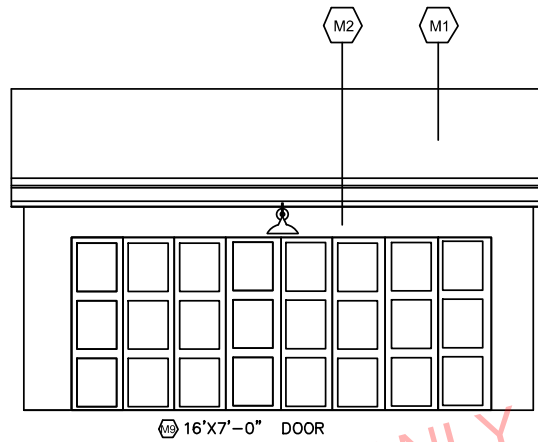
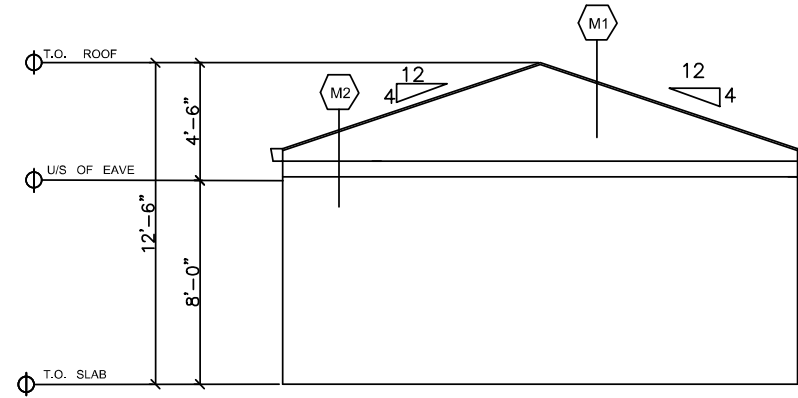
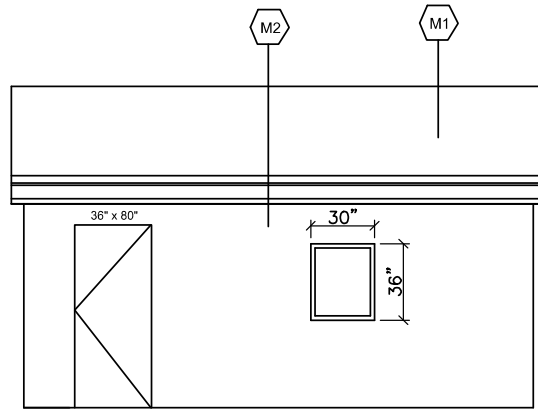




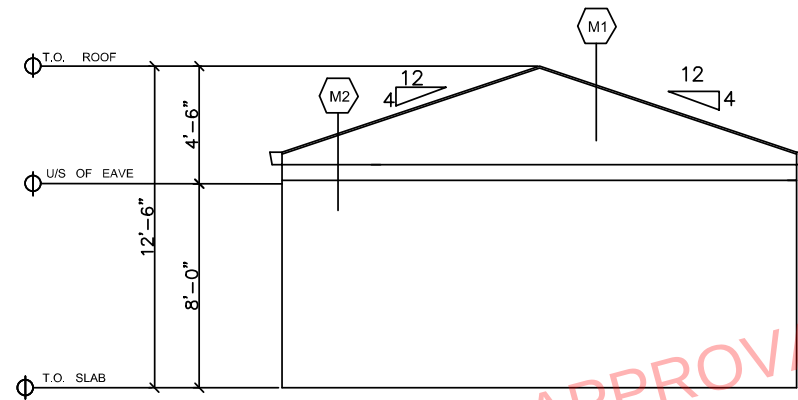
WEST SIDE ELEVATION



NORTH ELEVATION



EAST SIDE ELEVATION

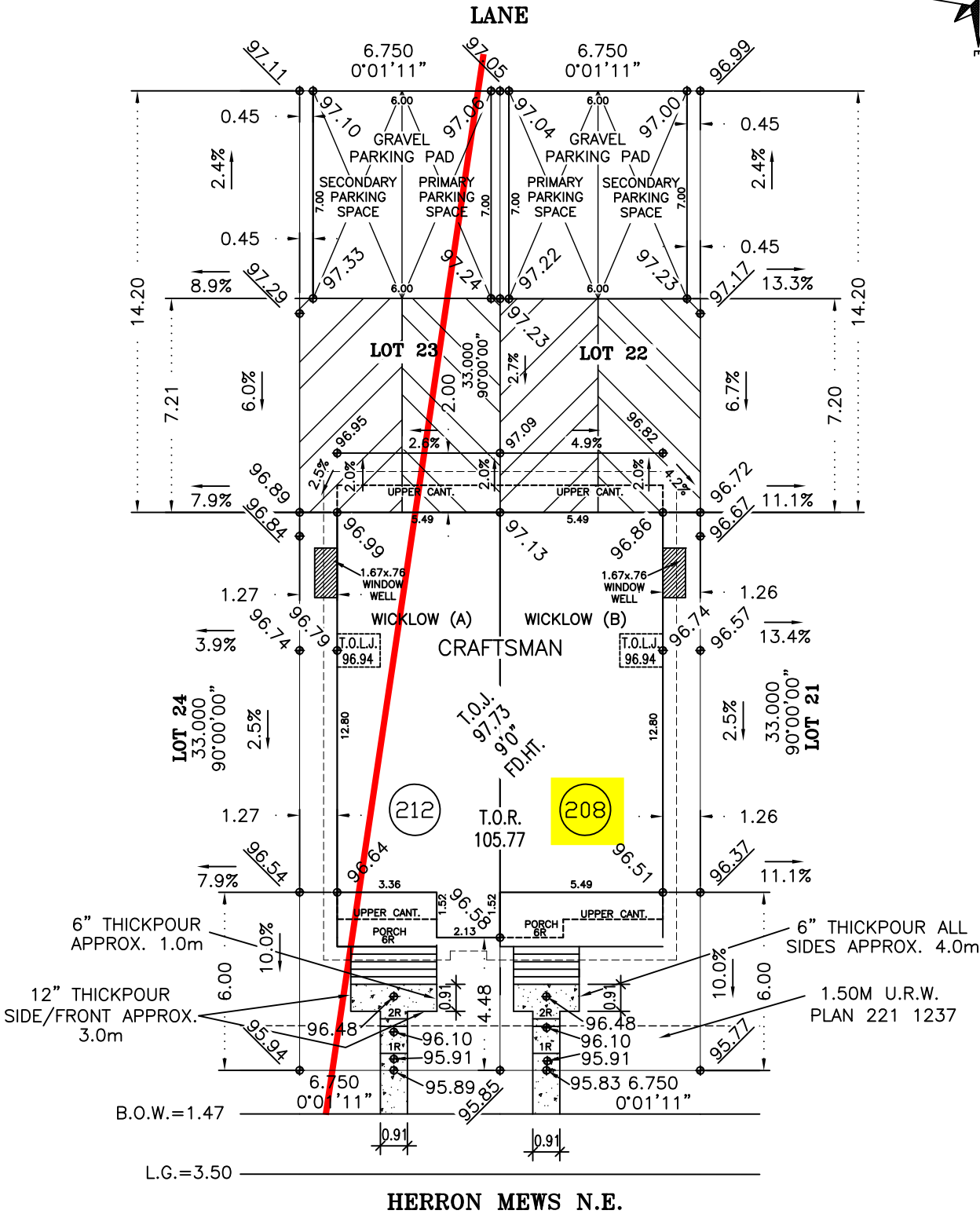
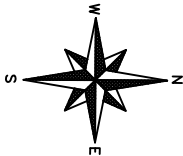


SOUTH ELEVATION

DRAWN BY	AR	TITLE	GARAGE DRAWINGS (ELEVATIONS)	DATE	8th May 2026
ADDRESS	208 Herron Mews NE, Calgary, AB			SCALE	1/4" = 1'

PLOT PLAN

LOT:23/22 BLOCK: 58 PLAN: 221 1236
ADDRESS: 212 & 208 HERRON MEWS N.E.



LEGEND

	DESIGN GRADE		 LOT 23 PRIMARY AMENITY SPACE = 24.9 m ²
	PROPOSED GRADE		 LOT 23 SECONDARY AMENITY SPACE = 23.8 m ²
			 LOT 22 PRIMARY AMENITY SPACE = 23.8 m ²
			 LOT 22 SECONDARY AMENITY SPACE = 24.8 m ²

AREAS OF LOT 23	AREAS OF LOT 22
AREA OF LOT: 222.7 m ²	AREA OF LOT: 222.7 m ²
AREA OF HOUSE: 126.5 m ²	AREA OF HOUSE: 127.3 m ²
COVERAGE: 56.8%	COVERAGE: 57.1%
SOD AREA: 31.1 m ²	SOD AREA: 27.3 m ²
CONCRETE AREA: 5.8 m ²	CONCRETE AREA: 5.2 m ²

CLIENT: BROOKFIELD RESIDENTIAL
SITE ADDRESS:212 & 208 HERRON MEWS N.E.
LEGAL DESCRIPTION:LOT 23 & 22, BLK 58, PLAN 221 1236
SUBDIVISION: LIVINGSTON
PHASE: 28
CITY/TOWN: CALGARY, ALBERTA
ZONING: R-G RESIDENTIAL

SUGGESTED GRADE (FG): 96.64
SUGGESTED GRADE (RG): -
LOWEST TOP OF FOOTING (LTF): 93.90/93.81
ACTUAL TOP OF FOOTING (ATF): 94.69
TOP OF MAIN FLOOR JOIST (TOJ): 97.73
UNDERSIDE OF MAIN FLOOR JOIST (USJ): 97.43
ROOF PEAK (RP): 105.77
STORM SEWER: 93.10/93.01
SANITARY SEWER: 93.10/93.01
WATER LINE: 25mm

- NOTES:
- GRADES AND BUILDING LAYOUT ARE SUGGESTED ONLY AND ARE SUBJECT TO CHANGE AND APPROVAL.
 - BUILDER MUST ENSURE ALL OPENINGS ARE CONSTRUCTED ABOVE ANY RG/MG GRADES.
 - PLOT PLAN MUST BE APPROVED BY DEVELOPER AND THE APPROVAL MUNICIPALITY PRIOR TO STAKEOUT. BUILDER ASSUMES ALL RESPONSIBILITY IF FAILURE TO DO SO.

VISTA GEOMATICS

Bay 28, 2015-32nd Avenue
N.E. Calgary, T2E 6Z3
AB TEL. 270-4048



The site plan for Lot #21 (113'-0" wide by 211'-11" deep) shows the following features and dimensions:

- Property Lines:** Indicated by dashed lines on all four sides.
- Existing Semi-Detached House:** Located in the lower half of the lot, measuring 42'-0" wide by 55'-0" deep. It includes a "FRONT ENTRANCE" and a rear extension with a set of stairs labeled "UP".
- Proposed Detached Garage:** A red-outlined rectangle measuring 20'-0" wide by 22'-0" deep, located in the upper half of the lot.
- Dimensions and Spacing:**
 - Top setbacks: 2'-0" (left), 6'-0" (left of garage), 20'-0" (center), 1'-6" (right).
 - Left setbacks: 2'-0" (top), 2'-0" (bottom).
 - Right setbacks: 1'-6" (top), 1'-6" (bottom).
 - Internal dimensions: 21'-11" (total depth), 22'-0" (garage depth), 18'-0" (house width), 4'-0" (garage width).
- Watermark:** A large red diagonal watermark reads "ISSUED FOR APPROVAL ONLY NOT FOR CONSTRUCTION".

ISSUED FOR APPROVAL ONLY
NOT FOR CONSTRUCTION

EXISTING SEMI DETACHED HOUSE
(HOUSE # 212 LOT # 23)

EXISTING SEMI DETACHED HOUSE
(HOUSE # 208 - LOT # 22)

LOT # 21

FRONT ENTRANCE

UP
↑

SIDE WALK

HERRON MEWS NE

DRAWN BY	AJ	TITLE	Site Layout FOR GARAGE	DATE	8th May 2026
ADDRESS		208 Herron Mews NE, Calgary, AB		SCALE	3/16" = 1'-0"