



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation

LIST OF DRAWINGS	
A-2.2	Right Elevation
A-2.3	Left Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Sections



FLOOR AREA - UNIT#1		FLOOR AREA - UNIT#2		FLOOR AREA - UNIT#3	
BASEMENT	= 665.00 SQ. FT.	BASEMENT	= 665.00 SQ. FT.	BASEMENT	= 660.33 SQ. FT.
MAIN	= 651.57 SQ. FT.	MAIN	= 651.57 SQ. FT.	MAIN	= 647.00 SQ. FT.
UPPER	= 665.00 SQ. FT.	UPPER	= 665.00 SQ. FT.	UPPER	= 665.00 SQ. FT.
TOTAL	= 1316.57 SQ. FT.	TOTAL	= 1316.57 SQ. FT.	TOTAL	= 1312.00 SQ. FT.

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	13/05/2026	DP PLANS	A.R.
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PROJECT:	THREE UNIT ROWHOUSE
STATUS:	--
SIGNATURES:	X
PRINTED:	2026-05-28 3:45:19 PM



PROJECT NAME: 3704 Brooklyn Cr N.W. CALGARY, ALBERTA	
DESIGNER: JT	JOB #: 249 - 26
SCALE: AS SHOWN	SHEET: A-0.0

EXTERIOR FINISHES:

- | | | |
|-----------------------|--|--------------------------------|
| 1 ASPHALT SHINGLES | 4 SMART BOARD & BATTEN - DARK GREY/BLACK | 7 SMART BOARD & BATTEN - WHITE |
| 2 8" ALUM. FASCIA | 5 HARDIE BOARD - BLACK FINISH | 8 CONCRETE PARGING |
| 3 BRICK MASONRY - RED | 6 VERTICAL HARDIE BOARD - GREY FINISH | 9 CAST IN PLACE CONCRETE |

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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04.	--	--	--
05.	--	--	--

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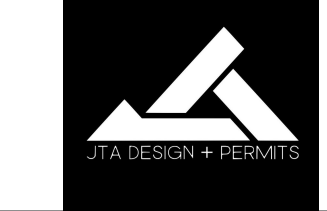
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PROJECT: **THREE UNIT ROWHOUSE**

STATUS: --

SIGNATURES: X

PRINTED: 2026-05-28 3:45:24 PM



PROJECT NAME: **3704 Brooklyn Cr N.W. CALGARY, ALBERTA**

DESIGNER: JT	JOB #: 249 - 26
SCALE: AS SHOWN	SHEET: A-2.0

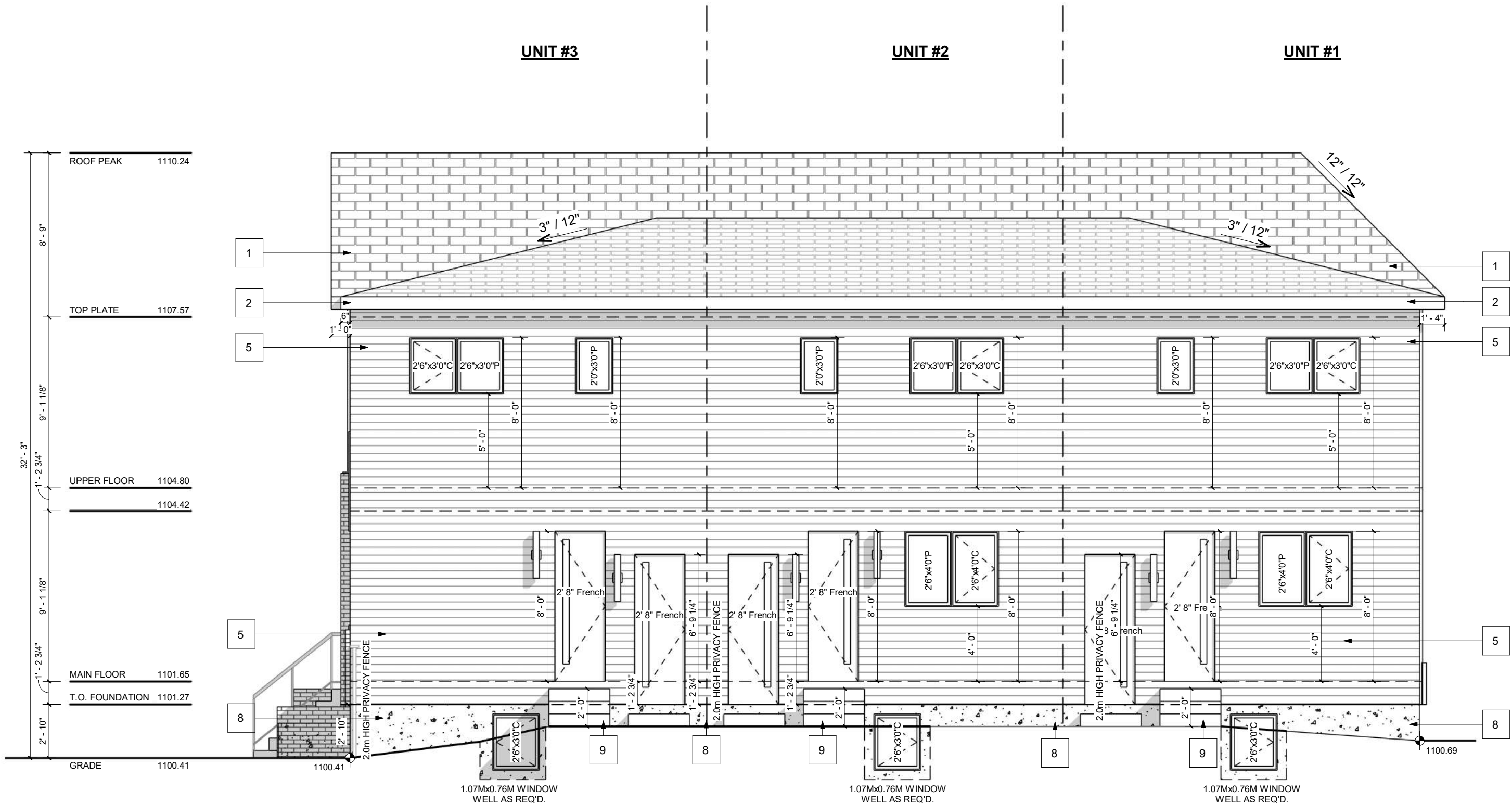
EXTERIOR FINISHES:

- | | | |
|-----------------------|--|--------------------------------|
| 1 ASPHALT SHINGLES | 4 SMART BOARD & BATTEN - DARK GREY/BLACK | 7 SMART BOARD & BATTEN - WHITE |
| 2 8" ALUM. FASCIA | 5 HARDIE BOARD - BLACK FINISH | 8 CONCRETE PARGING |
| 3 BRICK MASONRY - RED | 6 VERTICAL HARDIE BOARD - GREY FINISH | 9 CAST IN PLACE CONCRETE |

WINDOW CALCULATION:
 (3.00m LIMITING DISTANCE)
 WALL AREA = 927.70 SQ. FT.
 WINDOW AREA = 103.64 SQ. FT.
 TOTAL: 103.64/927.70 = 11.17%

WINDOW CALCULATION:
 (3.00m LIMITING DISTANCE)
 WALL AREA = 463.97 SQ. FT.
 WINDOW AREA = 51.82 SQ. FT.
 TOTAL: 51.82/463.97 = 11.17%

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



REAR ELEVATION
 SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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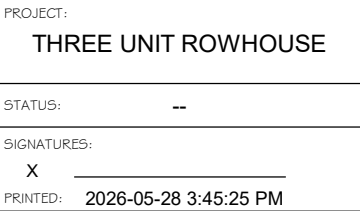
ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:
 THREE UNIT ROWHOUSE

STATUS:
 --

SIGNATURES:
 X

PRINTED:
 2026-05-28 3:45:25 PM



PROJECT NAME:
 3704 Brooklyn Cr N.W.
 CALGARY, ALBERTA

DESIGNER:
 JT

JOB #:
 249 - 26

SCALE:
 AS SHOWN

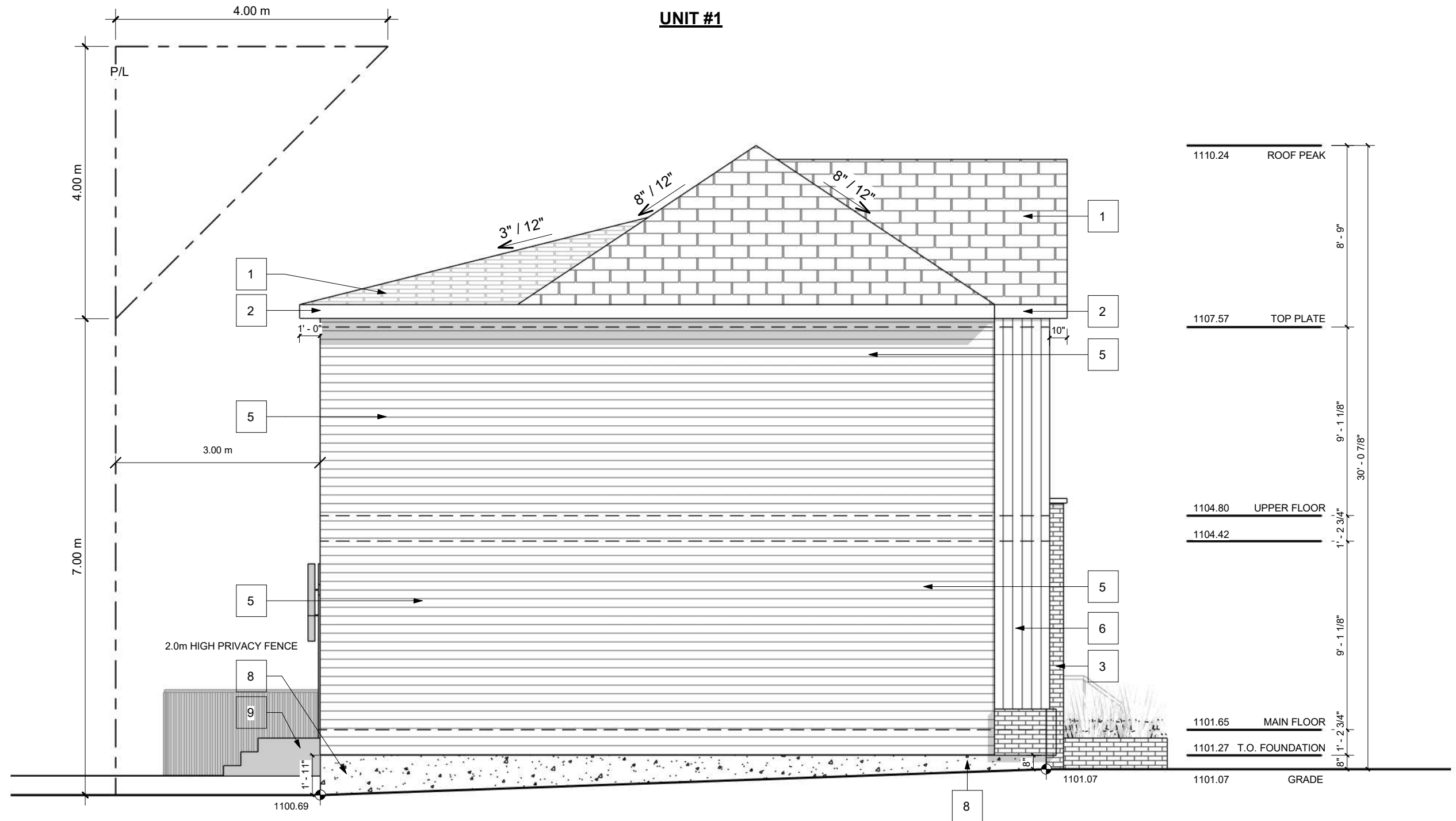
SHEET:
 A-2.1

PROJECT NOTES:

EXTERIOR FINISHES:

- | | | |
|-----------------------|--|--------------------------------|
| 1 ASPHALT SHINGLES | 4 SMART BOARD & BATTEN - DARK GREY/BLACK | 7 SMART BOARD & BATTEN - WHITE |
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| 3 BRICK MASONRY - RED | 6 VERTICAL HARDIE BOARD - GREY FINISH | 9 CAST IN PLACE CONCRETE |

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 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION

SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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PROJECT: **THREE UNIT ROWHOUSE**

STATUS: --

SIGNATURES: X

PRINTED: 2026-05-28 3:45:26 PM



PROJECT NAME:
**3704 Brooklyn Cr N.W.
 CALGARY, ALBERTA**

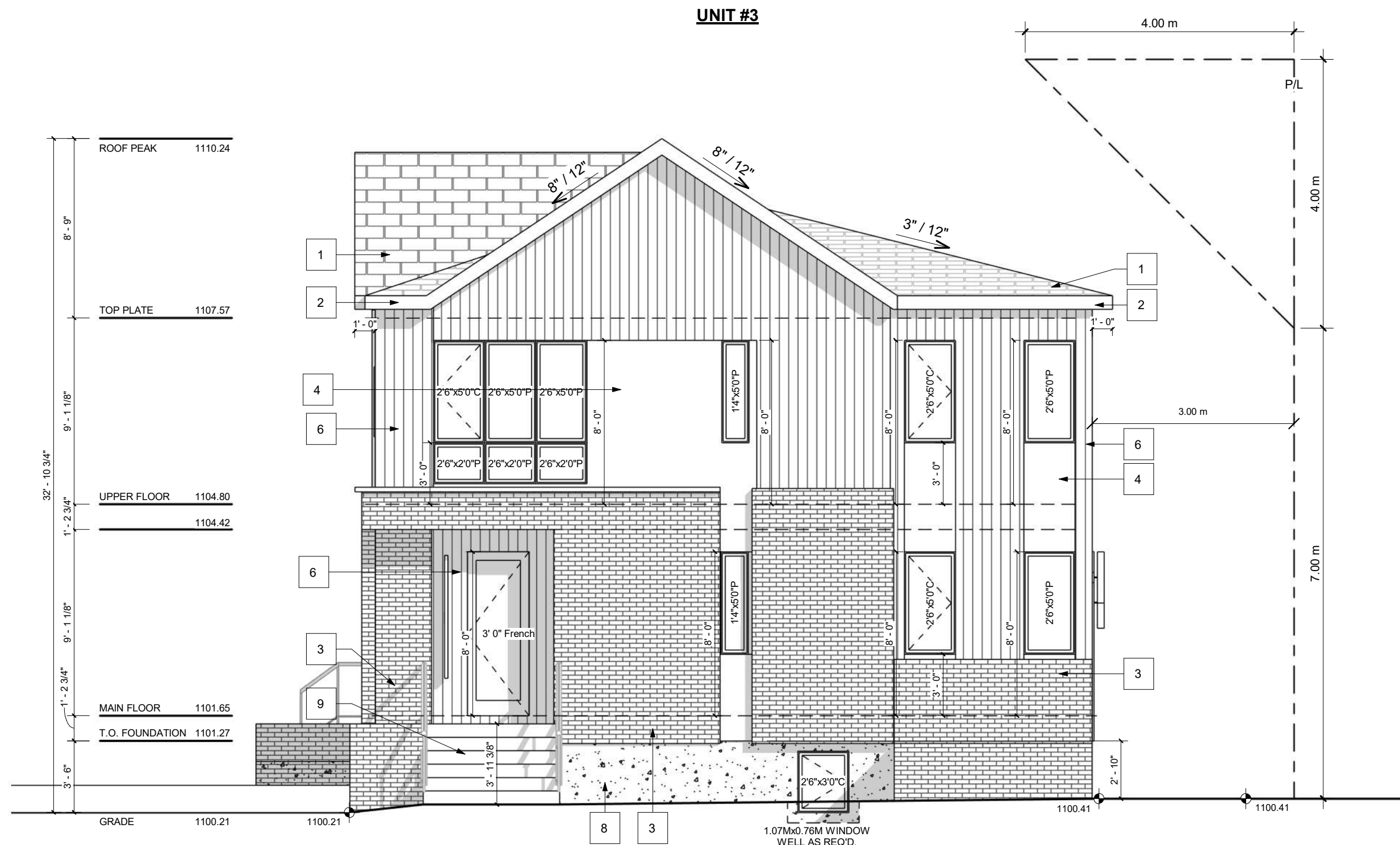
DESIGNER: JT JOB #: 249 - 26

SCALE: AS SHOWN SHEET: A-2.3

EXTERIOR FINISHES:

- | | | |
|-----------------------|--|--------------------------------|
| 1 ASPHALT SHINGLES | 4 SMART BOARD & BATTEN - DARK GREY/BLACK | 7 SMART BOARD & BATTEN - WHITE |
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 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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PROJECT: **THREE UNIT ROWHOUSE**

STATUS: --

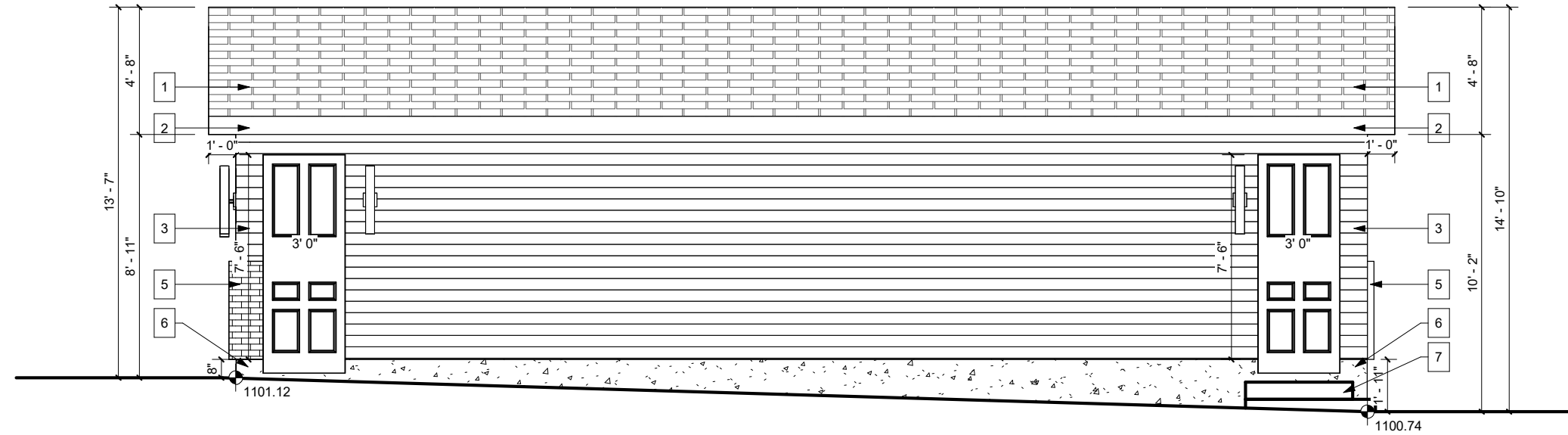
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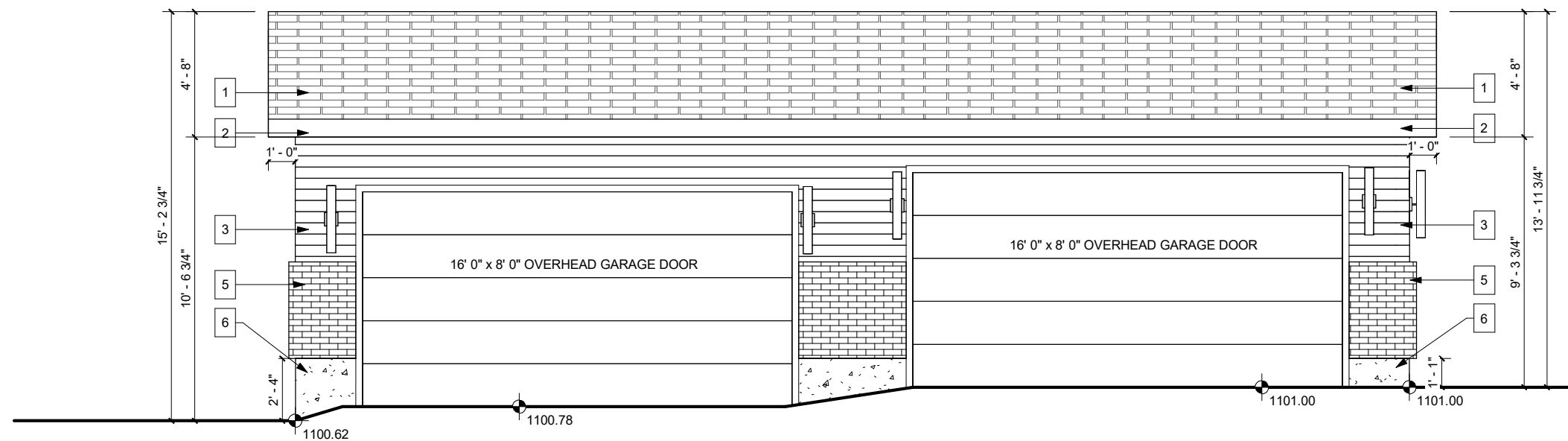


PROJECT NAME: **3704 Brooklyn Cr N.W. CALGARY, ALBERTA**

DESIGNER: JT	JOB #: 249 - 26
SCALE: AS SHOWN	SHEET: A-2.2



GARAGE REAR
SCALE: 3/16" = 1'-0"



GARAGE FRONT
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

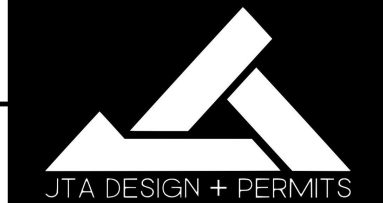
- 1 ASPHALT SHINGLES
- 2 8" FASCIA
- 3 HARDIE BOARD - BLACK FINISH
- 4 SMART BOARD - BLACK
- 5 BRICK MASONRY - RED
- 6 CONCRETE PAVING
- 7 CAST IN PLACE CONCRETE

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PROJECT:
THREE UNIT ROWHOUSE

STATUS: --

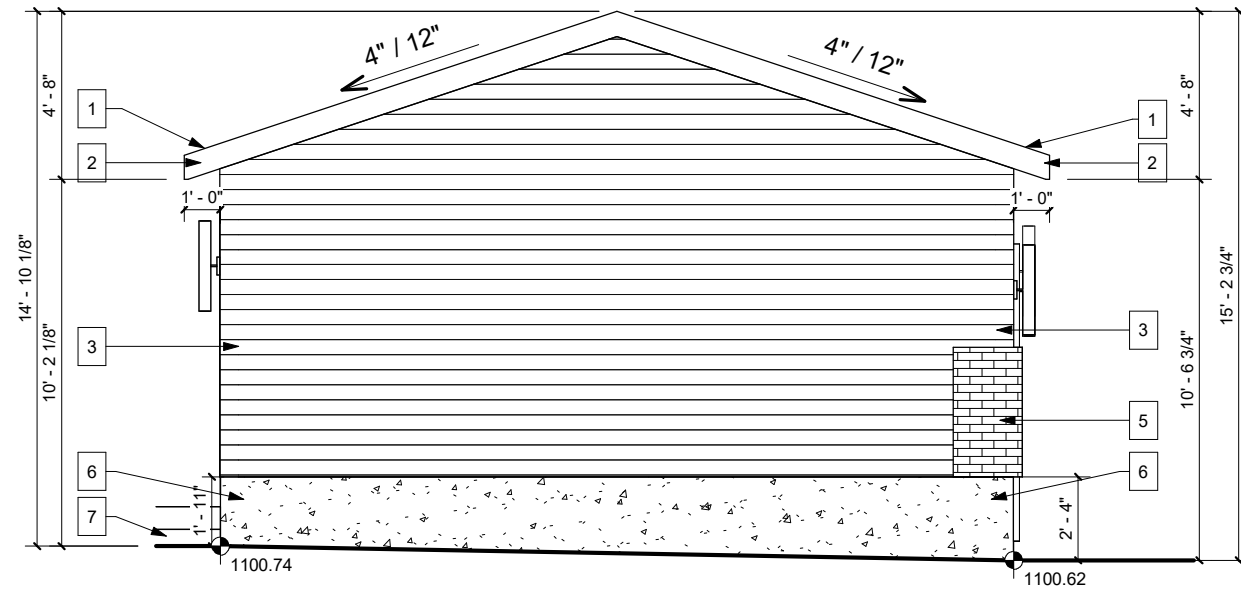
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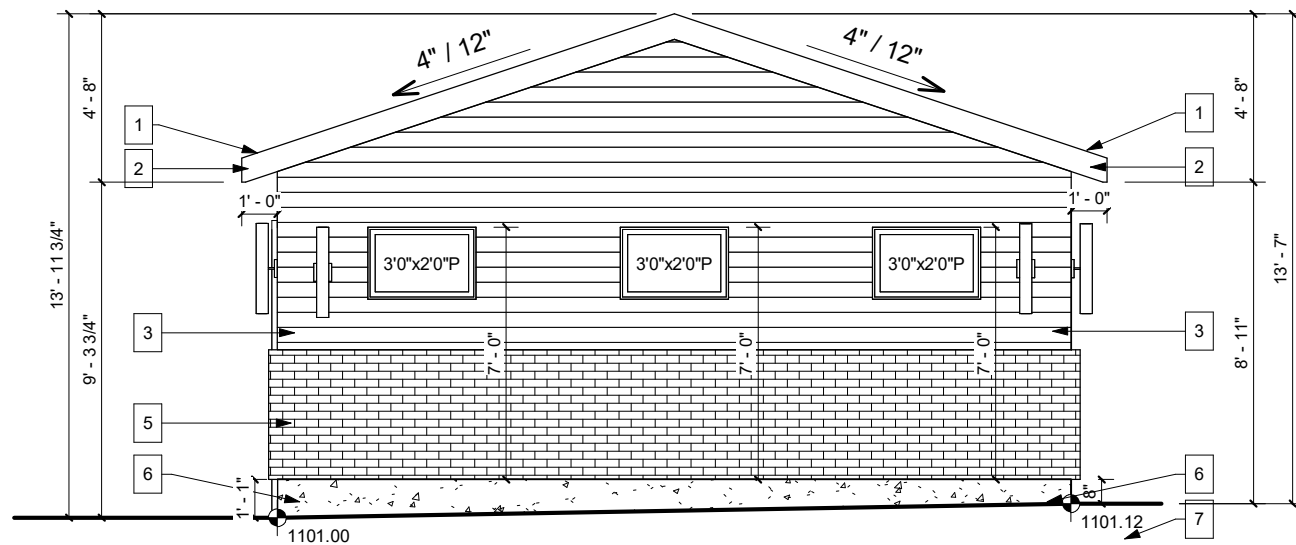
PROJECT NAME:
3704 Brooklyn Cr N.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 249 - 26

SCALE: AS SHOWN SHEET: A-3.1



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

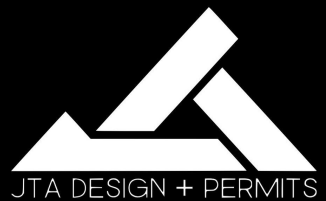
- 1 ASPHALT SHINGLES
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- 3 HARDIE BOARD - BLACK FINISH
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- 5 BRICK MASONRY - RED
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PROJECT:
THREE UNIT ROWHOUSE

STATUS: --

SIGNATURES:
X _____

PRINTED: 2026-05-28 3:45:28 PM

PROJECT NAME:
3704 Brooklyn Cr N.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 249 - 26

SCALE: AS SHOWN SHEET: A-3.2

SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: \square = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 55269 AND 179085
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- \square ----- denotes Calculation points
- \square ----- denotes Gas Valve
- \diamond ----- denotes Gas Valve
- \odot ----- denotes Manhole
- \odot ----- denotes Tree
- \bullet ----- denotes Power Pole
- \triangle ----- denotes Sign
- \odot ----- denotes Light Standard
- X-X- denotes Fence
- S ----- denotes Sanitary Line
- ST ----- denotes Storm Line
- W ----- denotes Water Line
- G ----- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
 'Ret.' denotes Retaining
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
 Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:

Lot 11
 Block 8
 Plan 1796 HV

MUNICIPAL ADDRESS:

3704 Brooklyn Cr NW
 Calgary, Alberta

LOT COVERAGE DETAIL:
 (CLUSTER)

LOT SIZE: 511.123 SQ M
 HOUSE SIZE: 181.191 SQ M
 CANT.: 0.000 SQ M
 COVERED PORCH: 3.669 SQ M
 GARAGE: 84.154 SQ M
 WINGWALL: 2.090 SQ M

TOTAL: 271.104/511.123
 = 53.04%

DENSITY:

TOTAL UNITS: 3
 LOT SIZE: 511.123 SQ M (0.0511123 ha)
 DENSITY: 58 UNITS/ha

PARKING:

PARKING PROVIDED: 4 STALLS
 CLASS #1 BIKE STORAGE: 3 STALLS

PROJECT NAME AND ADDRESS:
 3704 Brooklyn Cr NW
 Calgary, Alberta

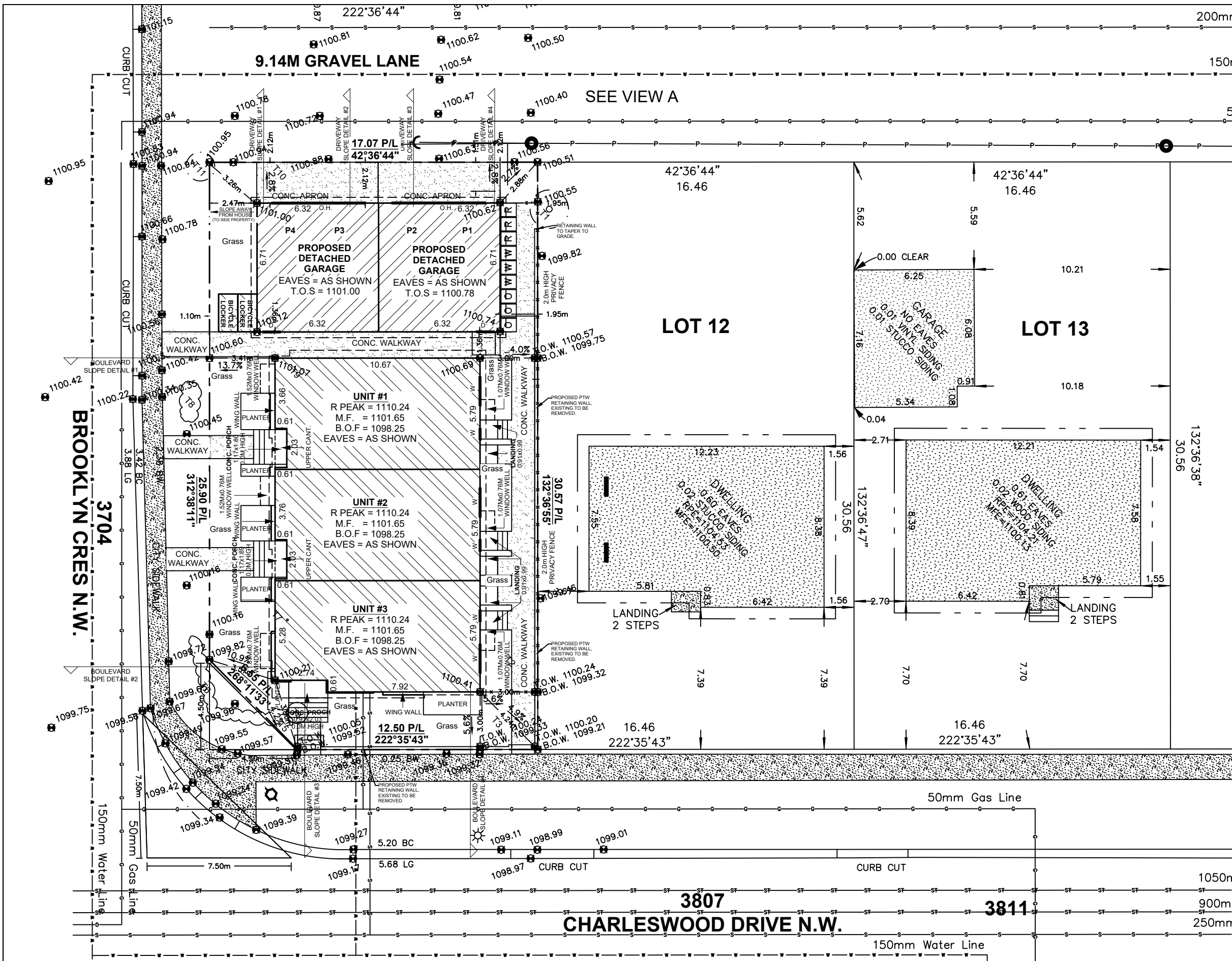
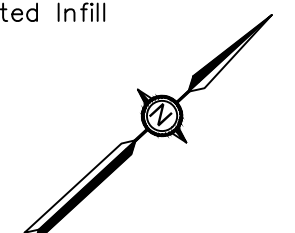
Lot 11
 Block 8
 Plan 1796 HV

CLUSTER HOME

DATE: MAY 13, 2026

DIVISION NUMBER

S 01



SITE PLAN
 SCALE: 1:200

612

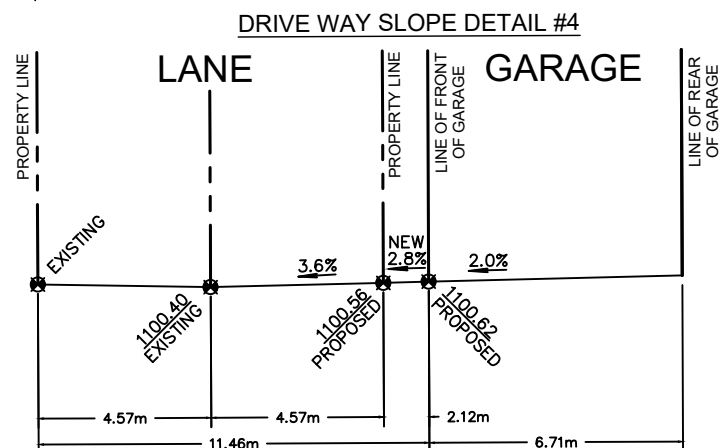
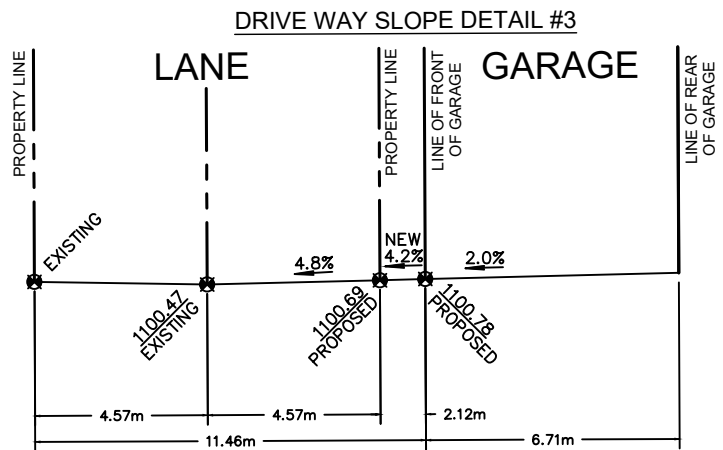
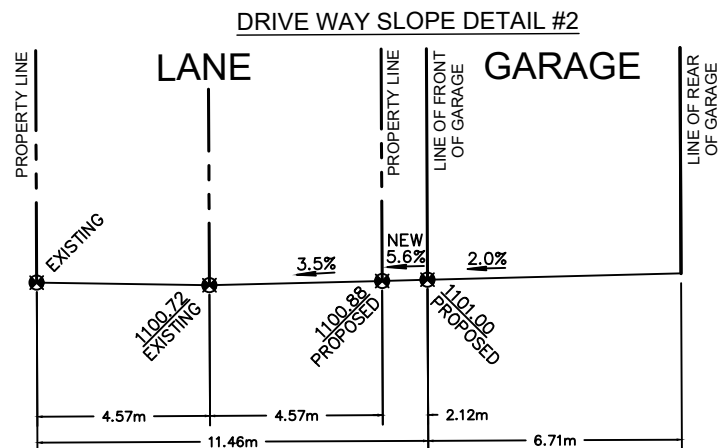
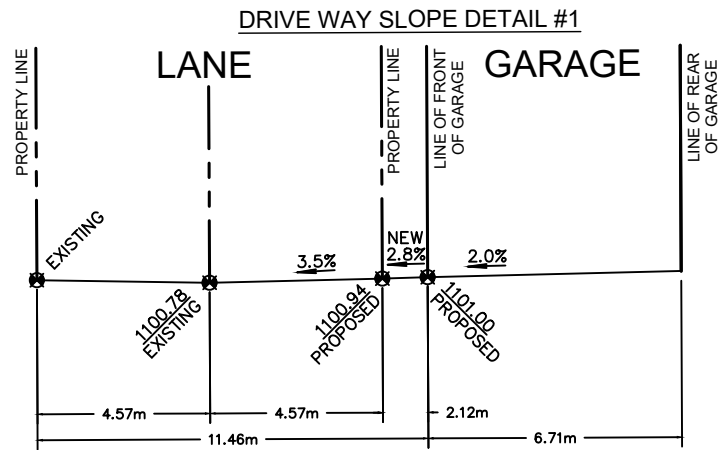
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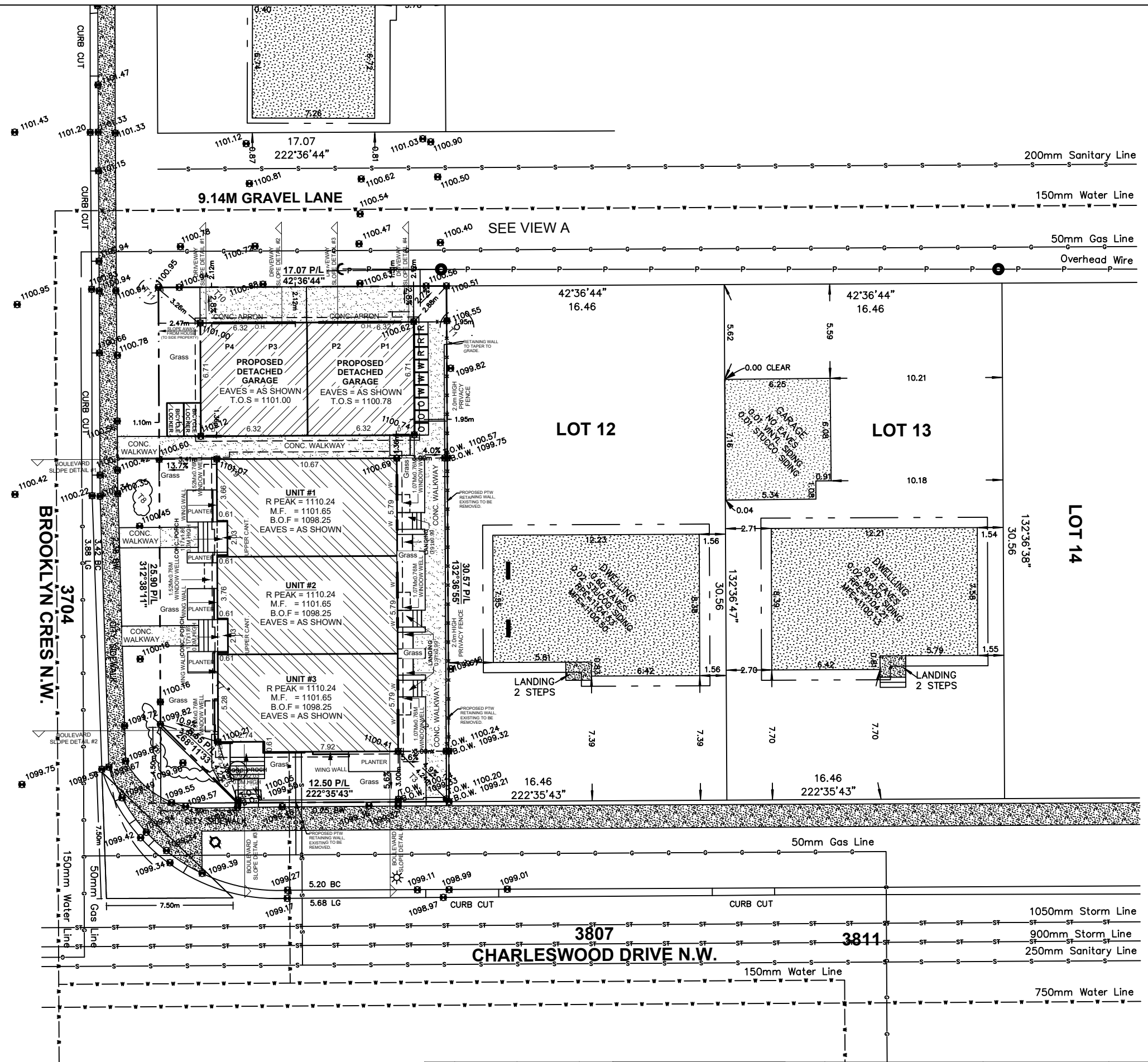
17 Avenue N.E.

NO.	DATE (D/M/Y)	DETAIL	BY
01.	13/05/2026	DP PLANS	A.R.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
3704 Brooklyn Cr NW Calgary, Alberta	CLUSTER HOME	1:200
Lot 11 Block 8 Plan 1796 HV	DATE: MAY 13, 2026	DIVISION NUMBER
		S 01



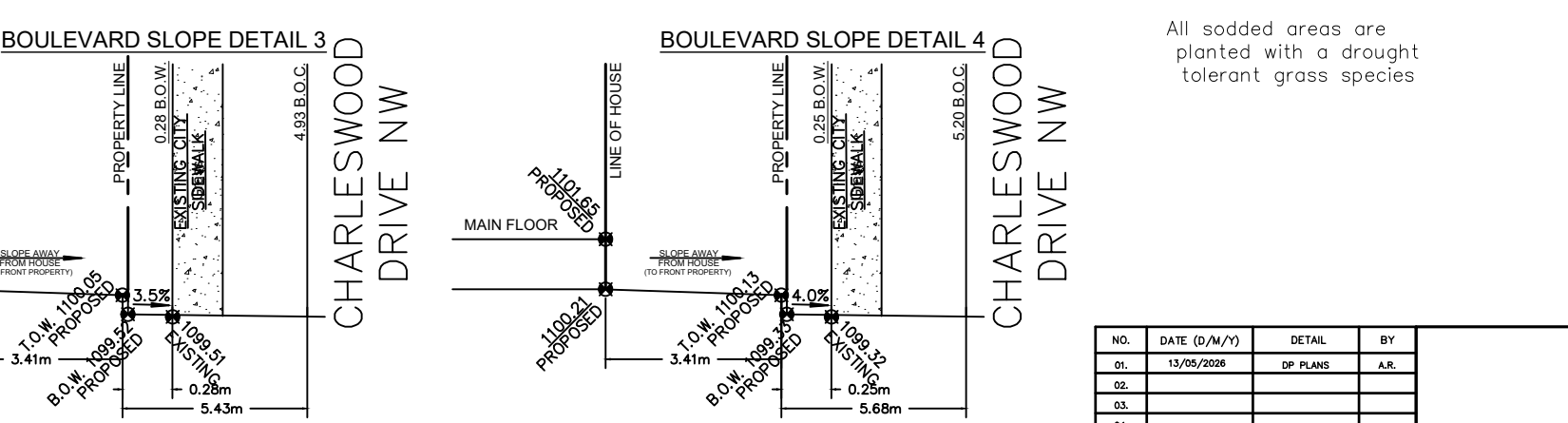
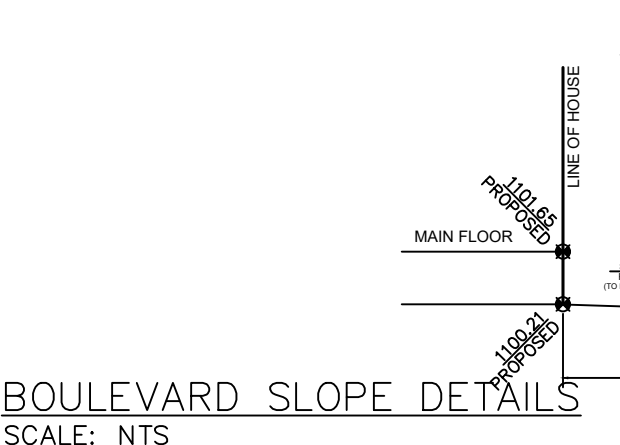
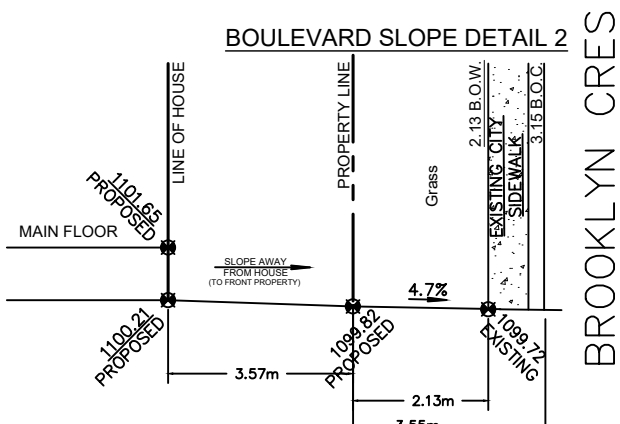
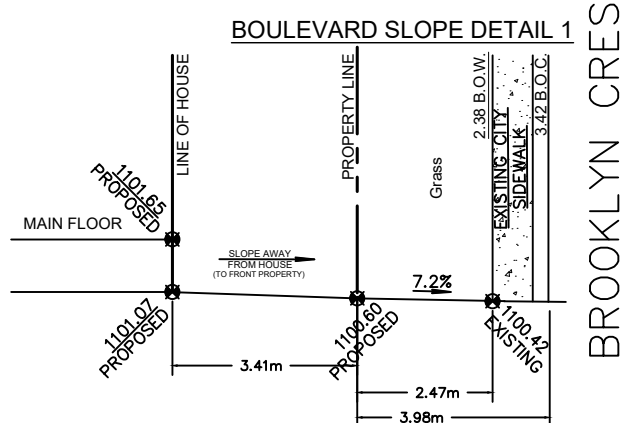
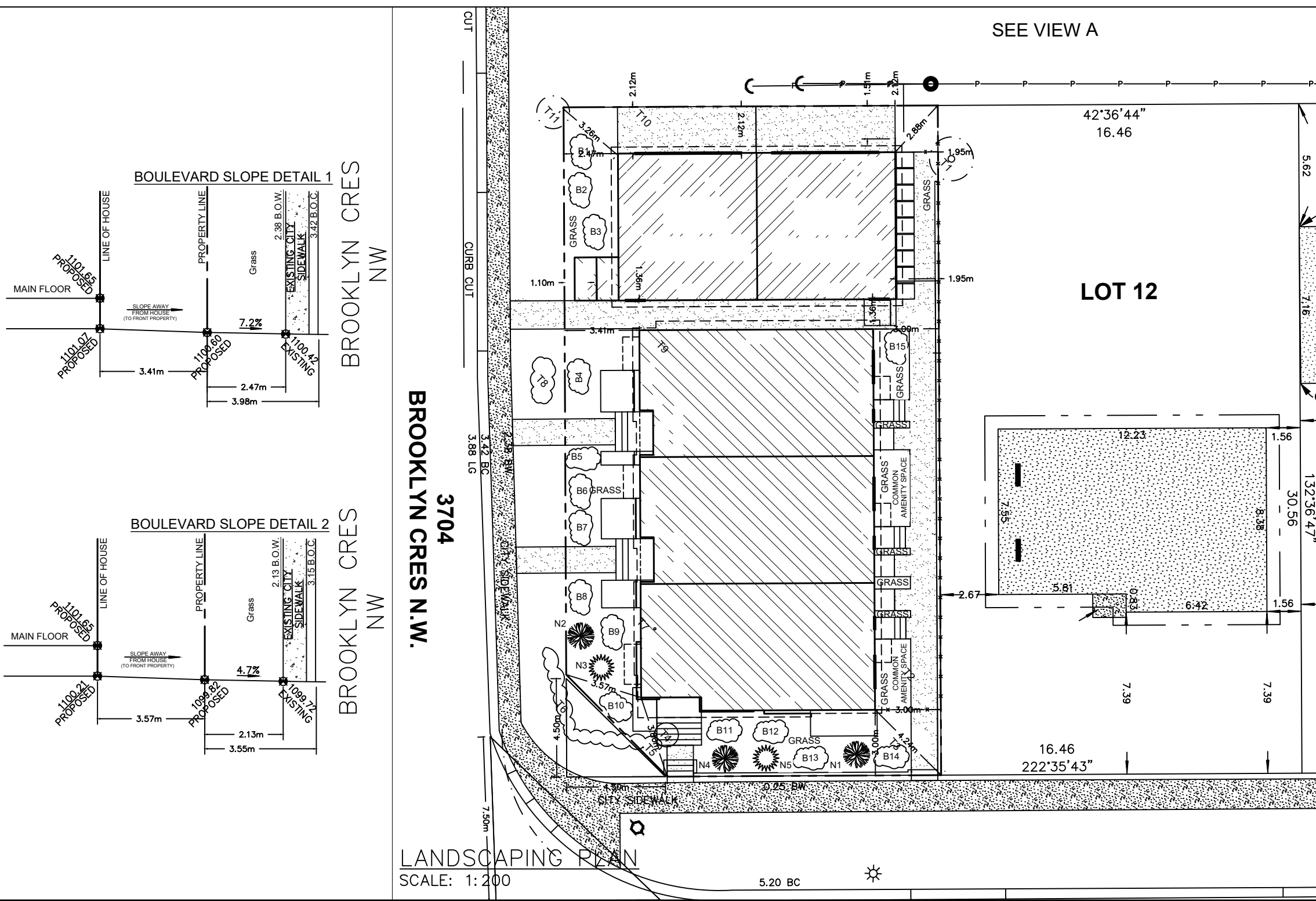
DRIVE WAY SLOPE DETAILS
SCALE: NTS



BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY
01.	13/05/2026	DP PLANS	A.R.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:		PROJECT:	SCALE:
3704 Brooklyn Cr NW Calgary, Alberta		CLUSTER HOME	1: 200
Lot 11 Block 8 Plan 1796 HV		DATE:	DIVISION NUMBER:
		MAY 13, 2026	S 02



SEE VIEW A

LOT 12

LANDSCAPING PLAN
SCALE: 1:200

PROPOSED TREE SCHEDULE

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N2	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N3	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N4	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
B1	Cotoneaster (Shrub)	---	0.61	0.61	In Subject Property	New
B2	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B3	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New
B4	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New
B5	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B6	Cotoneaster (Shrub)	---	0.61	0.61	In Subject Property	New
B7	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B8	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B9	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New
B10	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B11	Cotoneaster (Shrub)	---	0.61	0.61	In Subject Property	New
B12	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New
B13	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B14	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B15	Cotoneaster (Shrub)	---	0.61	0.61	In Subject Property	New

LANDSCAPING LEGEND

- denotes Deciduous Tree
- denotes Coniferous Tree
- denotes Shrubs

LANDSCAPING REQUIREMENTS
 LOT SIZE = 511,123 SQ. M
 1 TREE PER/110,000 SQ. M
 3 SHRUBS PER/110,000 SQ. M
 5 TREES
 15 SHRUBS

EXISTING TREE SCHEDULE

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	DISPOSITION
T1	Coniferous	0.30	2.00	3.00	In Adjacent Property	To Stay
T2	Bush	-	1.50	2.00	In Subject Property	To Be Removed
T3	Bush	-	1.00	1.70	In Subject Property	To Be Removed
T4	Deciduous	1.10	15.00	14.00	In Subject Property	To Be Removed
T5	Bush	-	0.50	0.70	In Subject Property	To Be Removed
T6	Bush	-	0.50	0.70	In City Property	To Stay
T7	Coniferous	0.10	1.00	2.50	In Subject Property	To Be Removed
T8	Bush	-	1.00	2.00	In City Property	To Stay
T9	Bush	-	1.00	1.00	In Subject Property	To Be Removed
T10	Bush	-	1.00	1.50	In Subject Property	To Be Removed
T11	Bush	-	1.50	1.50	On Property Line	To Stay

LANDSCAPE COVERAGE
 LOT SIZE = 511,123 SQ. M
 LANDSCAPE AREA = 230,156 SQ. M
 HARD LANDSCAPE (CONC. WALKWAY AND CONC. PADS) = 127,245 SQ. M
 SOFT LANDSCAPE (GRASS + MULCH) = 102,911 SQ. M
 127,245 / 230,156 = 55.29% OF HARD LANDSCAPE
 102,911 / 230,156 = 44.71% OF SOFT LANDSCAPE

An urban forestry technician will need to be onsite during excavation to determine the level of impact and if the tree can be retained. Plans should be undertaken by the developer to have an estimate for possible tree removal ahead of the excavation date.

"If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".

"An Urban Forestry Technician must be onsite to mitigate possible root damage to adjacent public trees during excavation. Please contact Urban Forestry at 311 to make arrangements. Urban Forestry requires minimum two business days' notice prior to meeting onsite".

NOTE: All soft surfaced landscape area will be irrigated by an underground irrigation system.

NOTE: Minimum 300mm topsoil is required in all pervious areas. Minimum 600mm topsoil depth for tree and shrub beds.

All sodded areas are planted with a drought tolerant grass species

NO.	DATE (D/M/Y)	DETAIL	BY
01.	13/05/2026	DP PLANS	A.R.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS: 3704 Brooklyn Cr NW Calgary, Alberta	PROJECT: CLUSTER HOME	SCALE: 1: 200
Lot 11 Block 8 Plan 1796 HV	DATE: MAY 13, 2026	DIVISION NUMBER: S 03

BOULEVARD SLOPE DETAILS
SCALE: NTS

BROOKLYN CRES N.W.

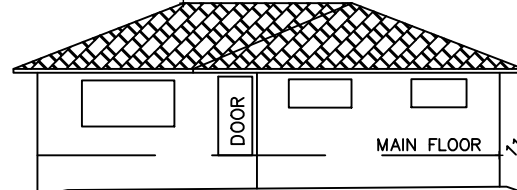
NEW DEVELOPMENT
Roof Peak Elev.=1110.24



Main Floor Elev.=1101.65

3704 BROOKLYN CRES N.W.
(LOT 11, BLOCK 8, PLAN 1796 HV)

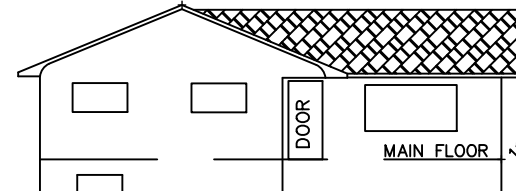
ROOF PEAK
1104.53



MAIN FLOOR 1100.50

3807 CHARLESWOOD DRIVE N.W.
(LOT 12, BLOCK 8, PLAN 1796 HV)
FACING CHARLESWOOD DRIVE N.W.

ROOF PEAK
1104.21

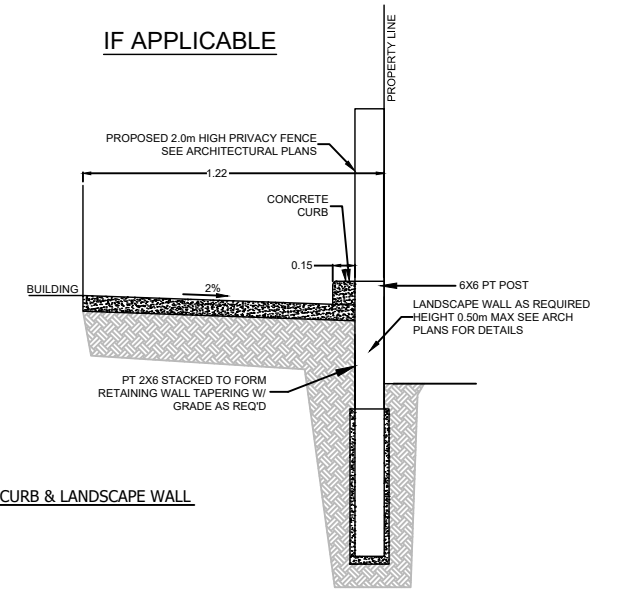


MAIN FLOOR 1100.13

3811 CHARLESWOOD DRIVE N.W.
(LOT 13, BLOCK 8, PLAN 1796 HV)
FACING CHARLESWOOD DRIVE N.W.

SOUTH EAST STREETSCAPE

IF APPLICABLE



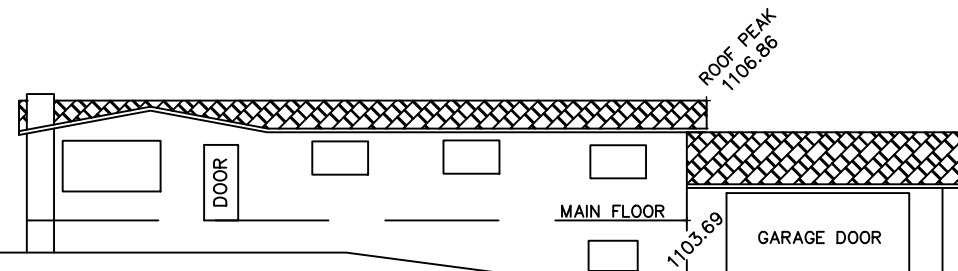
(A) CONCRETE CURB & LANDSCAPE WALL
Scale: NTS

NOTE: USE ON SITE ONLY WHERE APPLICABLE

FENCE SECTION DETAIL

GROSS FLOOR AREAS

	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA
BASEMENT	665.00 SQ FT	665.00 SQ FT	660.33 SQ FT
MAIN FLOOR	651.57 SQ FT	651.57 SQ FT	647.00 SQ FT
UPPER FLOOR	665.00 SQ FT	665.00 SQ FT	665.00 SQ FT
TOTAL AREA	1316.57 SQ FT	1316.57 SQ FT	1312.00 SQ FT



MAIN FLOOR 1103.69

3716 BROOKLYN CRES N.W.
(LOT 10, BLOCK 8, PLAN 1796 HV)
FACING BROOKLYN CRES N.W.

LANE



NEW DEVELOPMENT
Roof Peak Elev.=1110.24



Main Floor Elev.=1101.65

3704 BROOKLYN CRES N.W.
(LOT 11, BLOCK 8, PLAN 1796 HV)
FACING BROOKLYN CRES N.W.

CHARLESWOOD DRIVE N.W.

SOUTH WEST STREETSCAPE

STREETSCAPE
SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY
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03.			
04.			

PROJECT NAME AND ADDRESS:
3704 Brooklyn Cr NW
Calgary, Alberta
Lot 11
Block 8
Plan 1796 HV

PROJECT:
CLUSTER HOME
DATE:
MAY 13, 2026

SCALE:
1: 200
DIVISION NUMBER:
S 04