



LIST OF DRAWINGS

A-0.0	Cover Page
A-0.1	Assemblies
A-0.2	Schedule
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front and Rear Elevations
A-2.1	Left Elevation
A-2.2	Right Elevation
A-3.0	Section 1
A-3.1	Section 2
A-4.0	Garage Plan
A-4.1	Garage Elevations
A-4.2	Garage Section
A-5.0 A	Above Ground Wall Detail
A-5.0 B	Above Ground Wall & Rim Joist Detail
A-5.1	Foundation Wall Detail
A-5.2	Roof Details
A-5.3	Jamb & Heated Slab Detal
A-5.4	Opening Details
A-5.5	Air Barrier Details
A-5.6	Technical Data Sheet & HRV
E-1.0	Basement Electrical
E-1.1	Main Electrical
E-1.2	Upper Electrical

FLOOR AREA

BASEMENT	=	901.00 SQ. FT.
MAIN	=	937.67 SQ. FT.
UPPER	=	1034.50 SQ. FT.
TOTAL	=	1972.17 SQ. FT.

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	19/05/2026	DP PLANS	D.L.
02.	31/07/2026	BP PLANS	M.C.
03.	--	--	--
04.	--	--	--
05.	--	--	--



COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT : NEW HOME

STATUS: -

SIGNATURES : X _____

PRINTED : 2026-08-12 4:04:19 PM

PROJECT NAME: 616 51 Ave S.W. (East)
CALGARY, ALBERTA

DESIGNER : JT JOB #: 265 - 26

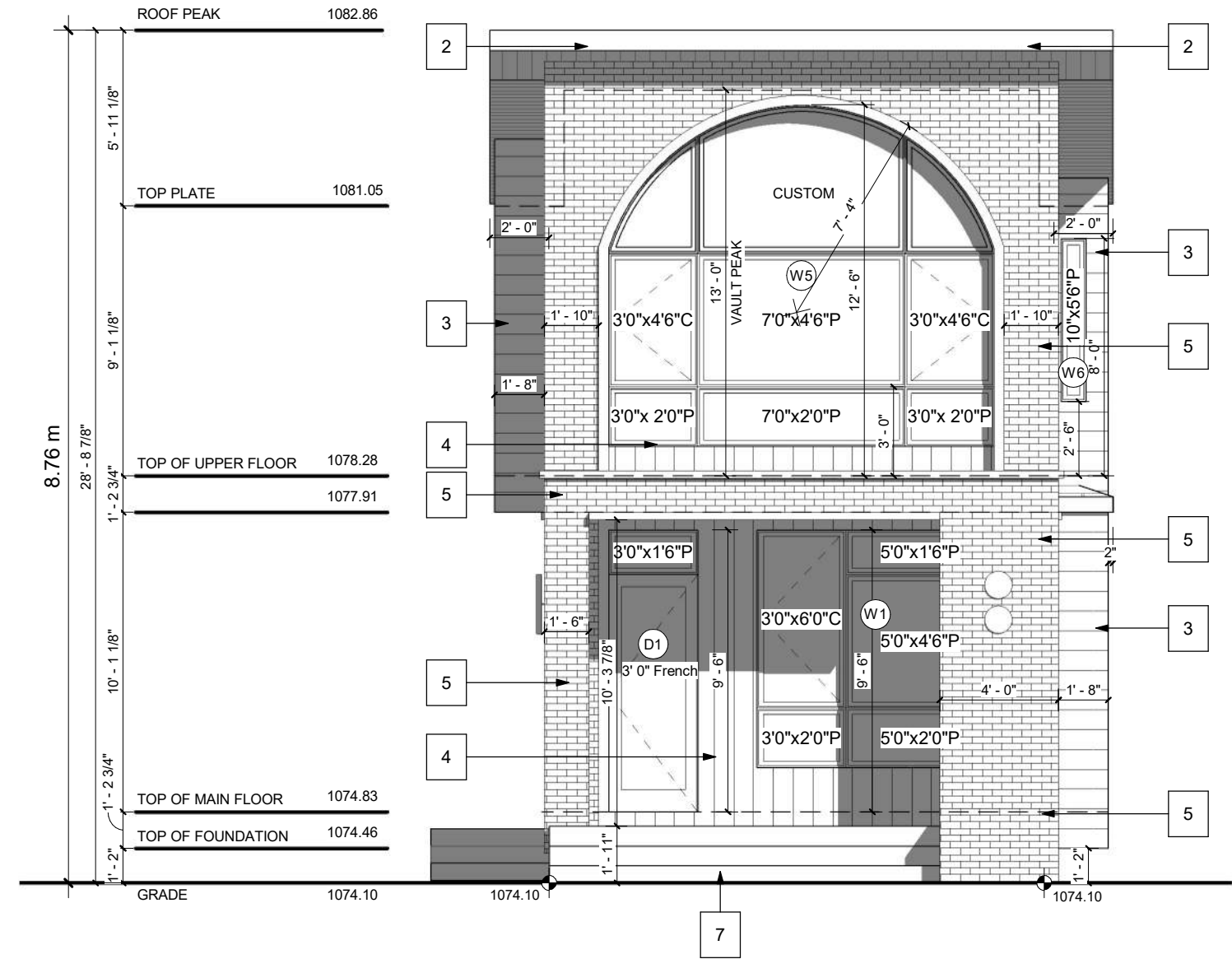
SCALE : AS SHOWN SHEET : A-0.0

EXTERIOR FINISHES:

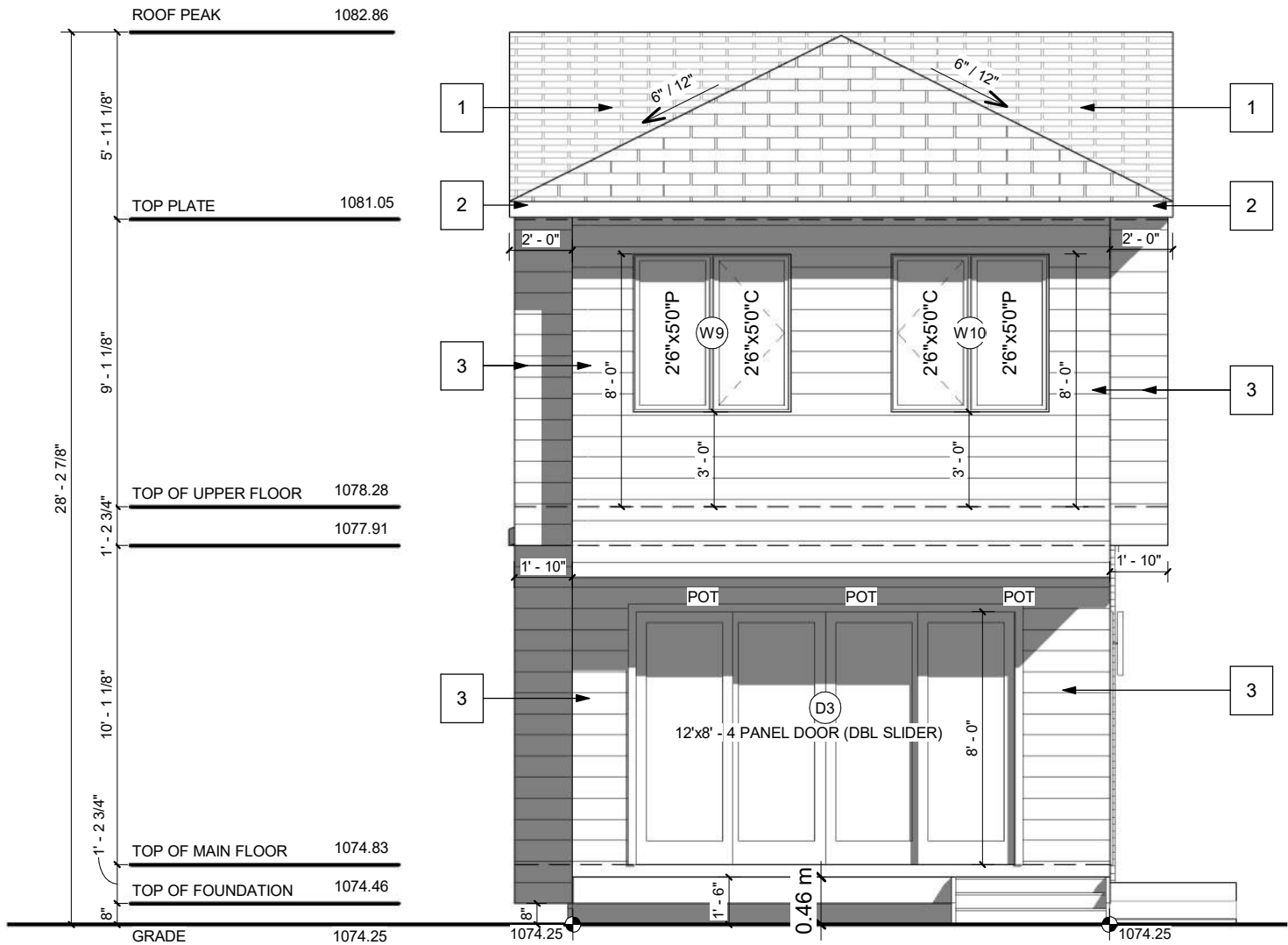
1	ASPHALT SHINGLES	4	VERTICAL SIDING	7	CONCRETE PARGING
2	6" ALUMNIMUM FASCIA	5	BRICK FINISH - RED	8	BLACK SLATS
3	HARDIE FINISH	6	CAST-IN-PLACE CONCRETE		

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:
-ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	19/05/2026	DP PLANS	D.L.
02.	31/07/2026	BP PLANS	M.C.
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION
ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT :
NEW HOME
STATUS: -
SIGNATURES :
X
PRINTED 2026-08-12 4:04:22 PM



PROJECT NAME:
616 51 Ave S.W. (East)
CALGARY, ALBERTA

DESIGNER : JT
JOB #: 265 - 26
SCALE : AS SHOWN
SHEET : A-2.0

EXTERIOR FINISHES:

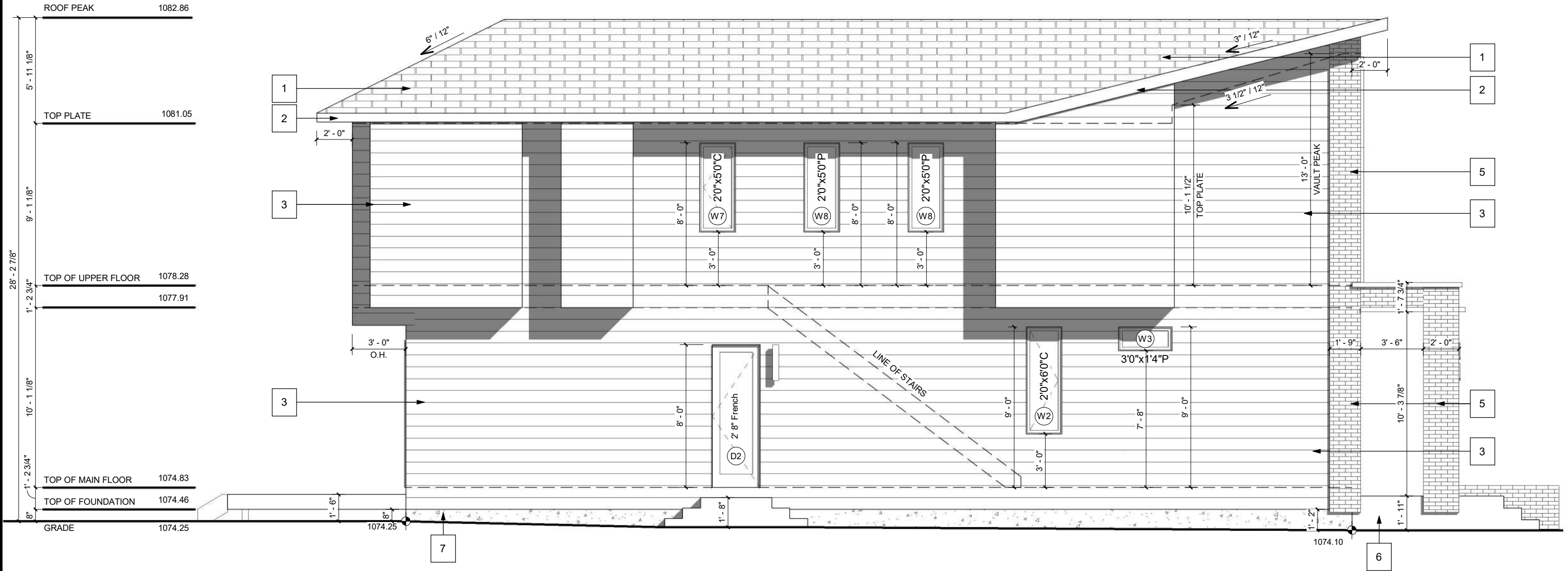
1	ASPHALT SHINGLES	4	VERTICAL SIDING	7	CONCRETE PARGING
2	6" ALUMNIMUM FASCIA	5	BRICK FINISH - RED	8	BLACK SLATS
3	HARDIE FINISH	6	CAST-IN-PLACE CONCRETE		

WINDOW CALCULATION

WALL AREA = 1263.55 SQ. FT.
WINDOW AREA = 71.04 SQ. FT.
TOTAL: 71.04 / 1263.55 = 5.62%

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

-ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	19/05/2026	DP PLANS	D.L.
02.	31/07/2026	BP PLANS	M.C.
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT :

NEW HOME

STATUS:

-

SIGNATURES :

X

PRINTED 2026-08-12 4:04:23 PM



PROJECT NAME:

616 51 Ave S.W. (East)
CALGARY, ALBERTA

DESIGNER :

JT

JOB #:

265 - 26

SCALE :

AS SHOWN

SHEET :

A-2.1

EXTERIOR FINISHES:

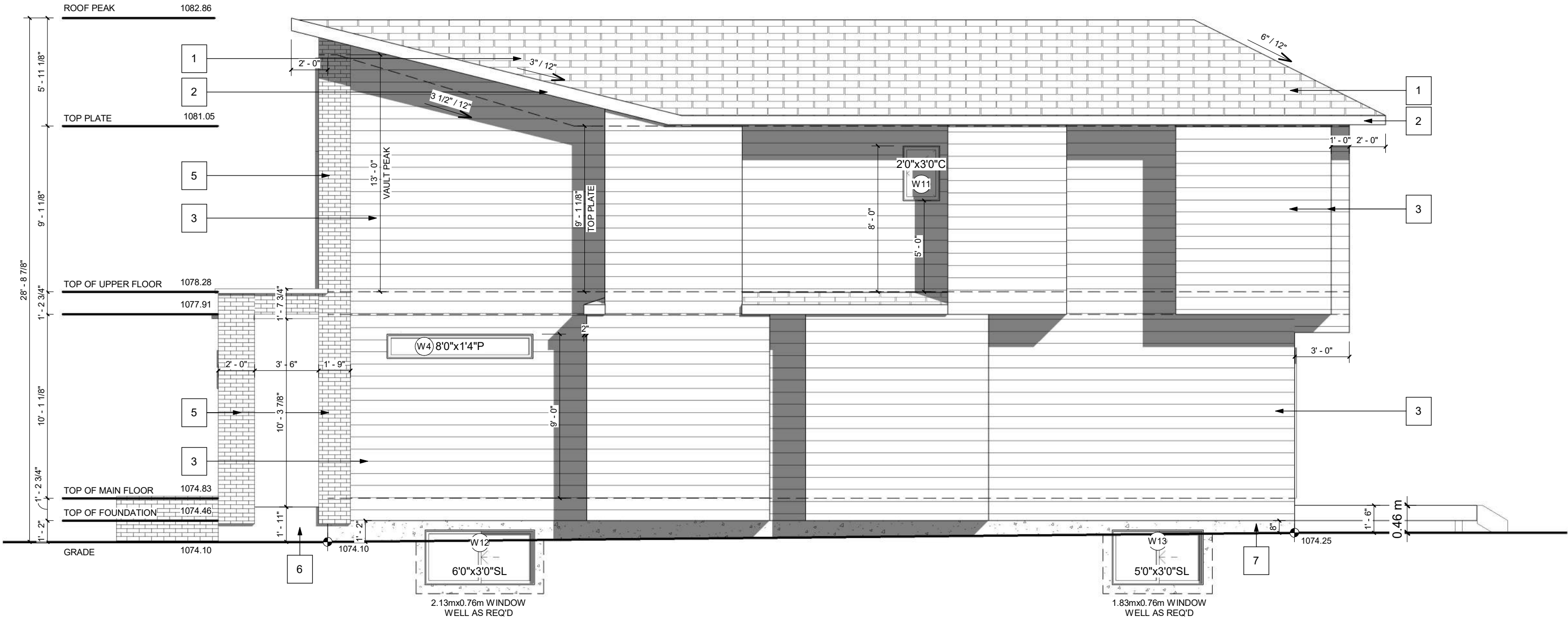
1	ASPHALT SHINGLES	4	VERTICAL SIDING	7	CONCRETE PARGING
2	6" ALUMNIMUM FASCIA	5	BRICK FINISH - RED	8	BLACK SLATS
3	HARDIE FINISH	6	CAST-IN-PLACE CONCRETE		

WINDOW CALCULATION

WALL AREA = 1257.86 SQ. FT.
WINDOW AREA = 23.88 SQ. FT.
TOTAL: 23.88 / 1257.86 = 1.90%

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

PROJECT

NOTES:
-ALL FRAMING, ELECTRICAL ROUGH-IN
AND PLUMBING ROUGH-IN NEEDS TO BE
CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE
DESIGNER TO BE RESOLVED BEFORE
PROCEEDING

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT
UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE
OF A REGISTERED PROFESSIONAL.
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	19/05/2026	DP PLANS	D.L.
02.	31/07/2026	BP PLANS	M.C.
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY AND WERE CREATED
FOR USE IN A SPECIFIED PROJECT. NONE OF THE
IDEAS AND/OR DESIGNS MAY BE USED BY, OR
DISCLOSED TO, ANY OTHER PERSON OR
ORGANIZATION FOR ANY PURPOSE WITHOUT THE
WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA BUILDING
CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT

NEW HOME

STATUS:

-

SIGNATURES

X

PRINTED 2026-08-12 4:04:24 PM



PROJECT

NAME:
616 51 Ave S.W. (East)
CALGARY, ALBERTA

DESIGNER

JT

JOB #:

265 - 26

SCALE

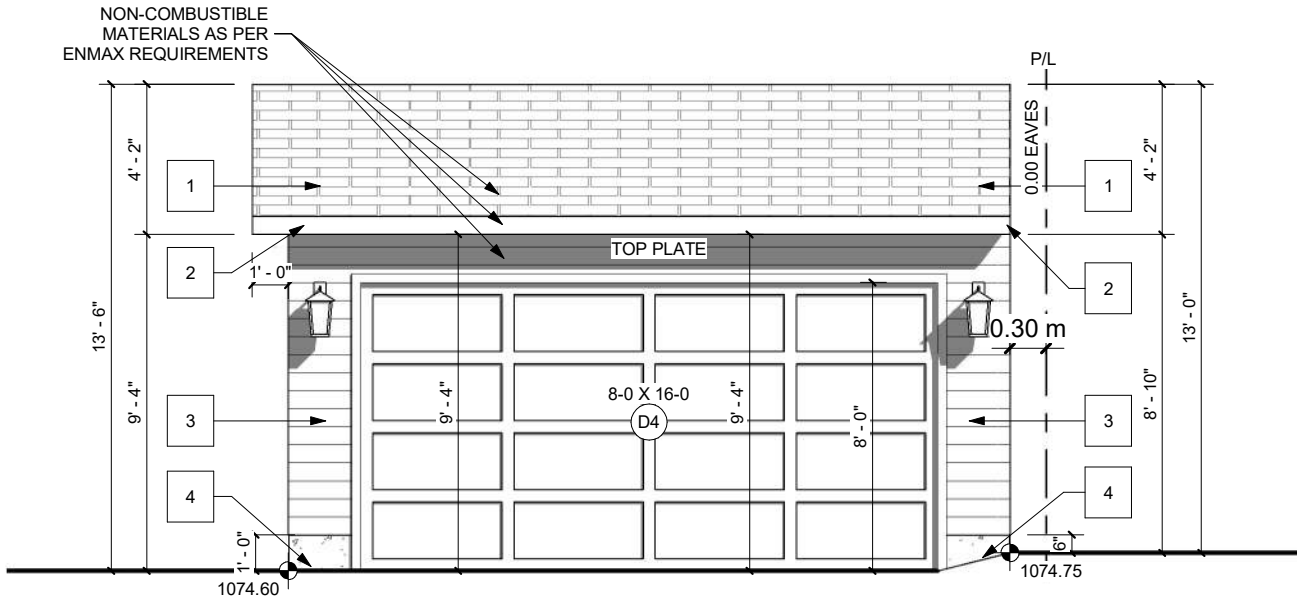
AS SHOWN
AS SHOWN

SHEET

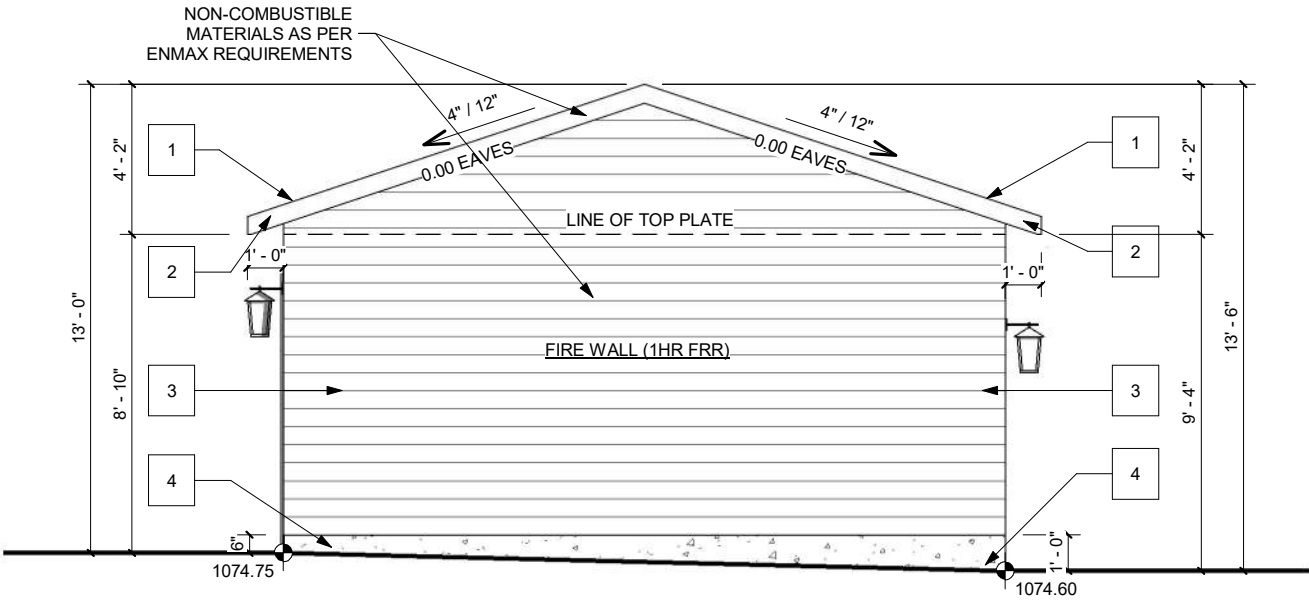
A-2.2

EXTERIOR FINISHES:

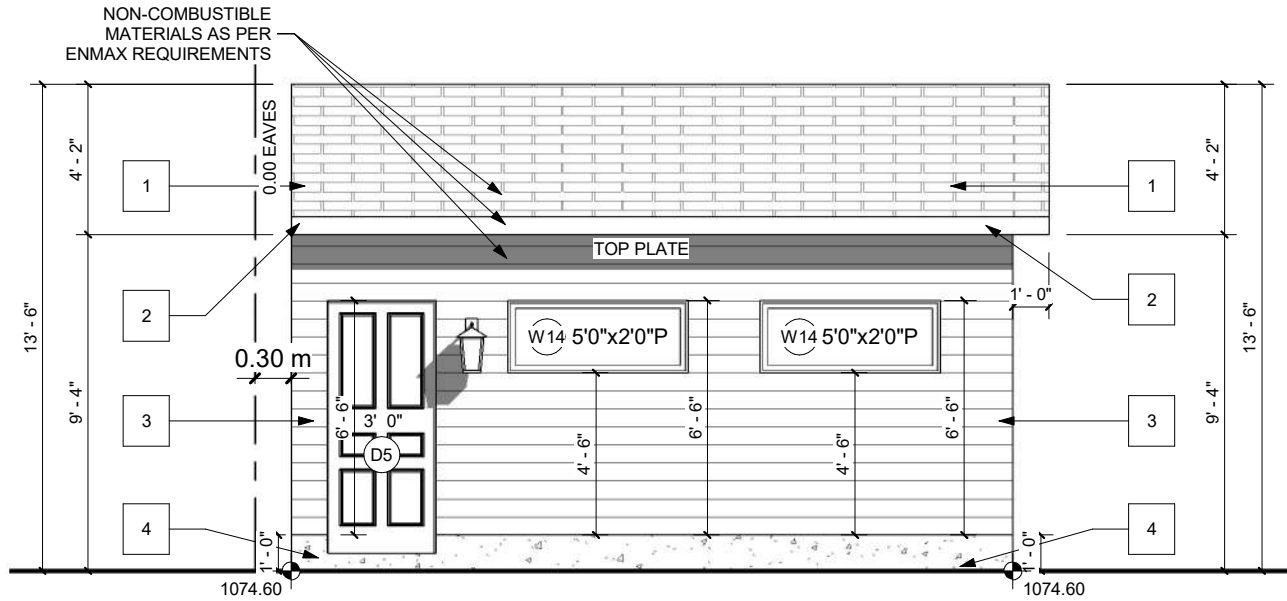
- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 HARDIEBOARD SIDING
- 4 CONC. PARGING



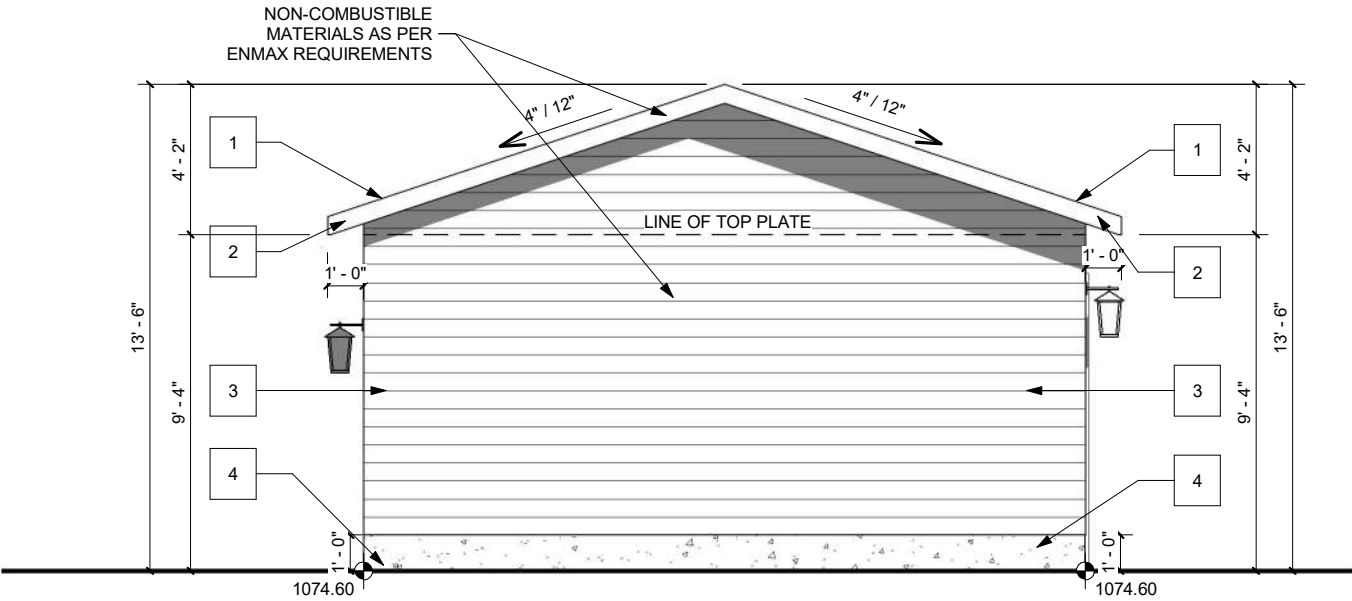
GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"



GARAGE LEFT
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT, UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	19/05/2026	DP PLANS	D.L.
02.	31/07/2026	BP PLANS	M.C.
03.	--	--	--
04.	--	--	--
05.	--	--	--



COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT : NEW HOME

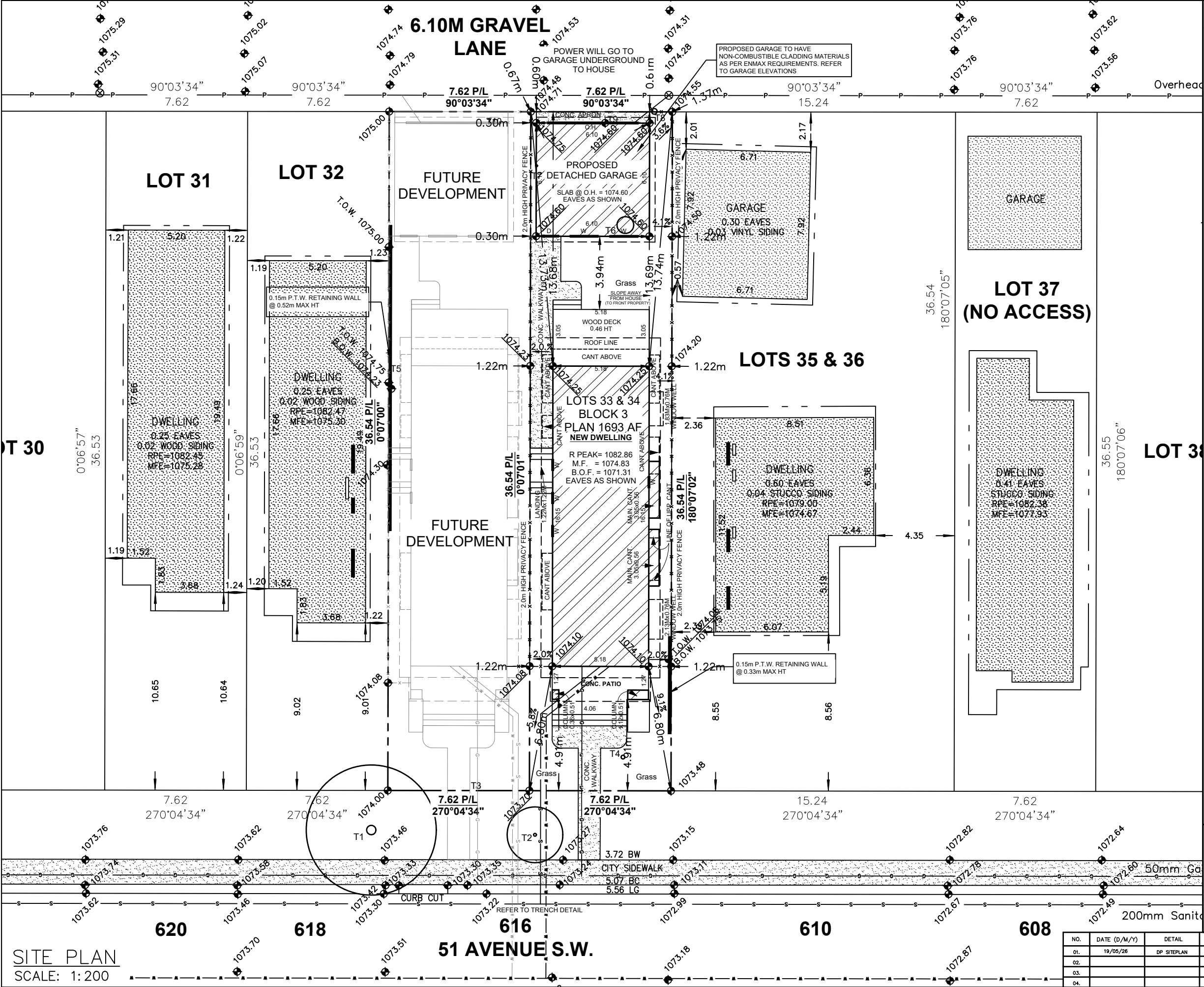
STATUS: -

SIGNATURES : X

PRINTED : 2026-08-12 4:04:24 PM

PROJECT NAME: 616 51 Ave S.W. (East) CALGARY, ALBERTA

DESIGNER : JT	JOB #: 265 - 26
SCALE : AS SHOWN	SHEET : A-4.1



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 140368
ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- denotes Fence
- denotes Sanitary Line
- denotes Storm Line
- denotes Water Line
- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1: 200

LEGAL DESCRIPTION:
Lots 33 & 34
Block 3
Plan 1693 AF

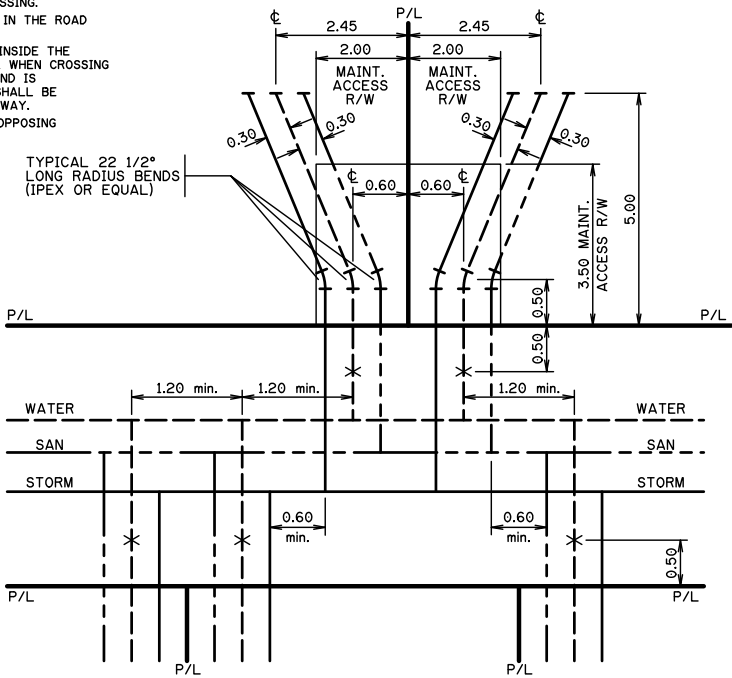
MUNICIPAL ADDRESS:
616 - 51st AVENUE S.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)
LOT SIZE: 278.304 SQ M
HOUSE: 83.706 SQ M
COVERED PORCH: 1.881 SQ M
CANT.: 3.406 SQ M
WING WALL: 0.784 SQ M
GARAGE: 37.161 SQ M
TOTAL: 125.022/278.304 = 44.92%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	19/05/26	DP SITEPLAN	D.L.	616 51st AVENUE SW (East) Calgary, Alberta	SINGLE HOUSE	1: 200
02.				Lots 33 To 34 Block 3 Plan 1693 AF	DATE: MAY 19, 2026	DIVISION NUMBER: S 01
03.						
04.						

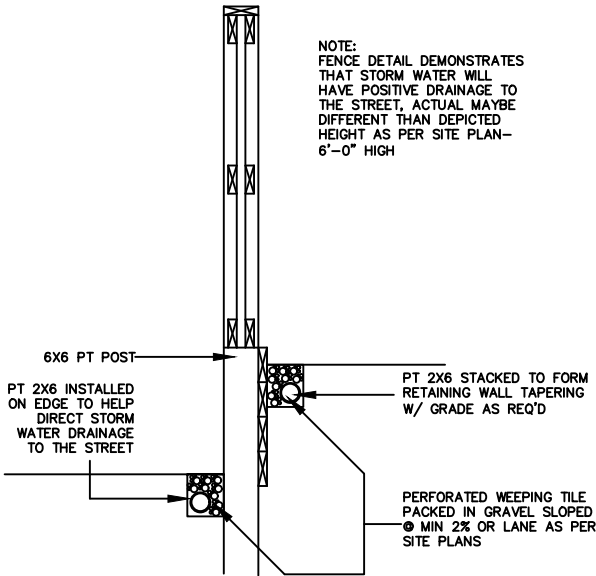
NOTES:

1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
- THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
- WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



TRENCH DETAIL
SCALE: NTS

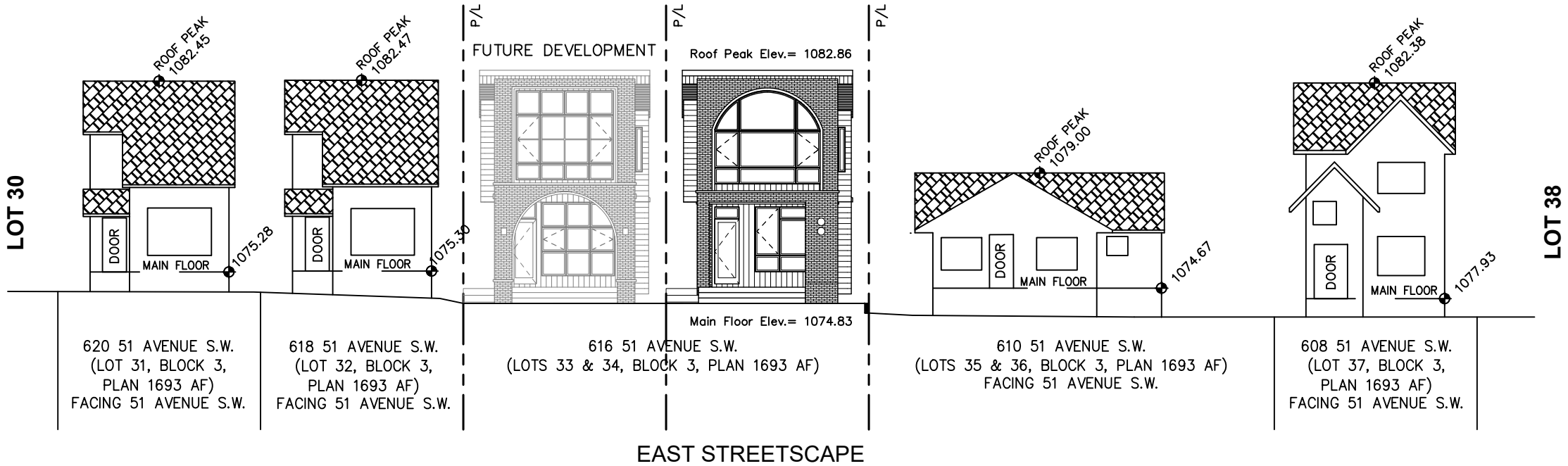
NOTE:
FENCE DETAIL DEMONSTRATES
THAT STORM WATER WILL
HAVE POSITIVE DRAINAGE TO
THE STREET, ACTUAL MAYBE
DIFFERENT THAN DEPICTED
HEIGHT AS PER SITE PLAN-
6'-0" HIGH



FENCE SECTION DETAIL
SCALE: NTS

TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Green Ash	0.50	7.0	8.0	In City Property	To Stay
T2	Poplar Species	0.15	3.0	3.0	In City Property	To Be Removed
T3	Hedge	----	1.0	1.0	On Property Line	To Be Removed
T4	Deciduous	0.20	6.0	5.0	In Subject Property	To Be Removed
T5	Hedge	----	1.0	2.5	On Property Line	To Be Removed
T6	Deciduous	0.90	13.0	11.0	In Subject Property	To Be Removed
T7	Deciduous	0.10	6.0	4.0	In Subject Property	To Be Removed
T8	Deciduous	0.20	4.0	3.0	On Property Line	To Be Removed
T9	Bush	----	6.0	2.5	On Property Line	To Be Removed
T10	Bush	----	4.0	2.5	On Property Line	To Be Removed

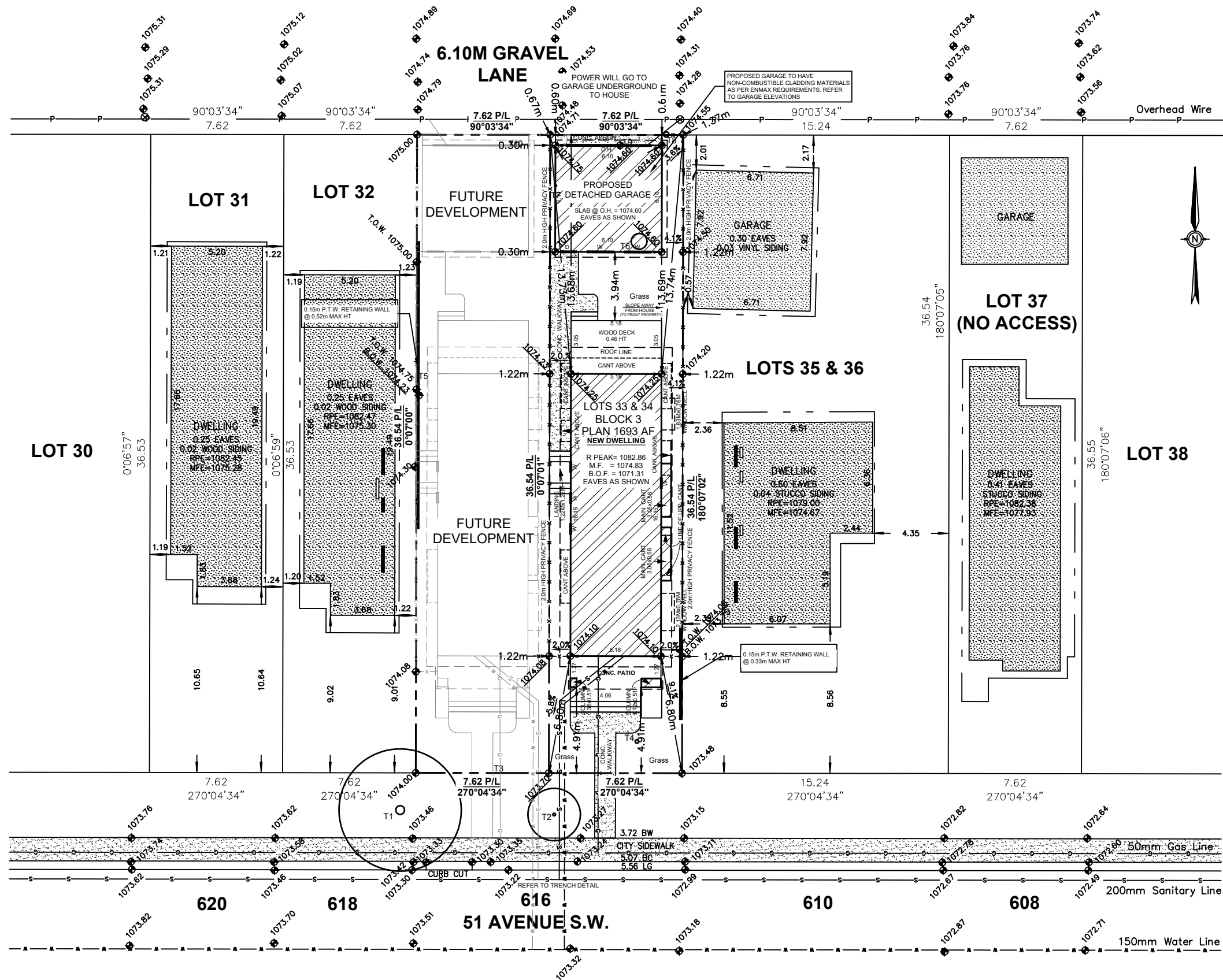


STREETSCAPE
SCALE: 1: 250

SINGLE DETACHED SQFT:

	AREA
BASEMENT	901.00 SQ FT
MAIN FLOOR	937.67 SQ FT
UPPER FLOOR	1034.50 SQ FT
TOTAL AREA	1972.17 SQ FT

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE:
01.	19/05/26	DP SITEPLAN	D.L.	616 51st AVENUE SW (East) Calgary, Alberta	SINGLE HOUSE	AS SHOWN
02.				Lots 33 To 34		
03.				Block 3		
04.				Plan 1693 AF		
					DATE: MAY 19, 2026	DIVISION NUMBER S 02



BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	19/05/26	DP SITEPLAN	D.L.	616 51st AVENUE SW (East) Calgary, Alberta	SINGLE HOUSE	1: 200
02.				Lots 33 To 34		
03.				Block 3	DATE:	DIVISION NUMBER
04.				Plan 1693 AF	MAY 19, 2026	S 03