



LIST OF DRAWINGS

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A-4.2	Garage Section

PROJECT NOTES:

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AND PLUMBING ROUGH-IN NEEDS TO BE
CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE NEEDS TO
BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	19/05/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PURPOSE WITHOUT THE WRITTEN
PERMISSION

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RECENT EDITION OF THE ALBERTA
BUILDING CODE AND ANY OTHER
GOVERNING AUTHORITIES.

PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-05-19 4:45:39 PM

PROJECT NAME:
616 51 Ave S.W.
CALGARY, ALBERTA

DESIGNER: JT	JOB #: 265 - 26
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SCALE: AS SHOWN	SHEET: A-0.0
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FLOOR AREA

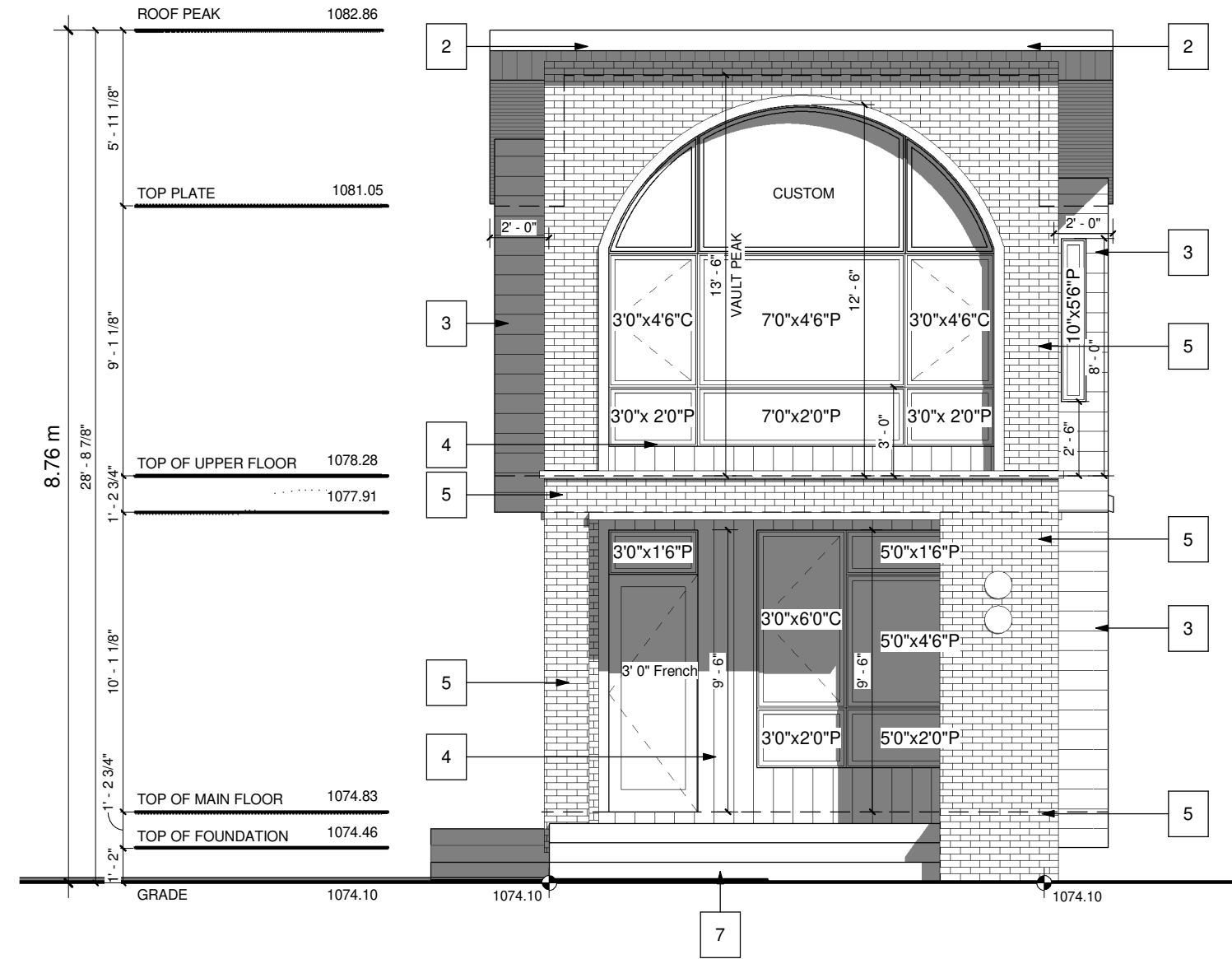
BASEMENT = 901.00 SQ. FT.
MAIN = 937.67 SQ. FT.
UPPER = 1034.50 SQ. FT.
TOTAL = 1972.17 SQ. FT.

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	VERTICAL SIDING	7	CONCRETE PARGING
2	6" ALUMNIMUM FASCIA	5	BRICK FINISH - RED	8	BLACK SLATS
3	HARDIE FINISH	6	CAST-IN-PLACE CONCRETE		

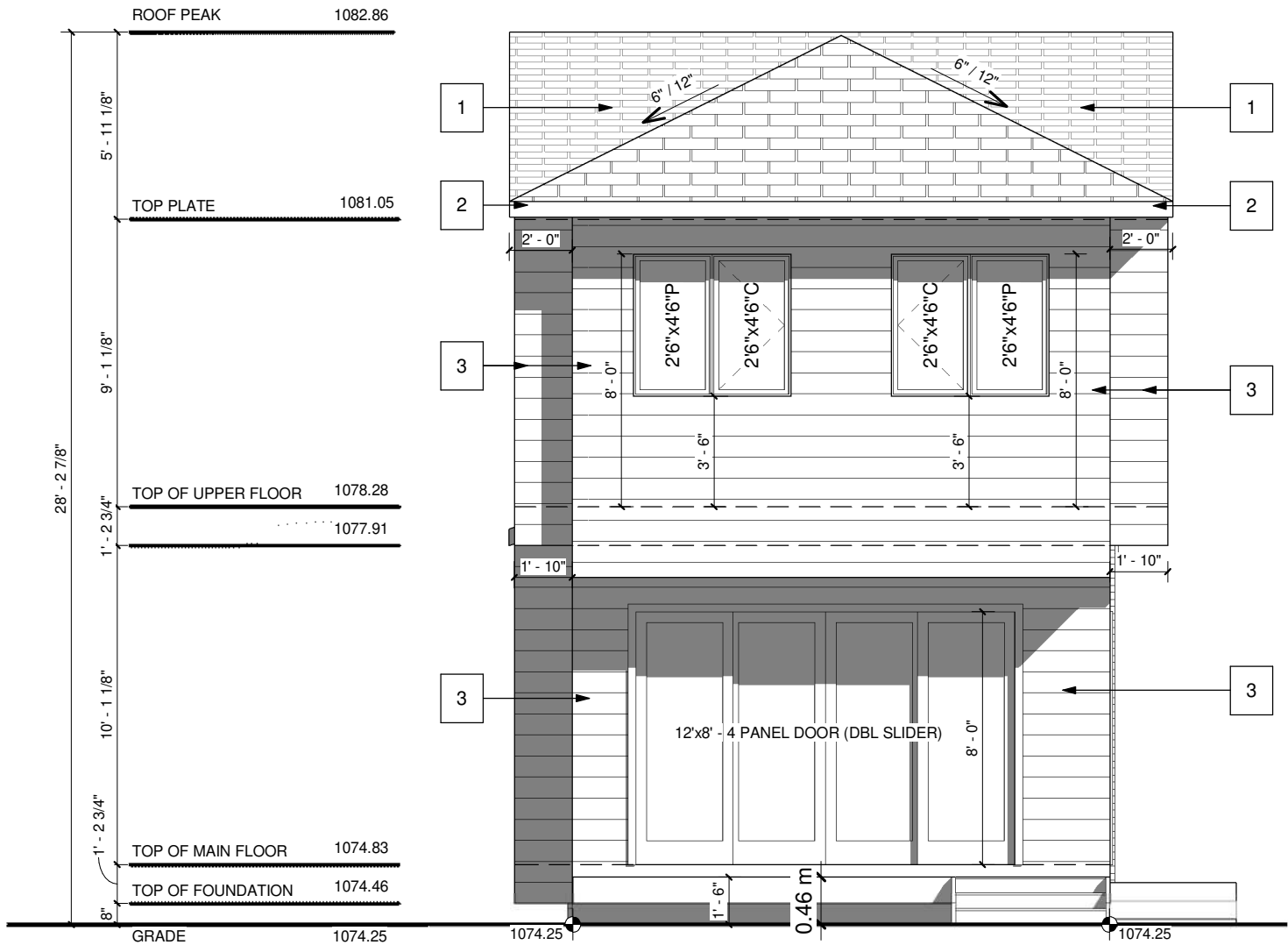
VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



FRONT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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03.	--	--	--
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05.	--	--	--

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-05-19 4:45:42 PM



PROJECT NAME:

616 51 Ave S.W.
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

265 - 26

SCALE:

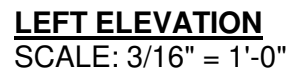
AS SHOWN

SHEET:

A-2.0

1	ASPHALT SHINGLES	4	VERTICAL SIDING	7	CONCRETE PARGING
2	6" ALUMNIMUM FASCIA	5	BRICK FINISH - RED	8	BLACK SLATS
3	HARDIE FINISH	6	CAST-IN-PLACE CONCRETE		

VENTED SOFFIT NOTES:
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 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



SHEET:
A-2.1

EXTERIOR FINISHES:

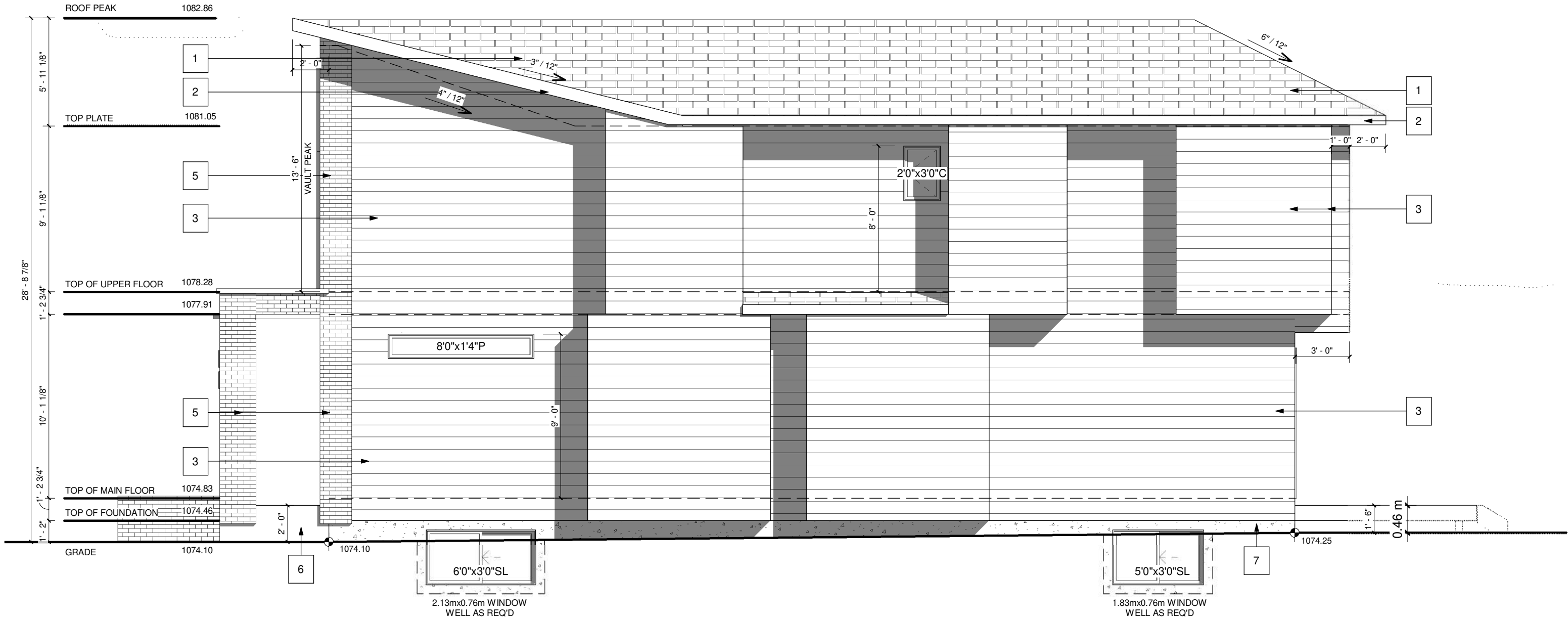
1	ASPHALT SHINGLES	4	VERTICAL SIDING	7	CONCRETE PARGING
2	6" ALUMNIMUM FASCIA	5	BRICK FINISH - RED	8	BLACK SLATS
3	HARDIE FINISH	6	CAST-IN-PLACE CONCRETE		

WINDOW CALCULATION

WALL AREA = 1257.86 SQ. FT.
WINDOW AREA = 23.88 SQ. FT.
TOTAL: 23.88 / 1257.86 = 1.90%

VENTED SOFFIT NOTES:

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(SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-05-19 4:45:43 PM



PROJECT NAME:

616 51 Ave S.W.
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

265 - 26

SCALE:
AS SHOWN
AS SHOWN

SHEET:

A-2.2

EXTERIOR FINISHES:

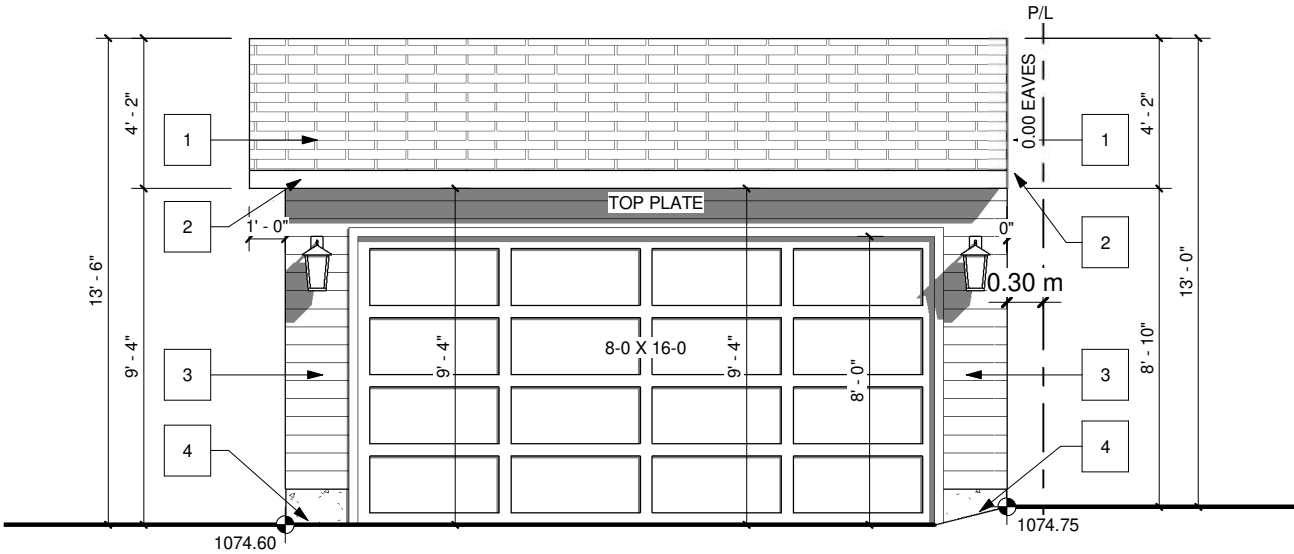
- 1

ASPHALT SHINGLES
- 2

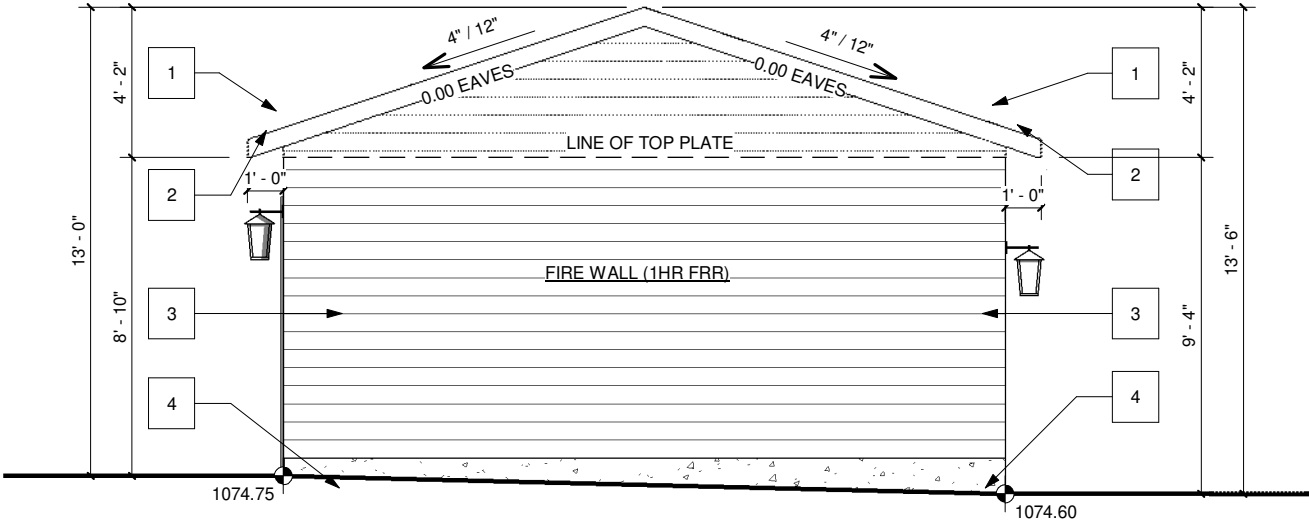
8" ALUMNIMUM FASCIA
- 3

SIDING FINISH
- 4

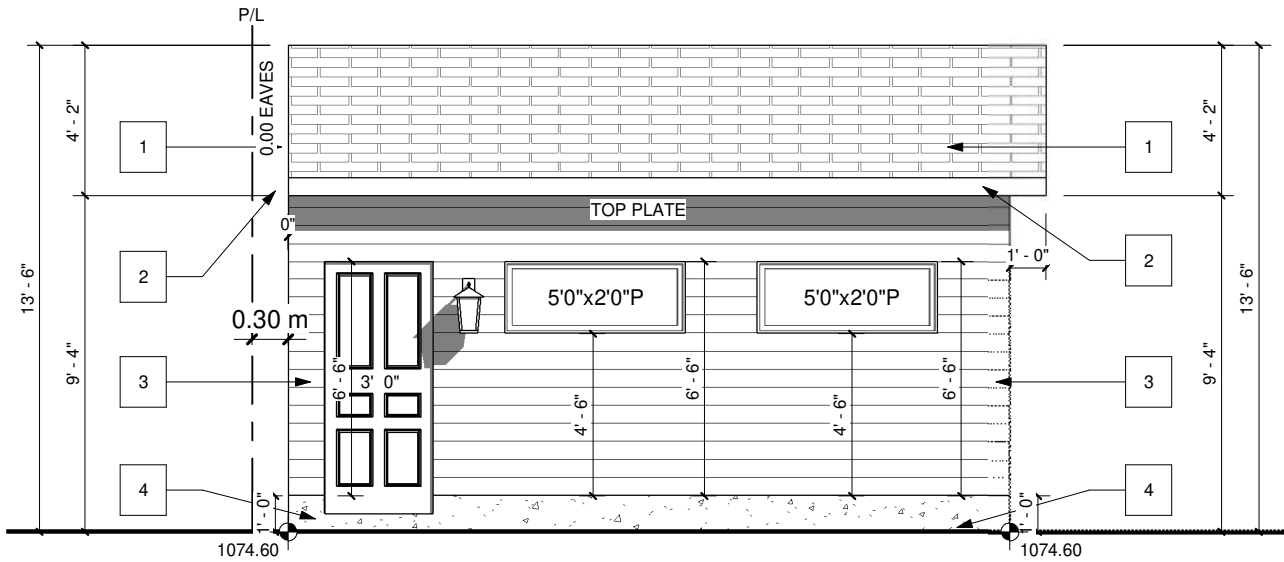
CONC. PARGING



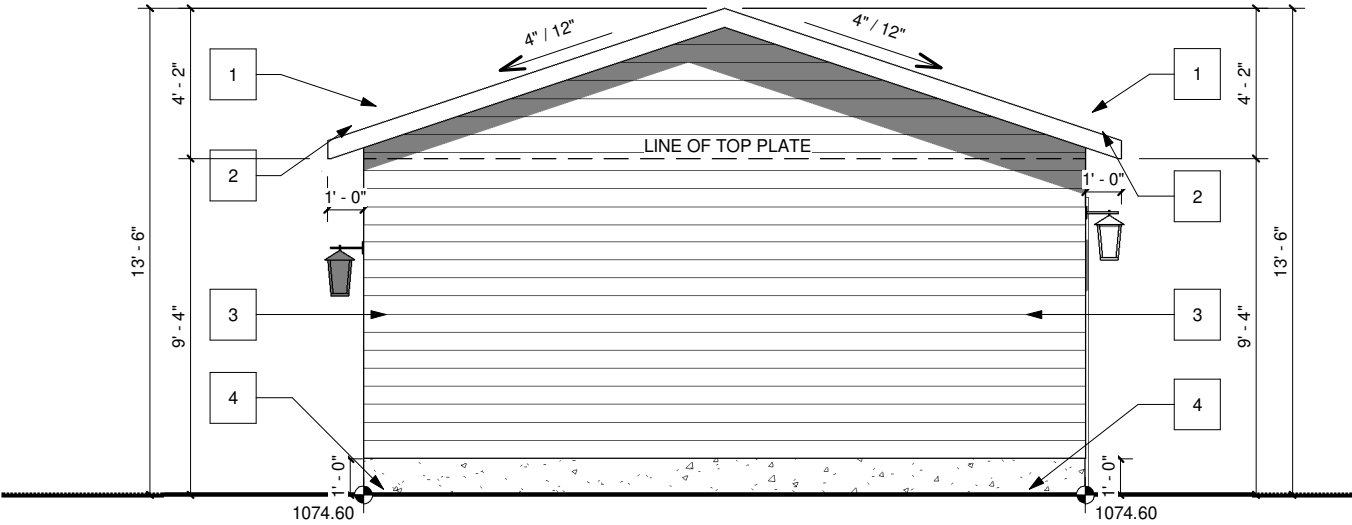
GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"



GARAGE LEFT
SCALE: 3/16" = 1'-0"

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05.	--	--	--



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PROJECT:
NEW HOME

STATUS: -

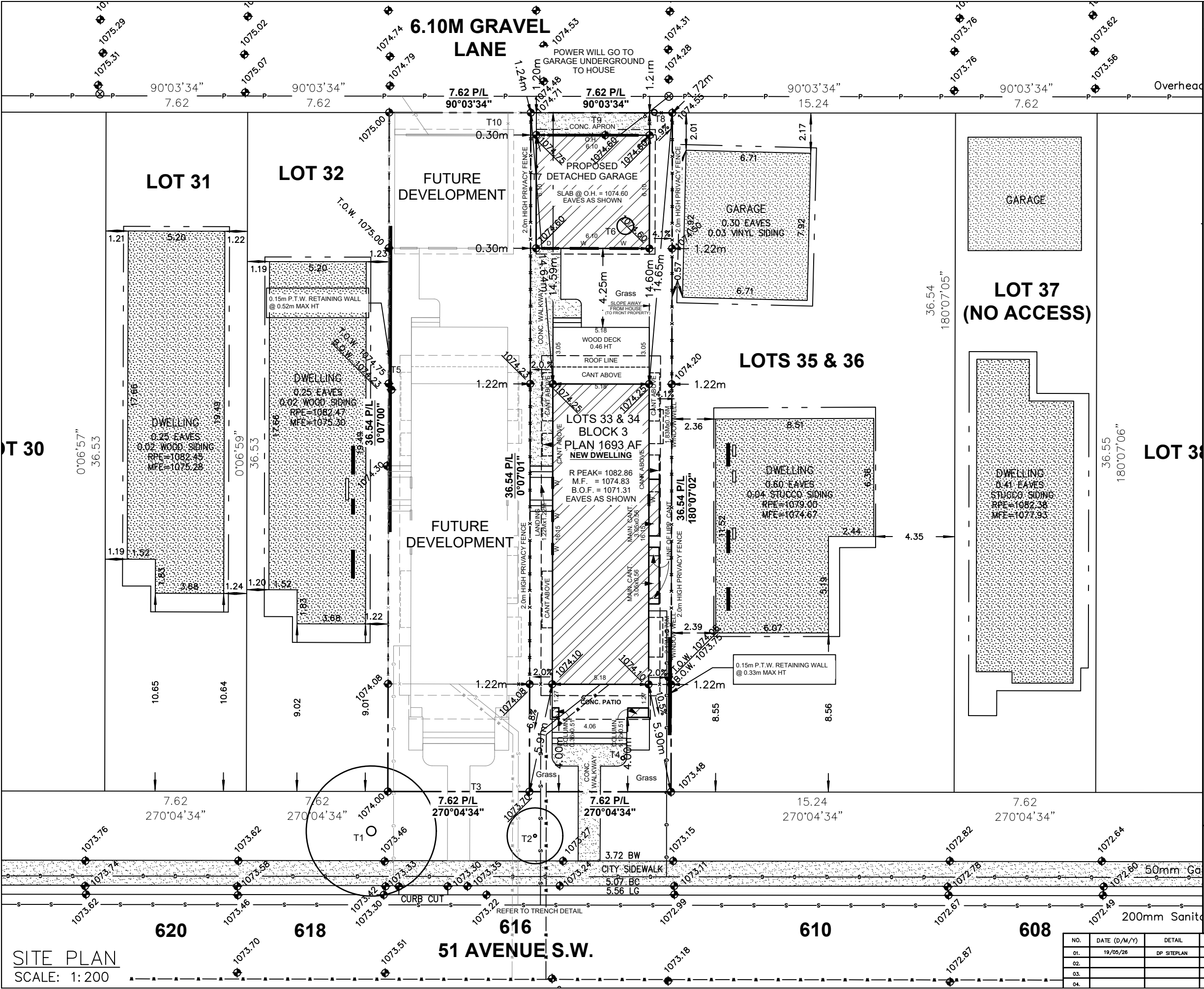
SIGNATURES:
X _____

PRINTED: 2026-05-19 4:45:44 PM

PROJECT NAME:
616 51 Ave S.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 265 - 26

SCALE: AS SHOWN SHEET: A-4.1



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 140368
ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

•	denotes Calculation points
⊠	denotes Water Valve
◊	denotes Gas Valve
⊙	denotes Manhole
⊕	denotes Tree
⊗	denotes Power Pole
△	denotes Sign
☀	denotes Light Standard
-X-X-	denotes Fence
-S-	denotes Sanitary Line
-ST-	denotes Storm Line
-W-	denotes Water Line
-G-	denotes Gas Line
-E-	denotes Electrical Line
-A.G.T-	denotes A.G.T Line
-U.R.O.W-	denotes Utility Right of Way Line
-P.L-	denotes Property Line
▤	denotes Door
▭	denotes Main Floor Windows
▮	denotes Second Floor Windows
▯	denotes Basement Floor Windows
▨	denotes Shed Hatch
▩	denotes Detached Garage Hatch
▪	denotes Main Building Hatch
▧	denotes Concrete and Asphalt Hatch
▦	denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1: 200

LEGAL DESCRIPTION:
Lots 33 & 34
Block 3
Plan 1693 AF

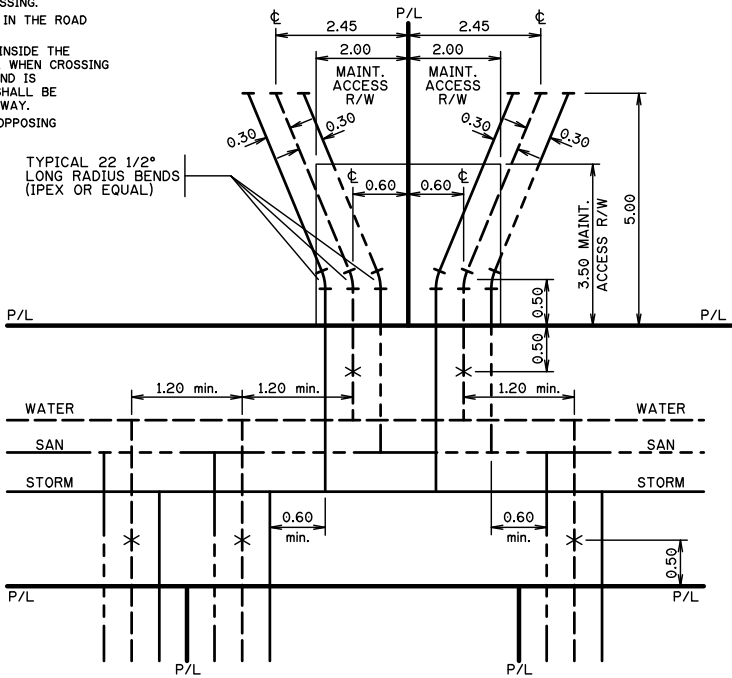
MUNICIPAL ADDRESS:
616 - 51st AVENUE S.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)
LOT SIZE: 278.304 SQ M
HOUSE: 83.706 SQ M
COVERED PORCH: 1.881 SQ M
CANT.: 3.406 SQ M
WING WALL: 0.784 SQ M
GARAGE: 37.161 SQ M
TOTAL: 125.022/278.304
= 44.92%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	19/05/26	DP SITEPLAN	D.L.	616 51st AVENUE SW (East) Calgary, Alberta	SINGLE HOUSE	1: 200
02.				Lots 33 To 34 Block 3 Plan 1693 AF	DATE: MAY 19, 2026	DIVISION NUMBER: S 01
03.						
04.						

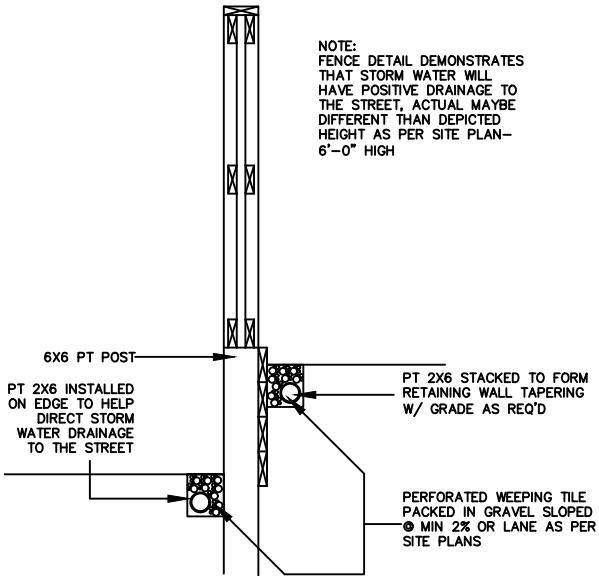
NOTES:

1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
- THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
- WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



TRENCH DETAIL
SCALE: NTS

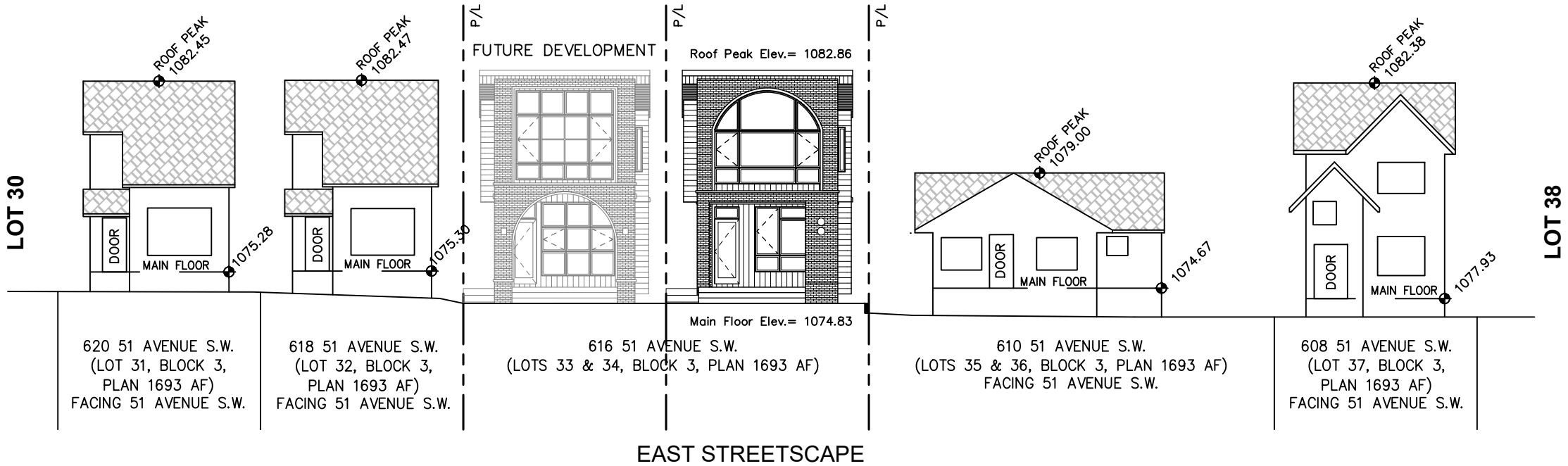
NOTE:
FENCE DETAIL DEMONSTRATES
THAT STORM WATER WILL
HAVE POSITIVE DRAINAGE TO
THE STREET, ACTUAL MAYBE
DIFFERENT THAN DEPICTED
HEIGHT AS PER SITE PLAN-
6'-0" HIGH



FENCE SECTION DETAIL
SCALE: NTS

TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Deciduous	0.50	7.0	8.0	In City Property	To Stay
T2	Deciduous	0.15	3.0	3.0	In City Property	To Stay
T3	Hedge	---	1.0	1.0	On Property Line	To Be Removed
T4	Deciduous	0.20	6.0	5.0	In Subject Property	To Be Removed
T5	Hedge	---	1.0	2.5	On Property Line	To Be Removed
T6	Deciduous	0.90	13.0	11.0	In Subject Property	To Be Removed
T7	Deciduous	0.10	6.0	4.0	In Subject Property	To Be Removed
T8	Deciduous	0.20	4.0	3.0	On Property Line	To Be Removed
T9	Bush	---	6.0	2.5	On Property Line	To Be Removed
T10	Bush	---	4.0	2.5	On Property Line	To Be Removed

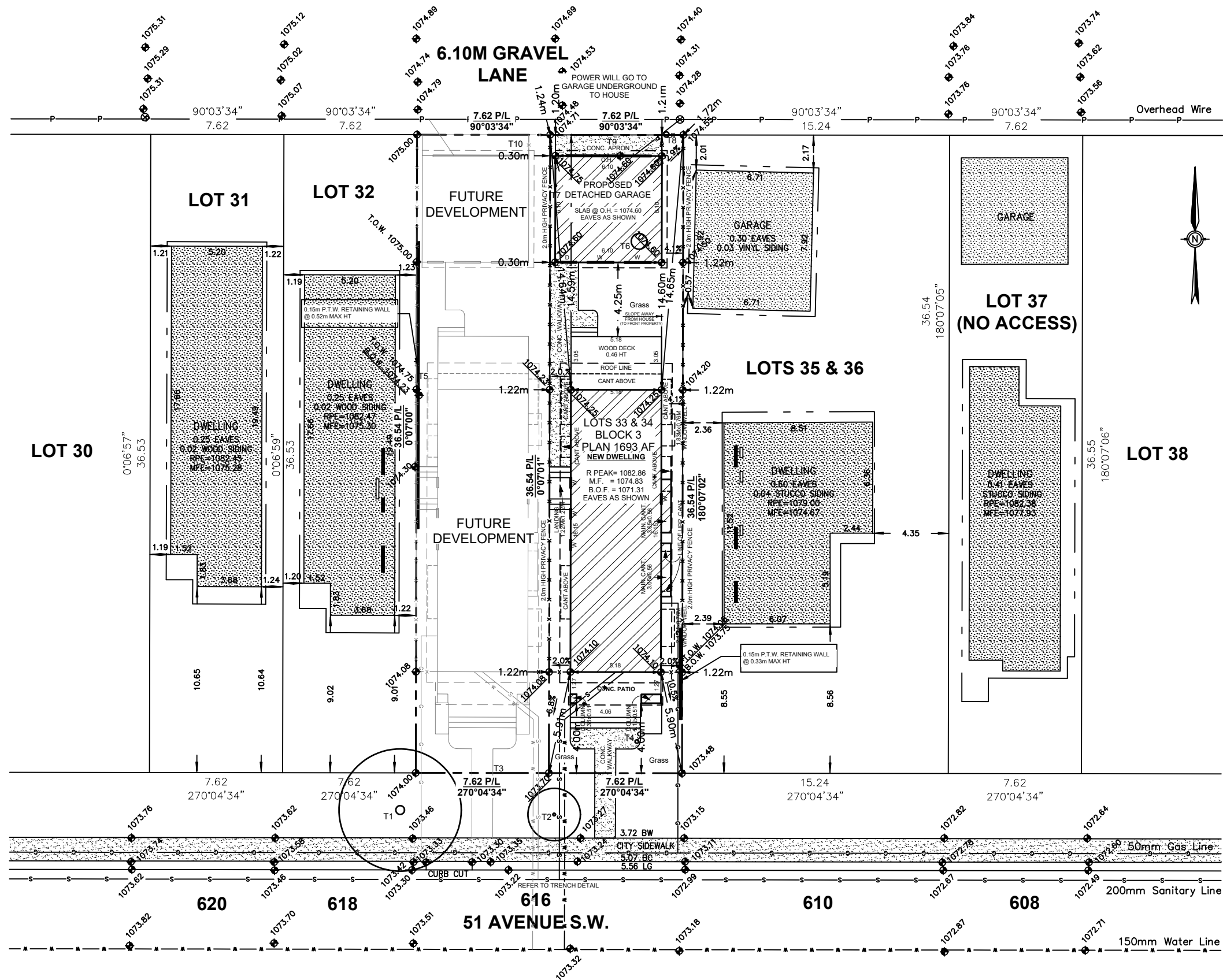


STREETSCAPE
SCALE: 1:250

SINGLE DETACHED SQFT:

	AREA
BASEMENT	901.00 SQ FT
MAIN FLOOR	937.67 SQ FT
UPPER FLOOR	1034.50 SQ FT
TOTAL AREA	1972.17 SQ FT

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE:
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02.				Lots 33 To 34		
03.				Block 3		
04.				Plan 1693 AF		
					DATE: MAY 19, 2026	DIVISION NUMBER: S 02



BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
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02.				Lots 33 To 34		
03.				Block 3	DATE:	DIVISION NUMBER
04.				Plan 1693 AF	MAY 19, 2026	S 03