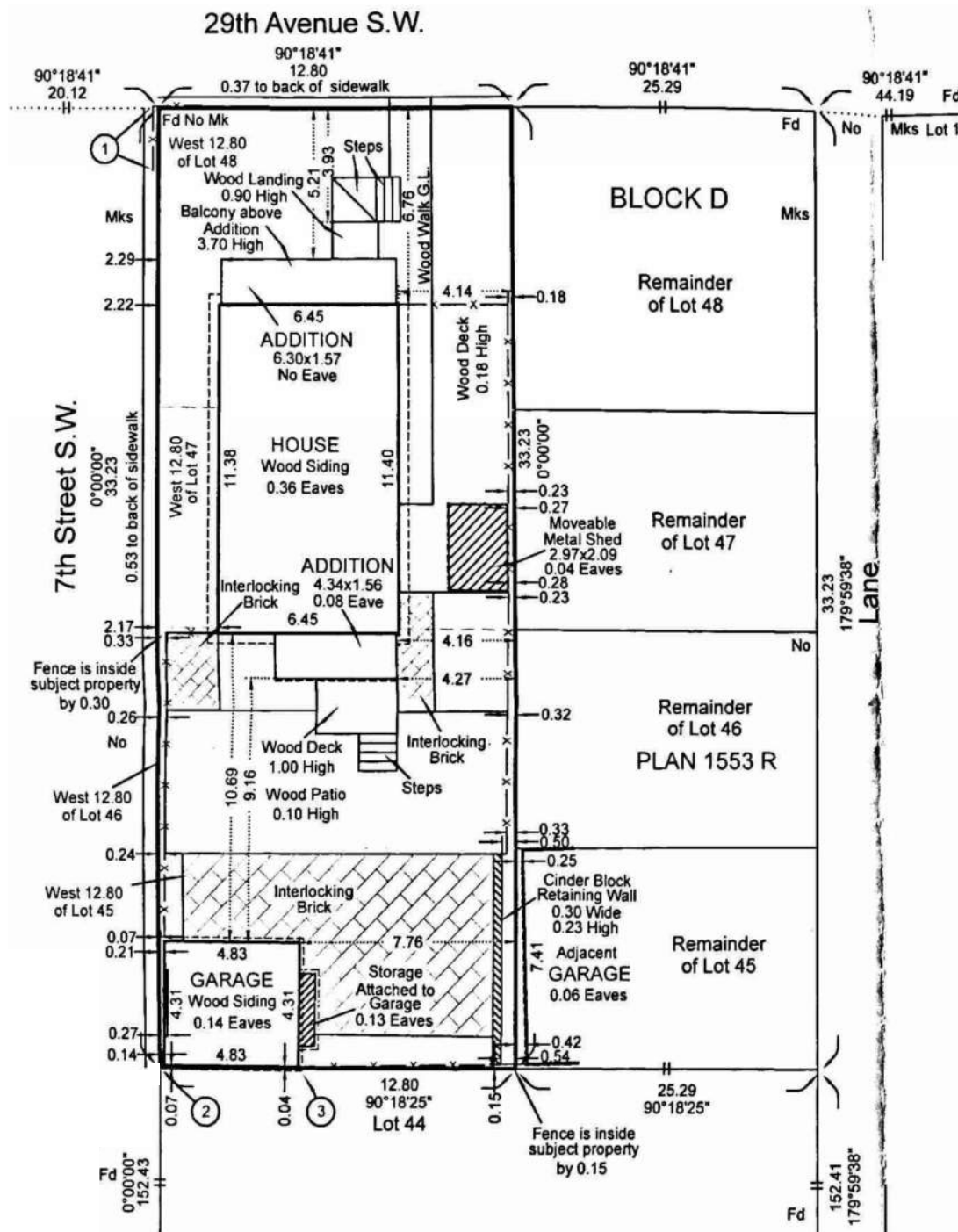




NORTH

1
A00 EXISTING SITE PLAN
SCALE = NTS

PROPERTY INFORMATION

CIVIC ADDRESS

719 29 AVENUE SW, CALGARY ALBERTA

LEGAL ADDRESS

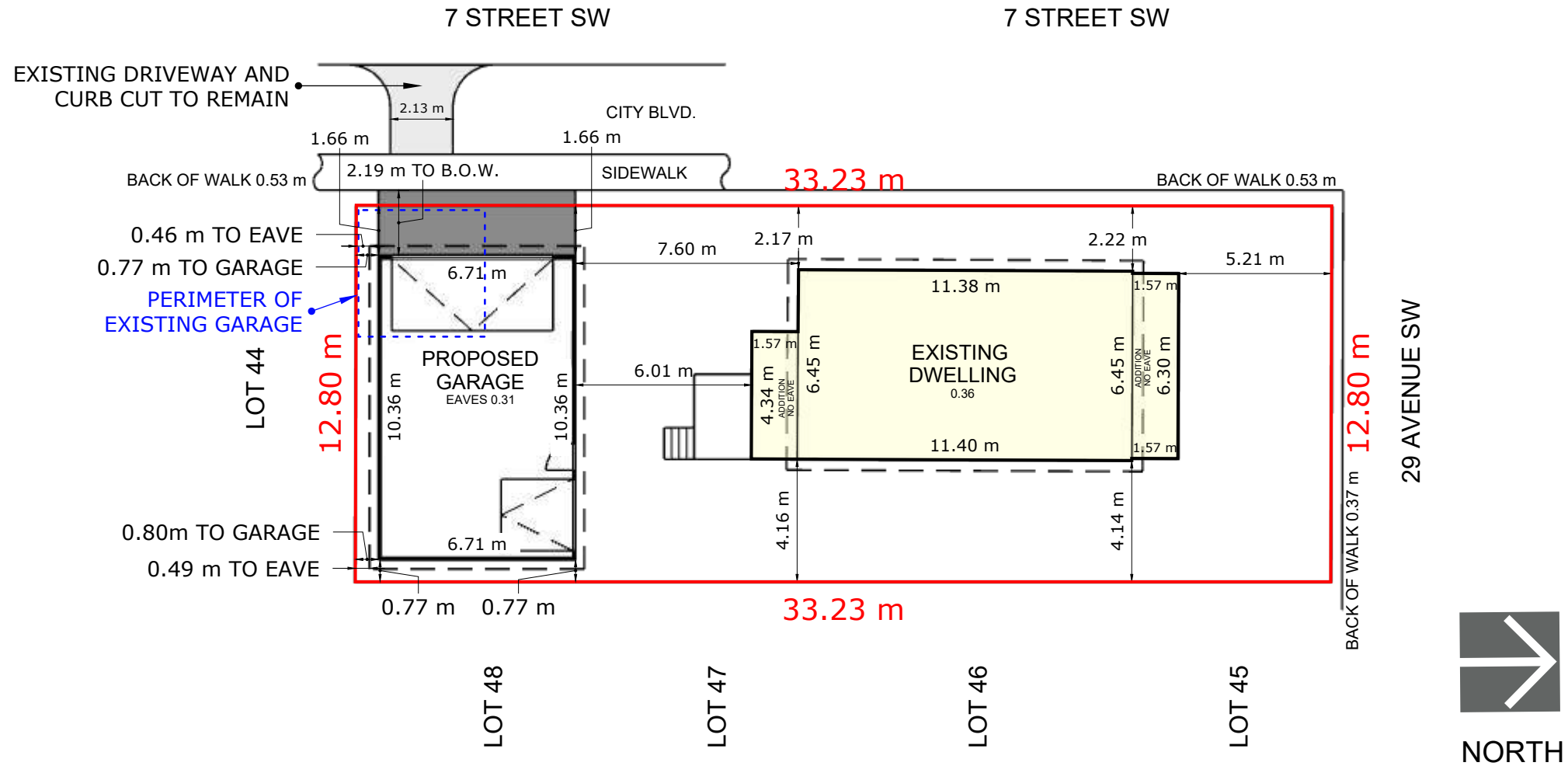
LOT: THE WEST 12.80m OF LOTS 45 TO 48 INCLUSIVE
BLOCK: D
PLAN : 1553 D

PROJECT # 2026.015
DATE 2026.05.28 REV1
DRAWN BY: RD

EXISTING SITE PLAN
SCALE = NTS

A01





PROPERTY INFORMATION

CIVIC ADDRESS

719 29 AVENUE SW, CALGARY ALBERTA

LEGAL ADDRESS

LOT:	THE WEST 12.80m OF LOTS 45 TO 48 INCLUSIVE
BLOCK:	D
PLAN :	1553 D
LOT COVERAGE	159.63/425.34 = 37.6%
LOT SIZE	425.34
HOUSE	90.11
GARAGE	69.52

PROJECT #	2026.015
DATE	2026.05.28 REV1
DRAWN BY:	RD

EXISTING SITE PLAN
SCALE = 1:200

A01

GARAGE DETAILS

WALLS

- TOTAL HEIGHT = 9'-6"
- CONCRETE CURB, 0'-6"
- 2x4 SPF #2 OR BETTER @ 16" O/C W/ SINGLE ACQ BOTTOM PLATE AND DOUBLE TOP PLATE, 9'-0" WALL ON 6" CURB
- 2x6 SPF #2 OR BETTER GARAGE DOOR WALL W/ ENGINEERED HEADER AS PER SUPPLIER, 9'-6" TOP OF WALL AT APRON
- 1/2" x 5 1/2" WEDGE ANCHORS FOR FASTENING SIL PLATE TO PAD
- 2x8 SPF #2 OR BETTER 2 PLY HEADER ABOVE WINDOW AND MAN DOOR
- 3/8 OSB SHEATHING
- BUILDING PAPER
- JAMES HARDIE. PRIMARY: LAP SIDING. SECONDARY: SHAKE SIDING.

ROOF - PITCH = 5/12 W/ 1'-0" EAVES

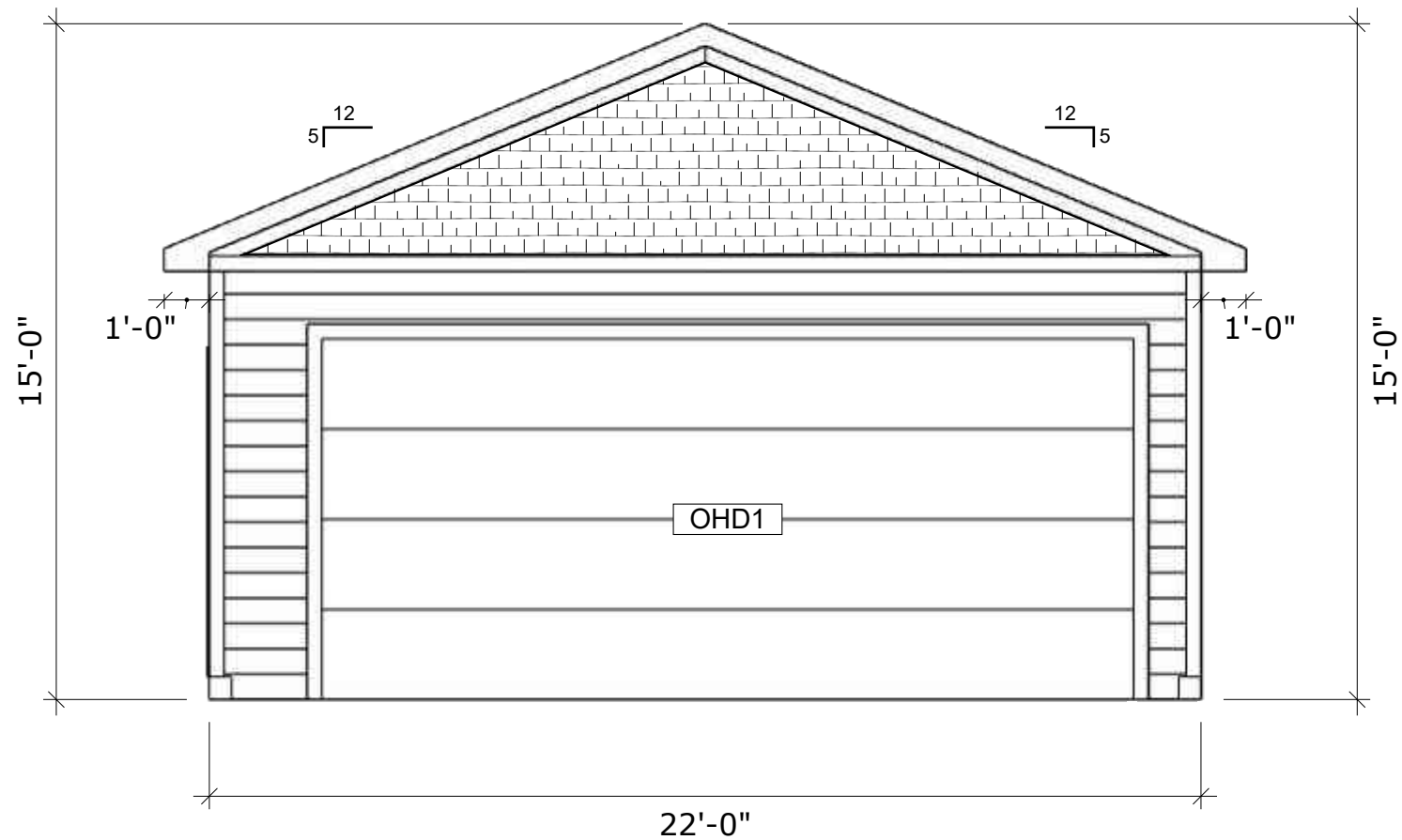
- ENGINEERED TRUSSES AS PER SUPPLIER LAYOUT
- 3/8 OSB
- ROOFING PAPER
- 25 YEAR ASPHALT SHINGLES
- ROOF VENTS AS REQUIRED

DOORS/WINDOWS

D1	3'-0" x 6'-8"
W1	4'-0" x 3'-0" HORIZONTAL SLIDER
OHD1	18' WIDE x 8' HIGH
OHD2	8" WIDE x 7' HIGH

PAD & FOUNDATION NEW PAD & APRON





1 EAST, FACING 7 STREET SW
A03 SCALE = 1/4" = 1'-0"

GARAGE DETAILS

- WALLS
- TOTAL HEIGHT = 9'-6"
 - CONCRETE CURB, 0'-6"
 - 2x4 SPF #2 OR BETTER @ 16" O/C W/ SINGLE ACQ BOTTOM PLATE AND DOUBLE TOP PLATE, 9'-0" WALL ON 6" CURB
 - 2x6 SPF #2 OR BETTER GARAGE DOOR WALL W/ ENGINEERED HEADER AS PER SUPPLIER, 9'-6" TOP OF WALL AT APRON
 - 1/2" x 5 1/2" WEDGE ANCHORS FOR FASTENING SIL PLATE TO PAD
 - 2x8 SPF #2 OR BETTER 2 PLY HEADER ABOVE WINDOW AND MAN DOOR
 - 3/8 OSB SHEATHING
 - BUILDING PAPER
 - JAMES HARDIE. PRIMARY: LAP SIDING. SECONDARY: SHAKE SIDING.

- ROOF - PITCH = 5/12 W/ 1'-0" EAVES
- ENGINEERED TRUSSES AS PER SUPPLIER LAYOUT
 - 3/8 OSB
 - ROOFING PAPER
 - 25 YEAR ASPHALT SHINGLES
 - ROOF VENTS AS REQUIRED
- DOORS/WINDOWS
- | | |
|------|----------------------------------|
| D1 | 3'-0" x 6'-8" |
| W1 | 4'-0" x 3'-0 " HORIZONTAL SLIDER |
| OHD1 | 18' WIDE x 8' HIGH |
| OHD2 | 8" WIDE x 7' HIGH |
- PAD & FOUNDATION NEW PAD & APRON

PROPERTY INFORMATION

CIVIC ADDRESS
719 29 AVENUE SW, CALGARY ALBERTA

LEGAL ADDRESS
THE WEST 12.80m OF
LOTS 45 TO 48 INCLUSIVE

LOT: D

BLOCK: D

PLAN : 1553 D

LOT COVERAGE 159.63/425.34 = 37.6%

LOT SIZE 425.34

HOUSE 90.11

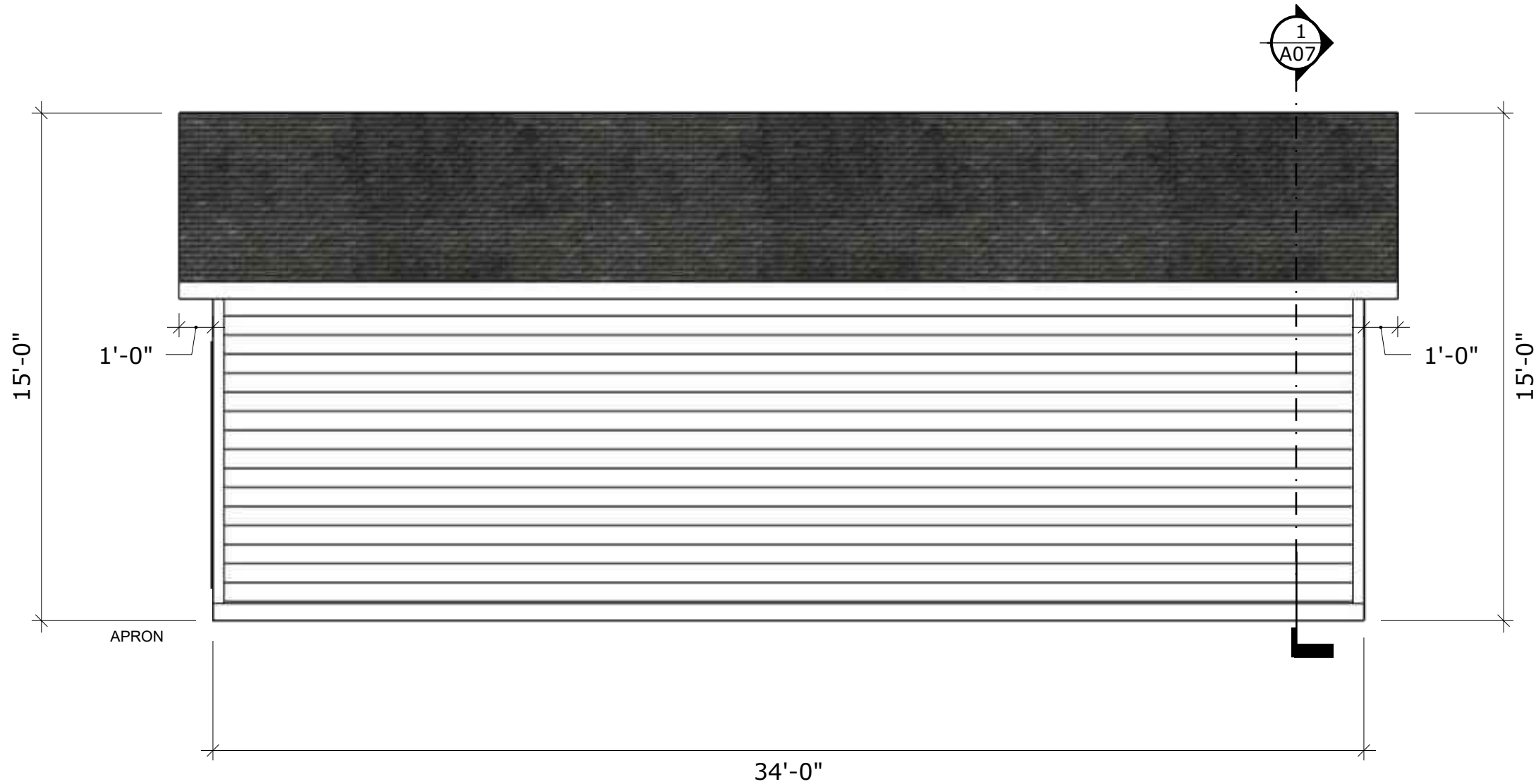
GARAGE 69.52

PROJECT # 2026.015
DATE 2026.05.28 REV1
DRAWN BY: RD

EAST, FACING
7 STREET SW

A03





1 SOUTH, FACING REAR
A04 PROPERTY LINE
SCALE = 1/4" = 1'-0"

GARAGE DETAILS

- WALLS
- TOTAL HEIGHT = 9'-6"
 - CONCRETE CURB, 0'-6"
 - 2x4 SPF #2 OR BETTER @ 16" O/C W/ SINGLE ACQ BOTTOM PLATE AND DOUBLE TOP PLATE, 9'-0" WALL ON 6" CURB
 - 2x6 SPF #2 OR BETTER GARAGE DOOR WALL W/ ENGINEERED HEADER AS PER SUPPLIER, 9'-6" TOP OF WALL AT APRON
 - 1/2" x 5 1/2" WEDGE ANCHORS FOR FASTENING SIL PLATE TO PAD
 - 2x8 SPF #2 OR BETTER 2 PLY HEADER ABOVE WINDOW AND MAN DOOR
 - 3/8 OSB SHEATHING
 - BUILDING PAPER
 - JAMES HARDIE. PRIMARY: LAP SIDING. SECONDARY: SHAKE SIDING.

- ROOF - PITCH = 5/12 W/ 1'-0" EAVES
- ENGINEERED TRUSSES AS PER SUPPLIER LAYOUT
 - 3/8 OSB
 - ROOFING PAPER
 - 25 YEAR ASPHALT SHINGLES
 - ROOF VENTS AS REQUIRED
- DOORS/WINDOWS
- | | |
|------|----------------------------------|
| D1 | 3'-0" x 6'-8" |
| W1 | 4'-0" x 3'-0 " HORIZONTAL SLIDER |
| OHD1 | 18' WIDE x 8' HIGH |
| OHD2 | 8" WIDE x 7' HIGH |
- PAD & FOUNDATION NEW PAD & APRON

PROPERTY INFORMATION

CIVIC ADDRESS
719 29 AVENUE SW, CALGARY ALBERTA

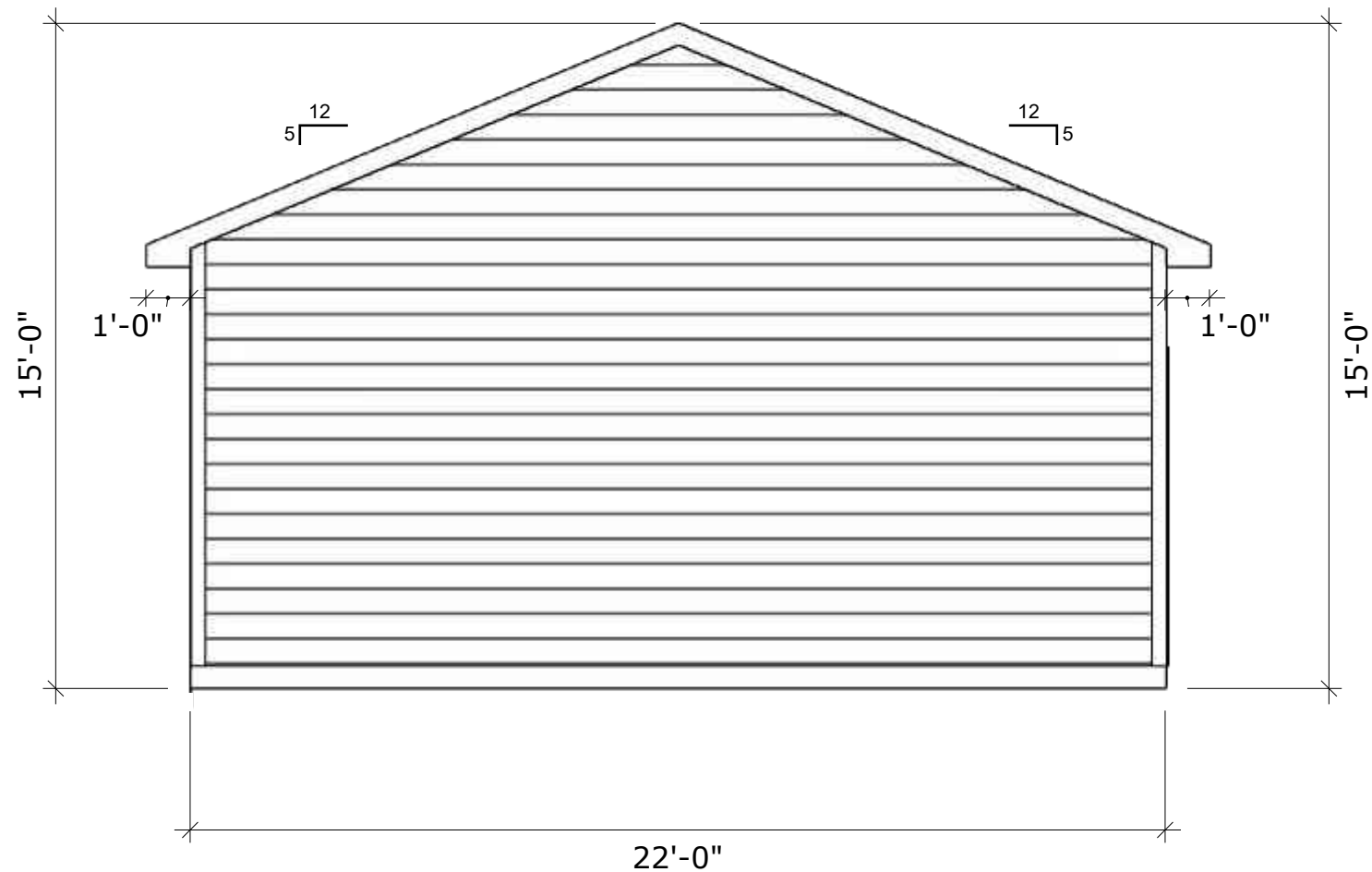
LEGAL ADDRESS
LOT: THE WEST 12.80m OF LOTS 45 TO 48 INCLUSIVE
BLOCK: D
PLAN : 1553 D
LOT COVERAGE 159.63/425.34 = 37.6%
LOT SIZE 425.34
HOUSE 90.11
GARAGE 69.52

PROJECT # 2026.015
DATE 2026.05.28 REV1
DRAWN BY: RD

SOUTH, FACING REAR
PROPERTY LINE

A04





1 EAST, FACING SIDE
A05 PROPERTY LINE
SCALE = 1/4" = 1'-0"

PROPERTY INFORMATION

CIVIC ADDRESS

719 29 AVENUE SW, CALGARY ALBERTA

LEGAL ADDRESS

LOT: THE WEST 12.80m OF
LOTS 45 TO 48 INCLUSIVE

BLOCK: D

PLAN : 1553 D

LOT COVERAGE 159.63/425.34 = 37.6%

LOT SIZE 425.34

HOUSE 90.11

GARAGE 69.52

PROJECT # 2026.015
DATE 2026.05.28 REV1
DRAWN BY: RD

EAST, FACING SIDE
PROPERTY LINE

A05

GARAGE DETAILS

WALLS

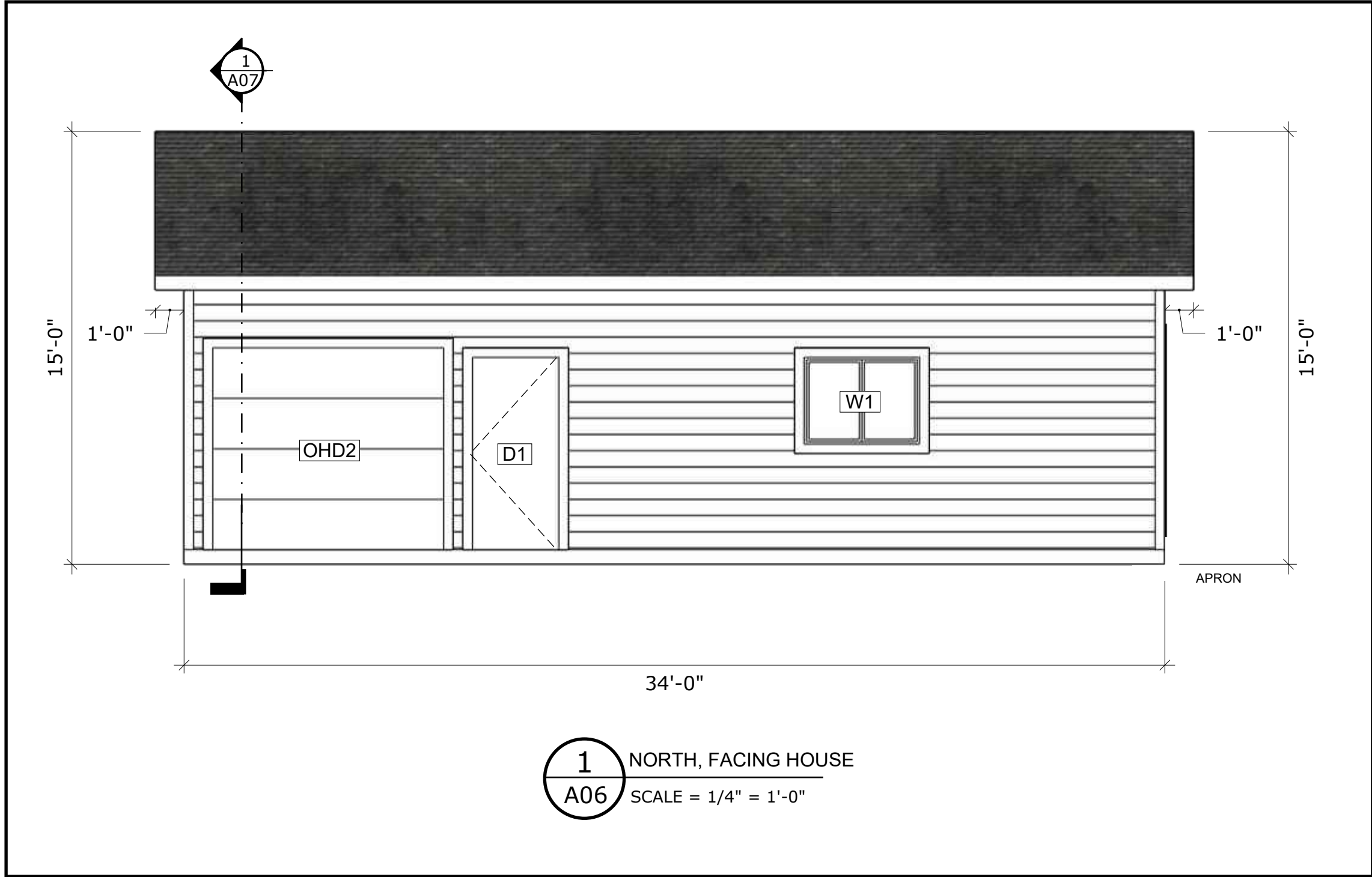
- TOTAL HEIGHT = 9'-6"
- CONCRETE CURB, 0'-6"
- 2x4 SPF #2 OR BETTER @ 16" O/C W/ SINGLE ACQ BOTTOM PLATE AND DOUBLE TOP PLATE, 9'-0" WALL ON 6" CURB
- 2x6 SPF #2 OR BETTER GARAGE DOOR WALL W/ ENGINEERED HEADER AS PER SUPPLIER, 9'-6" TOP OF WALL AT APRON
- 1/2" x 5 1/2" WEDGE ANCHORS FOR FASTENING SIL PLATE TO PAD
- 2x8 SPF #2 OR BETTER 2 PLY HEADER ABOVE WINDOW AND MAN DOOR
- 3/8 OSB SHEATHING
- BUILDING PAPER
- JAMES HARDIE. PRIMARY: LAP SIDING. SECONDARY: SHAKE SIDING.

- ROOF - PITCH = 5/12 W/ 1'-0" EAVES
- ENGINEERED TRUSSES AS PER SUPPLIER LAYOUT
 - 3/8 OSB
 - ROOFING PAPER
 - 25 YEAR ASPHALT SHINGLES
 - ROOF VENTS AS REQUIRED

DOORS/WINDOWS D1 3'-0" x 6'-8"
W1 4'-0" x 3'-0" HORIZONTAL SLIDER
OHD1 18' WIDE x 8' HIGH
OHD2 8" WIDE x 7' HIGH

PAD & FOUNDATION NEW PAD & APRON





1 NORTH, FACING HOUSE
A06 SCALE = 1/4" = 1'-0"

GARAGE DETAILS

- WALLS
- TOTAL HEIGHT = 9'-6"
 - CONCRETE CURB, 0'-6"
 - 2x4 SPF #2 OR BETTER @ 16" O/C W/ SINGLE ACQ BOTTOM PLATE AND DOUBLE TOP PLATE, 9'-0" WALL ON 6" CURB
 - 2x6 SPF #2 OR BETTER GARAGE DOOR WALL W/ ENGINEERED HEADER AS PER SUPPLIER, 9'-6" TOP OF WALL AT APRON
 - 1/2" x 5 1/2" WEDGE ANCHORS FOR FASTENING SIL PLATE TO PAD
 - 2x8 SPF #2 OR BETTER 2 PLY HEADER ABOVE WINDOW AND MAN DOOR
 - 3/8 OSB SHEATHING
 - BUILDING PAPER
 - JAMES HARDIE. PRIMARY: LAP SIDING. SECONDARY: SHAKE SIDING.

- ROOF - PITCH = 5/12 W/ 1'-0" EAVES
- ENGINEERED TRUSSES AS PER SUPPLIER LAYOUT
 - 3/8 OSB
 - ROOFING PAPER
 - 25 YEAR ASPHALT SHINGLES
 - ROOF VENTS AS REQUIRED
- DOORS/WINDOWS
- | | |
|------|---------------------------------|
| D1 | 3'-0" x 6'-8" |
| W1 | 4'-0" x 3'-0" HORIZONTAL SLIDER |
| OHD1 | 18' WIDE x 8' HIGH |
| OHD2 | 8" WIDE x 7' HIGH |
- PAD & FOUNDATION NEW PAD & APRON

PROPERTY INFORMATION

CIVIC ADDRESS
719 29 AVENUE SW, CALGARY ALBERTA

LEGAL ADDRESS
LOT: THE WEST 12.80m OF LOTS 45 TO 48 INCLUSIVE
BLOCK: D
PLAN : 1553 D
LOT COVERAGE 159.63/425.34 = 37.6%
LOT SIZE 425.34
HOUSE 90.11
GARAGE 69.52

PROJECT # 2026.015
DATE 2026.05.28 REV1
DRAWN BY: RD

NORTH,
FACING HOUSE

A06

