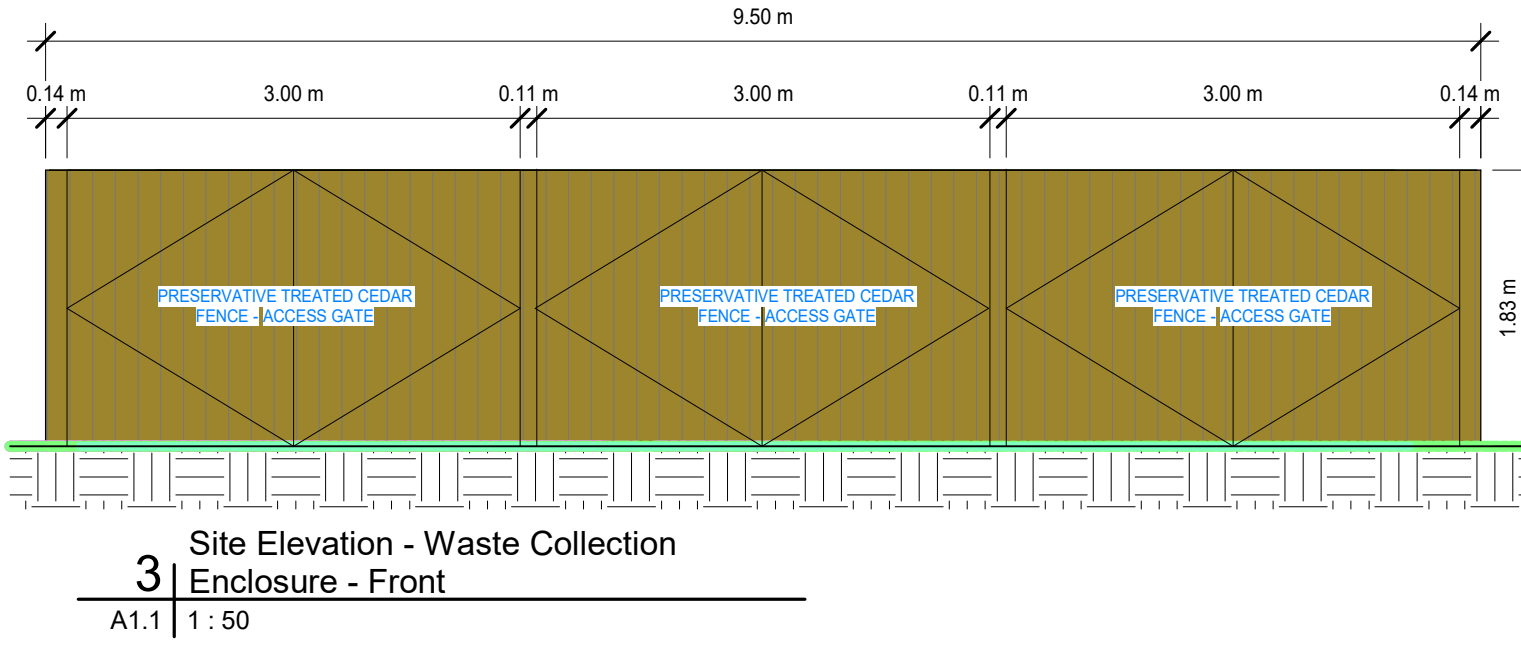
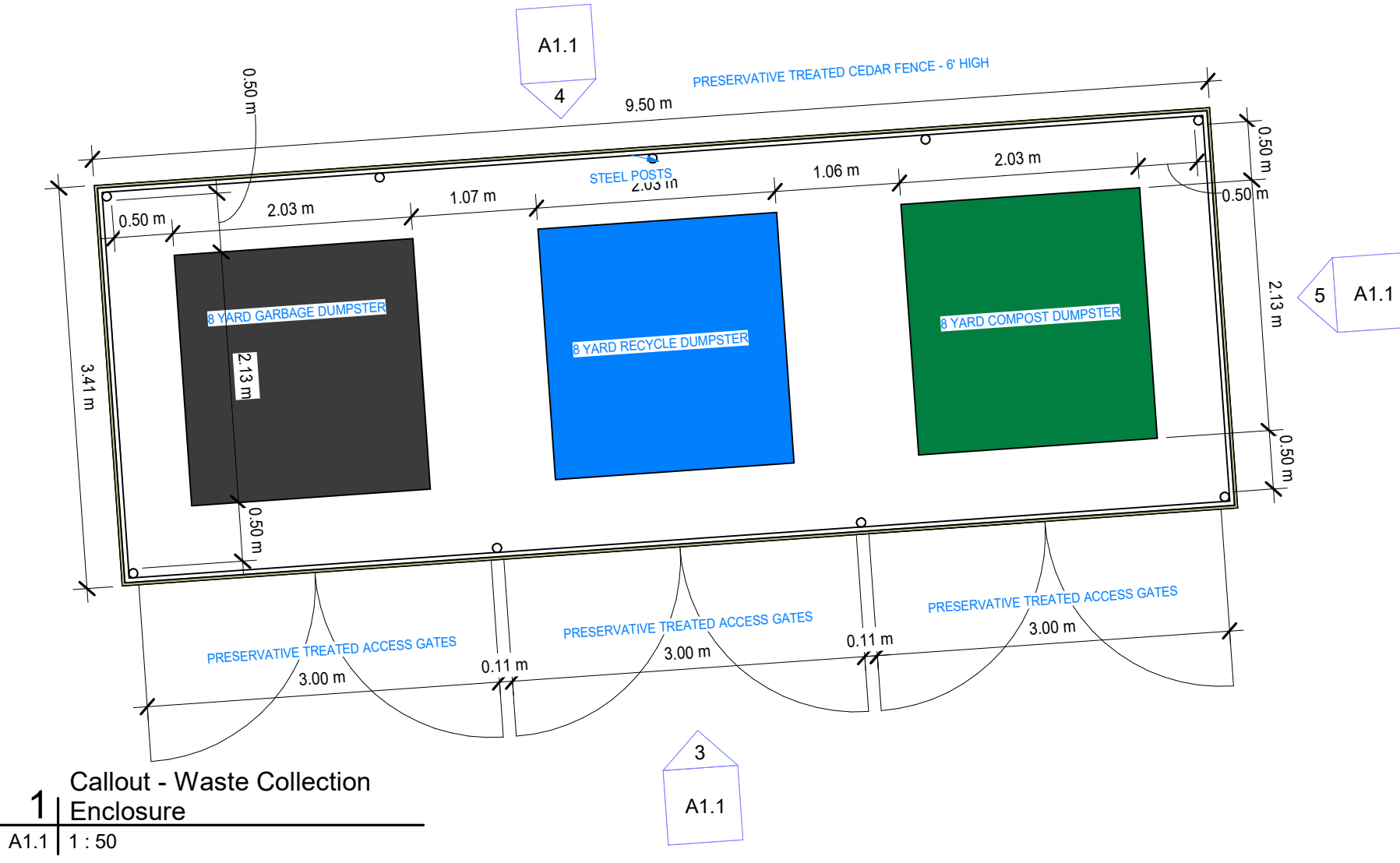
- PLAN NOTES:
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 - A4. NO CHANGE PROPOSED TO SITE GRADES OR GRADING
 - A5. PROPOSED ADDITIONAL BIKE PARKING NEAR EXISTING BIKE PARKING
 - A6. EXISTING FIRE HYDRANT
 - A7. EXISTING DRIVEWAY AND FIRETRUCK ACCESS ASSUMED TO:
- BE ABLE TO SUPPORT VEHICLE WEIGHT FOR FIRE FIGHTING OF MIN 38,556 kg OR 85,000 lbs
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- HAVE GRADES COMPLAINT FOR FIRE FIGHTING ACCESS
- BE DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 517 kPa (75 psi) OVER A 24" BY 24" AREA CORRESPONDING TO THE OUTRIGGER SIZE.
 - A8. EXISTING SITE POLE LIGHT
 - A9. GARBAGE + COLLECTION AREA:
- GARBAGE ENCLOSURE FENCE MADE OF TREATED CEDAR PLANKS
- 8 YARD GARBAGE, RECYCLING AND COMPOST DUMPSTERS
- INDIVIDUAL PICKUP
- PATH ASSUMED TO BE:
- SUPPORT VEHICLE WEIGHT IN THE COLLECTION AREA TO A MIN 25,000 kg
- ENTIRE SITE WAS PREVIOUSLY DESIGNED TO SUPPORT LARGE SEMI TRUCKS AND FULL CARGO TRAILERS
 - A10. ALL EXISTING TREES, SHRUBS AND PLANTING ON SITE TO REMAIN AS IS, NO CHANGES PROPOSED
EXISTING TREE INVENTORY
- 7 CONIFEROUS TREES
- 17 DECIDUOUS TREES
- 19 SHRUBS
 - A11. INSTALL CONCRETE WHEEL STOP ALONG FRONT OF PARKING STALLS NEAR THE BUILDING

2 | Site Plan - Proposed
1: 500

EXISTING MAIN FLOOR AREA: 14,795.10 SQ/FT

EXISTING SECOND FLOOR AREA: 4,383.5 SQ/FT

EXISTING TOTAL FLOOR AREA: 19,178.60 SQ/FT



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EXPERIENCE CHURCH
4700 102 Ave SE

DRAWING TITLE: Site Plan - Proposed	DATE: 2026 07 17
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ISSUE FOR:
Development Permit

SHEET A1.1	REVISION
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#	Description	Date
Revision Schedule		

TRADES ARE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & NOTES AND REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION

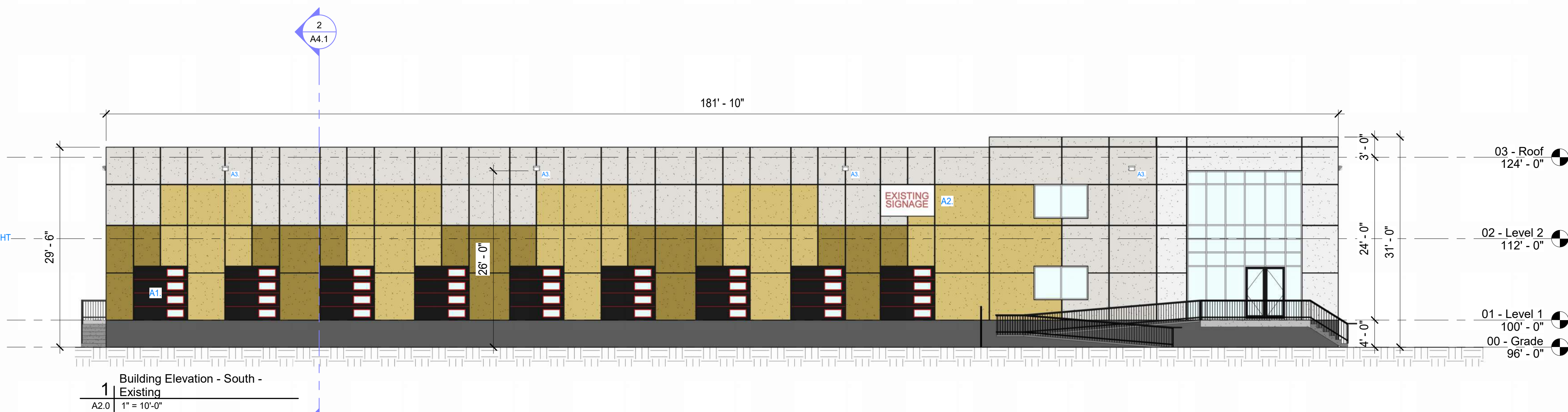
3' - 0" INTERIOR ROOM DIMENSIONS

3' - 0" MILLWORK DIMENSIONS

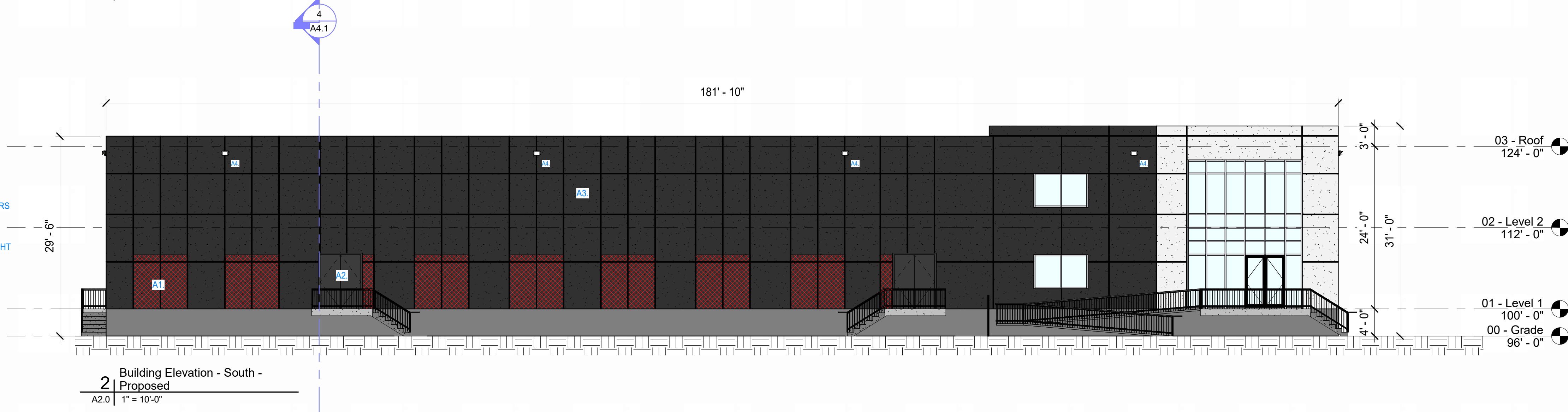
3' - 0" WINDOW/DOOR DIMENSIONS

3' - 0" MATERIAL DIMENSIONS

- A1. OVERHEAD DOORS TO BE REMOVED
- A2. EXISTING SIGNAGE TO BE REMOVED
- A3. EXISTING WALL PACK LIGHT - DOWNLIGHT-



- A1. INFILL WALL AREAS
- A2. INSTALL NEW EXTERIOR DOORS + STAIRS
- A3. PAINT WALL BLACK
- A4. EXISTING WALL PACK LIGHT - DOWNLIGHT



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EXPERIENCE CHURCH
4700 102 Ave SE

DRAWING TITLE

Building Elevations - South

DATE: _____

2026 07 17

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A3.1

REVISION

#	Description	Date
Revision Schedule		

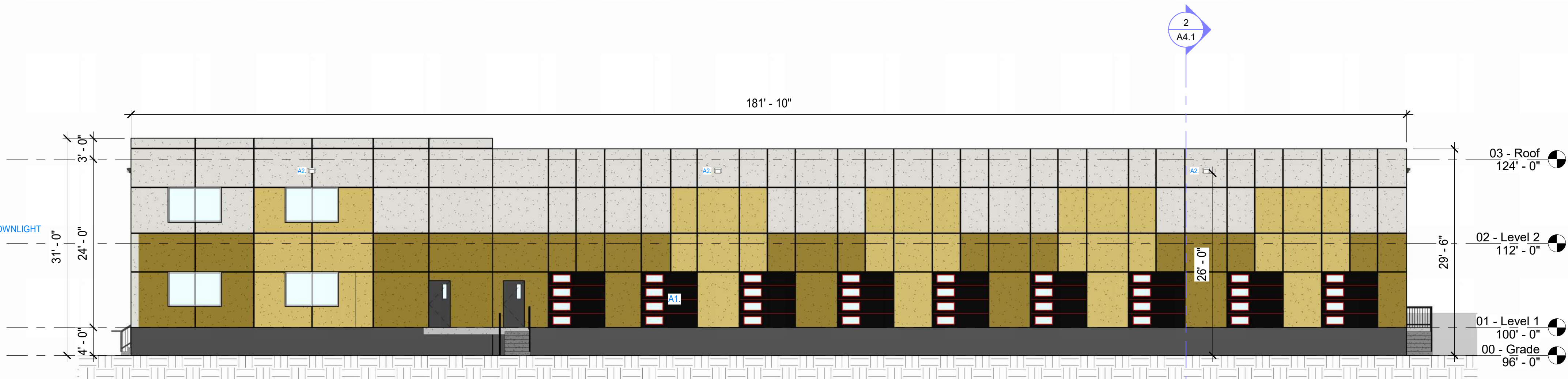
GENERAL NOTES :

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- 3' - 0" GRID DIMENSIONS
- 3' - 0" INTERIOR ROOM DIMENSIONS
- 3' - 0" MILLWORK DIMENSIONS
- 3' - 0" WINDOW/DOOR DIMENSIONS
- 3' - 0" MATERIAL DIMENSIONS

ELEVATION NOTES:

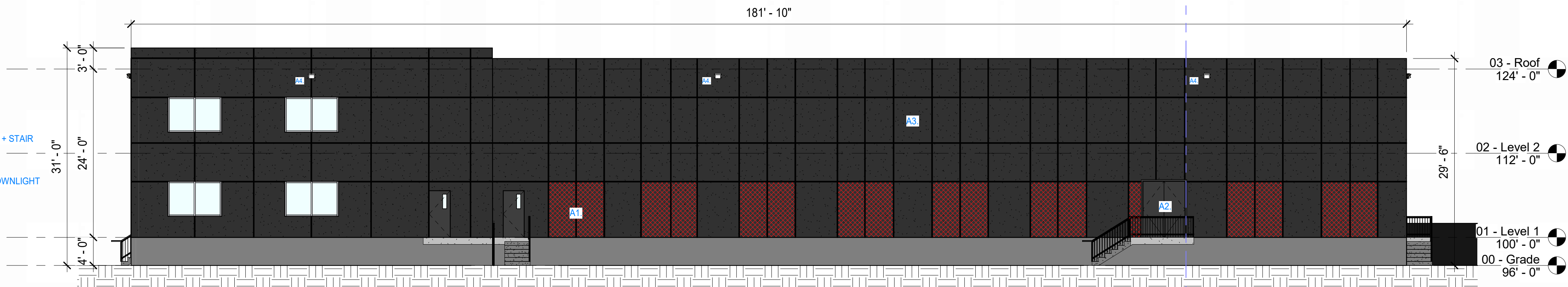
- A1. REMOVE OVERHEAD DOORS
- A2. EXISTING WALL PACK LIGHT - DOWNLIGHT



1 Building Elevation - North - Existing
A2.0 1" = 10'-0"

ELEVATION NOTES:

- A1. INFILL WALL AREA
- A2. INSTALL NEW EXTERIOR DOORS + STAIR
- A3. PAINT WALL BLACK
- A4. EXISTING WALL PACK LIGHT - DOWNLIGHT



2 Building Elevation - North - Proposed
A2.0 1" = 10'-0"

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EXPERIENCE CHURCH
4700 102 Ave SE

DRAWING TITLE:

Building Elevations - North

DATE:

2026 07 17

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ISSUE FOR:

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A3.2

REVISION

#	Description	Date
Revision Schedule		

GENERAL NOTES :

TRADES ARE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & NOTES AND REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION

- 3' - 0"

GRID DIMESIONS
- 3' - 0"

INTERIOR ROOM DIMENSIONS
- 3' - 0"

MILLWORK DIMENSIONS
- 3' - 0"

WINDOW/DOOR DIMENSIONS
- 3' - 0"

MATERIAL DIMENSIONS

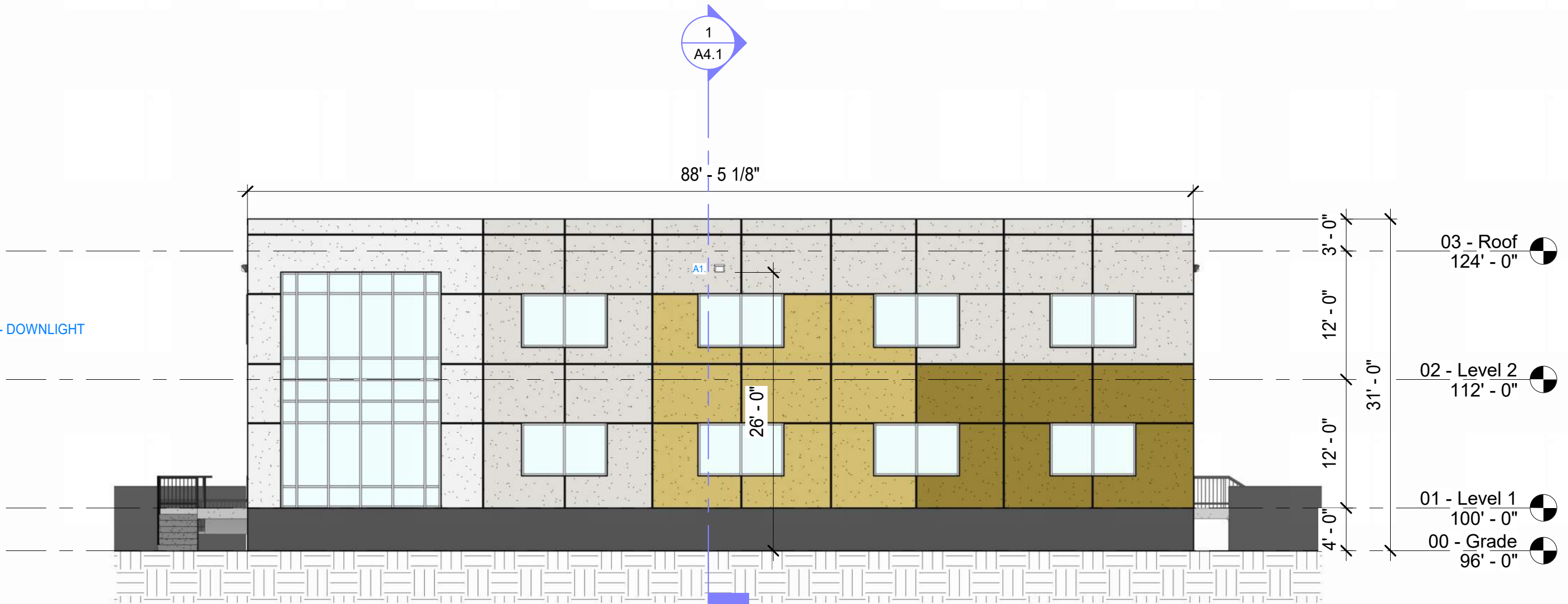
ELEVATION NOTES:

A1. EXISTING WALL PACK LIGHT - DOWNLIGHT

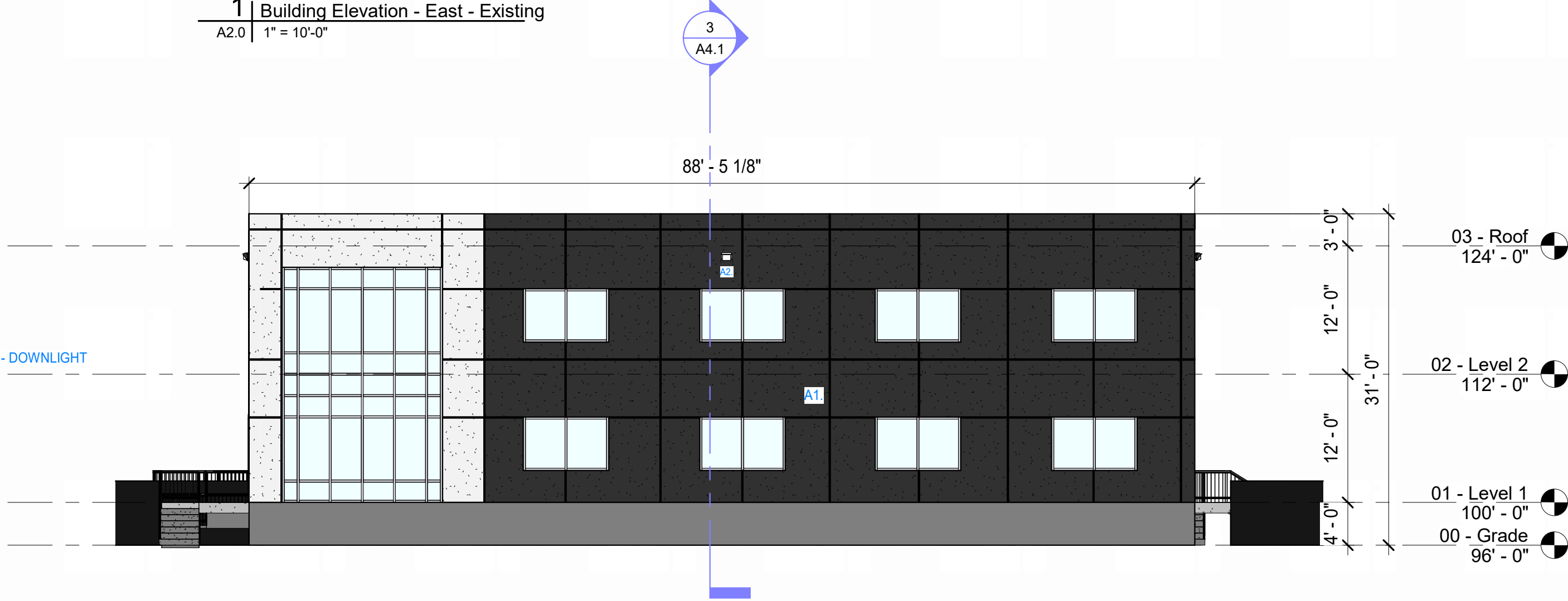
ELEVATION NOTES:

A1. PAINT WALL BLACK

A2. EXISTING WALL PACK LIGHT - DOWNLIGHT



1 | Building Elevation - East - Existing
A2.0 | 1" = 10'-0"



2 | Building Elevation - East - Proposed
A2.0 | 1" = 10'-0"

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EXPERIENCE CHURCH
4700 102 Ave SE

DRAWING TITLE:

Building Elevations - East

DATE:

2026 07 17

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A3.3

REVISION

#	Description	Date
Revision Schedule		

GENERAL NOTES :

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- 3' - 0"

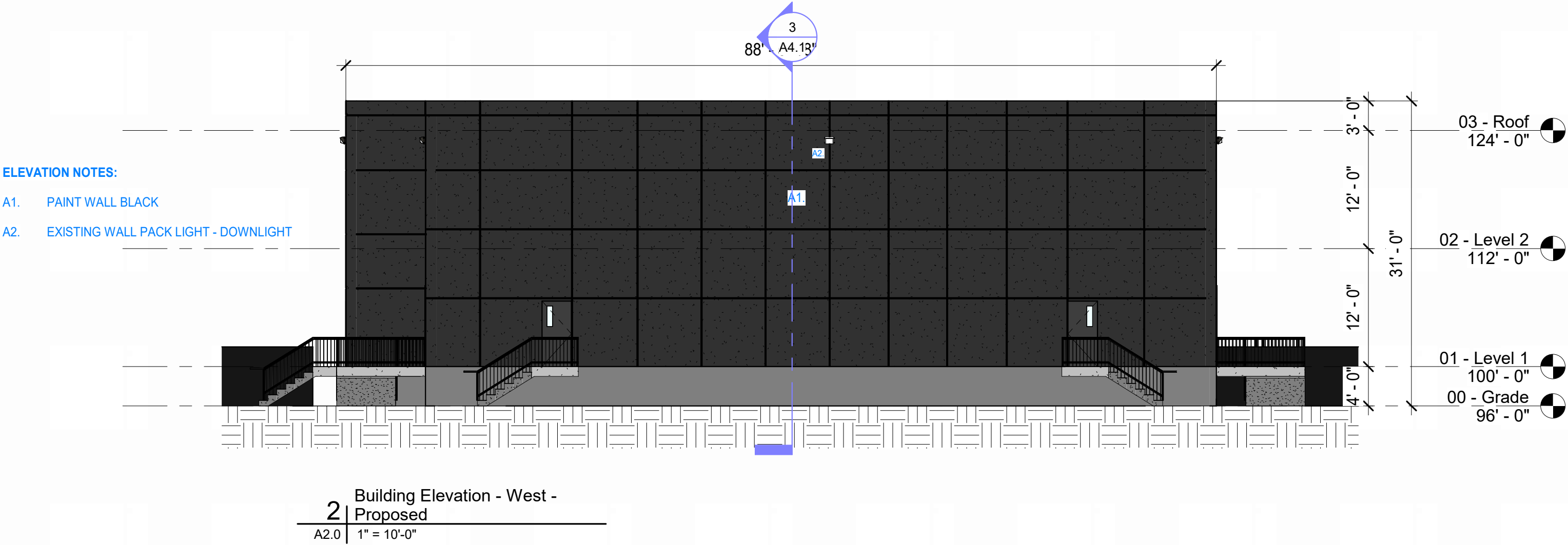
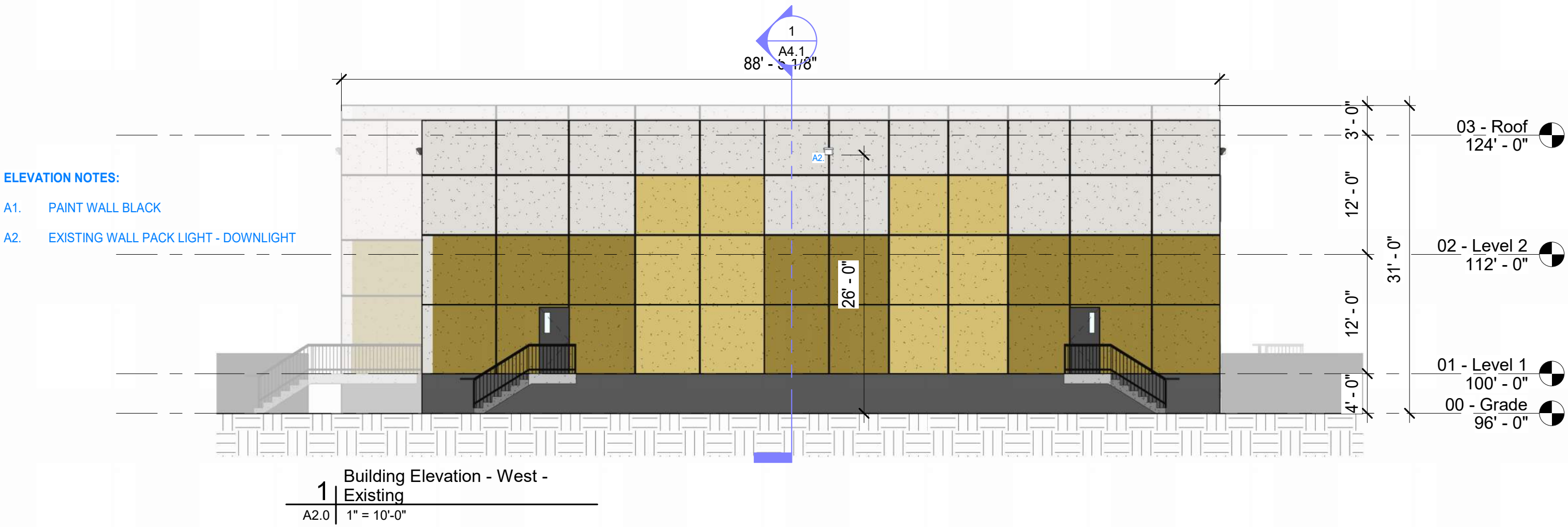
GRID DIMESIONS
- 3' - 0"

INTERIOR ROOM DIMENSIONS
- 3' - 0"

MILLWORK DIMENSIONS
- 3' - 0"

WINDOW/DOOR DIMENSIONS
- 3' - 0"

MATERIAL DIMENSIONS



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EXPERIENCE CHURCH
4700 102 Ave SE

DRAWING TITLE:

Building
Elevations -
West

DATE:

2026 07 17

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A3.4

REVISION

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