

GLENDALE RESIDENCE - LOT 46

2732 - 49th STREET SW,
CALGARY, ALBERTA

ISSUED FOR DEVELOPMENT PERMIT

KEYPLAN:

LEGAL ADDRESS:
PLAN : 2736 HS
BLOCK : 3
LOT : 1

CLIENT INFORMATION:

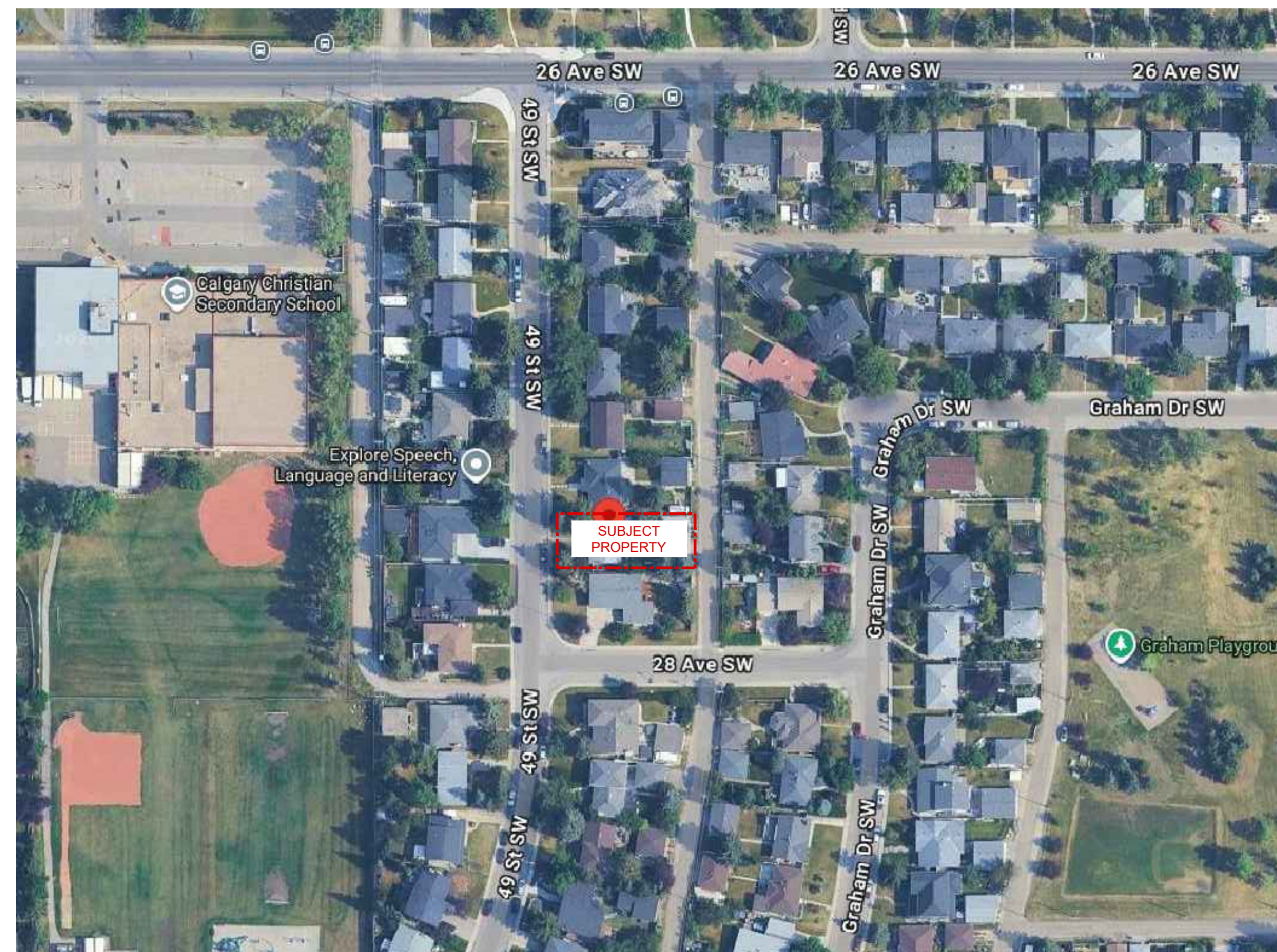
HOME BUILDER:

TYPICAL ABBREVIATIONS

A.F.F. A.C.T. A.F.S. A.S.F. AP ALUM ANOD. ARCH.	ABOVE FINISHED FLOOR ACOUSTIC TILE ABOVE FINISHED SLAB ABOVE SUB-FLOOR ACCESS PANEL ALUMINUM ANODIZED ARCHITECTURAL	GL GA GEO GB GL G1S G2S GR. GL G.W.B.	GALVANIZED GAUGE GEODETIC GLASS BLOCK GLAZING GOOD ONE SIDE GOOD BOTH SIDES GRADE GRID LINE GYPSUM WALL BOARD	FT. P.LAM. PLYWD POLY. PR.T. PC CONC. PREFIN. P.S. PL	PAINT PLASTIC LAMINATE PLYWOOD POLYETHYLENE PORCELAIN TILE PRECAST CONCRETE PREFINISHED PRESSED STEEL PROPERTY LINE
B.O.W.2 B.F. B.F.A. B/S BW BOT. B.O. BLDG BP B.U.R.	BACK OF WALK BARRIER FREE BARRIER FREE ACCESS BOTH SIDES BOTH WAYS BOTTOM BOTTOM OF BUILDING BUILDING PERMIT BUILT-UP ROOF(ING)	H/C H.P. H.C. H.M. H.M.I. HORZ. H.B. HR. HWH HDWD	HANDICAPPED HIGH POINT HOLLOW CORE HOLLOW METAL HOLLOW METAL INSULATED HORIZONTAL HOSE BIB HOUR HOT WATER HEATER HARDWOOD	R.W.L. REIN. REQ. REV. R/W RM. R.D. R.O.	RAIN WATER LEADER REINFORCING REQUIRED REVERSED RIGHT OF WAY ROOM ROOF DRAIN ROUGH OPENING
CPT C.I.P. CLG. CL C/C C.T. COL. CW CONC. C.J. CONT. CSCI	CARPET CAST IN PLACE CEILING CENTER LINE CENTER TO CENTER CERAMIC TILE COLUMN COMPLETE WITH CONCRETE CONTROL JOINT CONTINUOUS CONTRACTOR SUPPLIED # CONTRACTOR INSTALLED	INT. I.D. I/F INSUL.	INTERIOR INSIDE DIAMETER INSIDE FACE INSULATION/INSULATED	TEMPD TEMP T T.O.W. T4B T4G TP T/O TB TYP.	SINK SIMILAR SOLID CORE SPECIFICATION(S) STAINLESS STEEL STANDARD STEEL STRUCTURAL
DET. DF DIMS DIA. DN DWG. DW	DETAIL(S) DEVELOPMENT PERMIT DIMENSIONS(S) DIAMETER DOWN DRAWING DISHWASHER	M.H. M.F. MAX. MECH. MDF MC MEL MTL. MW MISC. MIN. MANUF.	MAN HOLE MAIN FLOOR MAXIMUM MECHANICAL MEDIUM DENSITY FIBERBOARD MEDICINE CABINET MELAMINE METAL MILLWORK MISCELLANEOUS MINIMUM MANUFACTURER	U.N.O. U/S U.L.C.	UNLESS NOTED OTHERWISE UNDERSIDE UNDERWRITERS LABORATORIES OF CANADA
EA. E.S. E.W. ENG. EL. ELEV. ELEC. E.O.S. EQ. EXIST. EXT. E.I.F.S	EACH EACH SIDE EACH WAY ENGINEER ELEVATION ELEVATOR ELECTRICAL EDGE OF SLAB EQUAL EXISTING EXTERIOR EXTERIOR INSULATION FINISHING SYSTEM	NAT. N/A N.I.C. N.T.S. NO. O.C. O.W.S.J. O.S.B. O/F O/H O.D. OSOI OSCI	NATURAL NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE NUMBER ON CENTER OPEN WEB STEEL JOIST(S) ORIENTED STRAND BOARD OUTSIDE FACE OVERHEAD OUTSIDE DIAMETER OWNER SUPPLIED # OWNER INSTALLED OWNER SUPPLIED # CONTRACTOR INSTALLED	V.B. VERT. W/C WP WD WD WO WPM	VAPOUR BARRIER VERTICAL WATER CLOSET WATERPROOF WOOD WASHER / DRYER WALL OVEN WATERPROOF MEMBRANE
F.E. F.E.C. F.R. F.R.R. F.S. F.W. FL F.D. FTG. F FURN	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE RATED FIRE RESISTANCE RATING FIRE SEPARATION FIRE WALL FLOOR FLOOR DRAIN FOOTING FRIDGE FURNACE				

SYMBOL LEGEND

Room name 101	INDICATES ROOM NAME AND NUMBER
1 A101	INDICATES BUILDING SECTION MARKER
1 A101	INDICATES WALL SECTION MARKER
1 A101	INDICATES BUILDING DETAIL MARKER
72.72M E2241.022	INDICATES EXISTING ELEVATION ON SITE / BLOCK PLANS
	INDICATES PROPOSED ELEVATION ON SITE / BLOCK PLANS
0'-0"	INDICATES PROPOSED SPOT ELEVATION
	INDICATES EXISTING TREE TO BE REMOVED
	INDICATES EXISTING TREE TO REMAIN
	INDICATES NEW TREE
DO1	INDICATES INTERIOR DOOR TAG
EDO1	INDICATES EXTERIOR DOOR / WINDOW TAG
6'-0" CLG	INDICATES HEIGHT OF CEILING STRUCTURE ABOVE SUBFLOOR
	INDICATES SUBFLOOR ELEVATION ON FLOOR PLANS
WO3	INDICATES CONSTRUCTION ASSEMBLY TYPE TAG - REFER TO CONSTRUCTION ASSEMBLIES
FO1	INDICATES FLOOR FINISH TYPE TAG - REFER TO FINISHES LEGEND
WO	INDICATES WALL FINISH TYPE TAG - REFER TO FINISHES LEGEND
CO	INDICATES CEILING FINISH TYPE TAG - REFER TO FINISHES LEGEND
00	KEYNOTE TAG - REFER TO DRAWING NOTES



#	Description	Date
Revision Schedule		

CONSULTANT LOGO:

NO.	BY	DESCRIPTION	DATE
2	AK	ISSUE FOR DEVELOPMENT PERMIT	2026/05/08
1	AK	ISSUE FOR REVIEW	2026/04/30



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PROFESSIONAL SEAL:

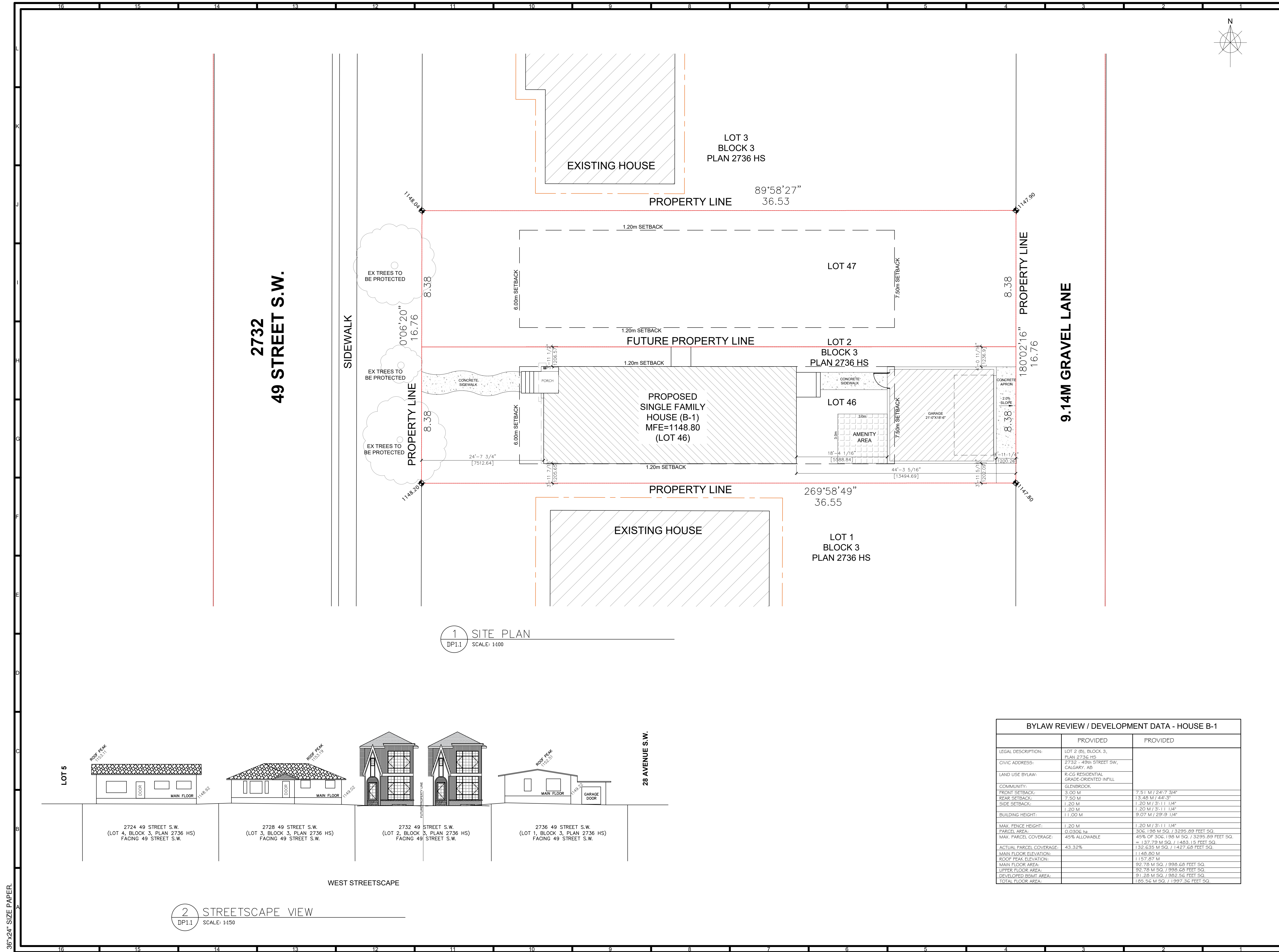
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DRAWING TITLE:
COVER PAGE

DRAWN BY: AK	CHECKED BY: VK
SCALE: As indicated	
PROJECT: 2026-344	
ISSUE FOR: DEVELOPMENT PERMIT	
ISSUE DATE: 2026-04-27	
REV. NO.	SHEET NO. DP1.0

36"x24" SIZE PAPER.



1 SITE PLAN
DP1.1 SCALE: 1:100

2 WEST STREETSCAPE VIEW
DP1.1 SCALE: 1:150

BYLAW REVIEW / DEVELOPMENT DATA - HOUSE B-1		
	PROVIDED	PROVIDED
LEGAL DESCRIPTION:	LOT 2 (B), BLOCK 3, PLAN 2736 HS	
CIVIC ADDRESS:	2732 - 49th STREET SW, CALGARY, AB	
LAND USE BYLAW:	R.C.G RESIDENTIAL GRADE-ORIENTED INFILL	
COMMUNITY:	GLENBROOK	
FRONT SETBACK:	3.00 M	7.51 M / 24'-7 3/4"
REAR SETBACK:	7.50 M	13.48 M / 44'-3"
SIDE SETBACK:	1.20 M	1.20 M / 3'-11 1/4"
BUILDING HEIGHT:	11.00 M	9.07 M / 29'-9 1/4"
MAX. FENCE HEIGHT:	1.20 M	1.20 M / 3'-11 1/4"
PARCEL AREA:	0.0302 ha	306.199 M SQ / 3295.69 FEET SQ
MAX. PARCEL COVERAGE:	45% ALLOWABLE	45% OF 306.199 M SQ / 139.78 M SQ
ACTUAL PARCEL COVERAGE:	43.32%	132.635 M SQ / 1427.68 FEET SQ
MAIN FLOOR ELEVATION:	1148.80 M	
ROOF PEAK ELEVATION:	1157.87 M	
MAIN FLOOR AREA:	92.78 M SQ / 998.68 FEET SQ	
UPPER FLOOR AREA:	392.79 M SQ / 4227.68 FEET SQ	
DEVELOPED BSMT AREA:	91.28 M SQ / 982.56 FEET SQ	
TOTAL FLOOR AREA:	185.56 M SQ / 1997.36 FEET SQ	

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BHAVI CONSULTING CORPORATION
Calgary, Alberta

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bhavicorporation@outlook.com

PROFESSIONAL SEAL:

PROJECT: **GLENDALE RESIDENCES**
LOCATION: **2732 - 49 STREET SW, CALGARY, AB**

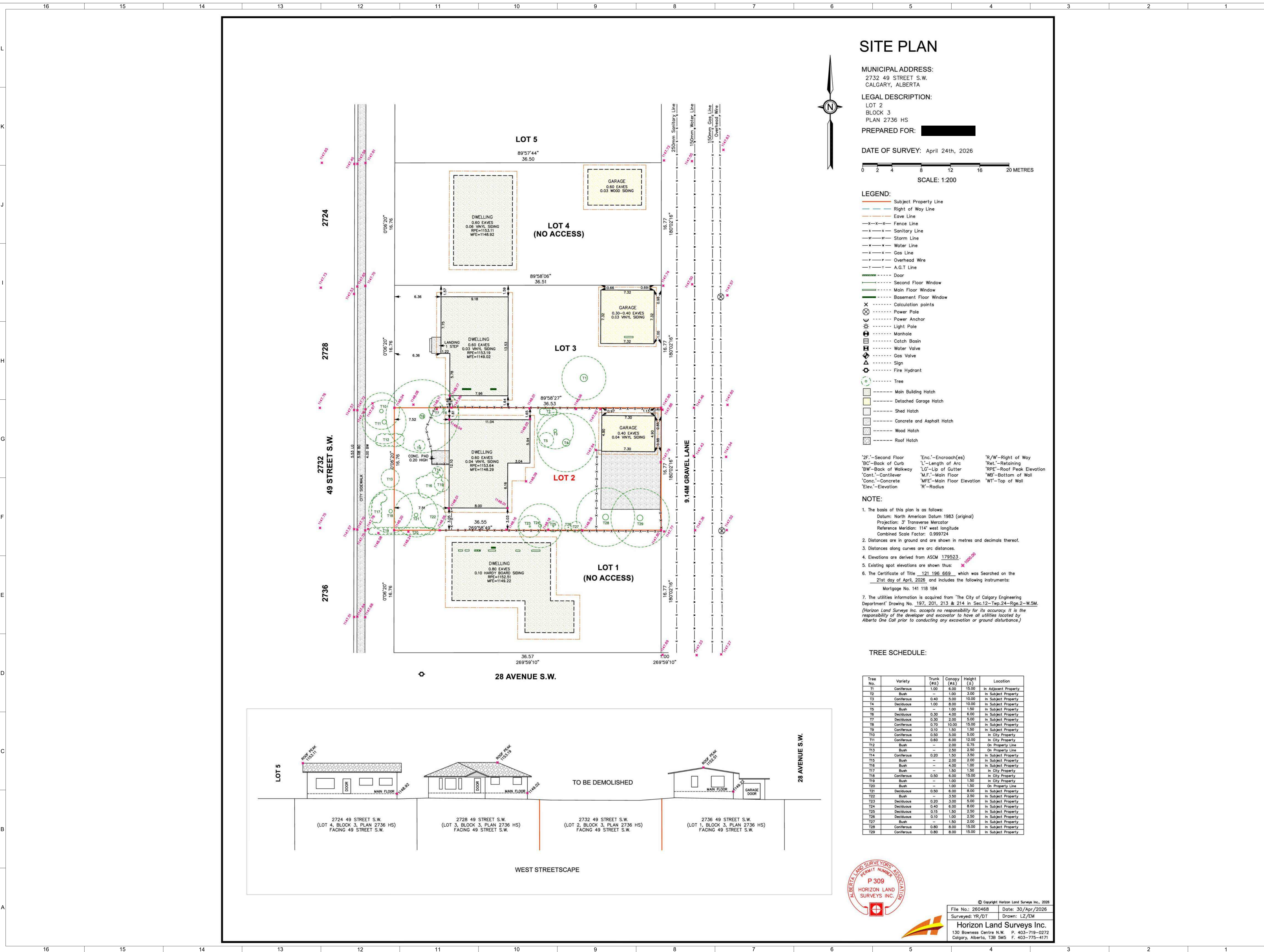
DRAWING TITLE:
SITE PLAN LOT 46

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DRAWN BY: AK	CHECKED BY: VK
SCALE: As indicated	
PROJECT: 2026-344	
ISSUE FOR: DEVELOPMENT PERMIT	
ISSUE DATE: 2026-04-27	
REV. NO.	SHEET NO.
	DP1.1

36"x24" SIZE PAPER.

36"x24" SIZE PAPER.



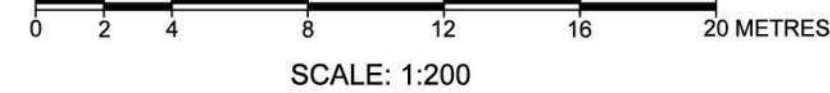
SITE PLAN

MUNICIPAL ADDRESS:
2732 49 STREET S.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOT 2
BLOCK 3
PLAN 2736 HS

PREPARED FOR: [REDACTED]

DATE OF SURVEY: April 24th, 2026



LEGEND:

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Overhead Wire
- A.G.T. Line
- Door
- Second Floor Window
- Main Floor Window
- Basement Floor Window
- Calculation points
- Power Pole
- Power Anchor
- Light Pole
- Manhole
- Catch Basin
- Water Valve
- Gas Valve
- Sign
- Fire Hydrant
- Tree
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch

'2F.'-Second Floor
'BC'-Back of Curb
'BW'-Back of Walkway
'Con.'-Conifer
'Conc.'-Concrete
'Elev.'-Elevation

'Enc.'-Encroach(es)
'L'-Length of Arc
'LG'-Lip of Gutter
'M.F.'-Main Floor
'MFE'-Main Floor Elevation
'R'-Radius

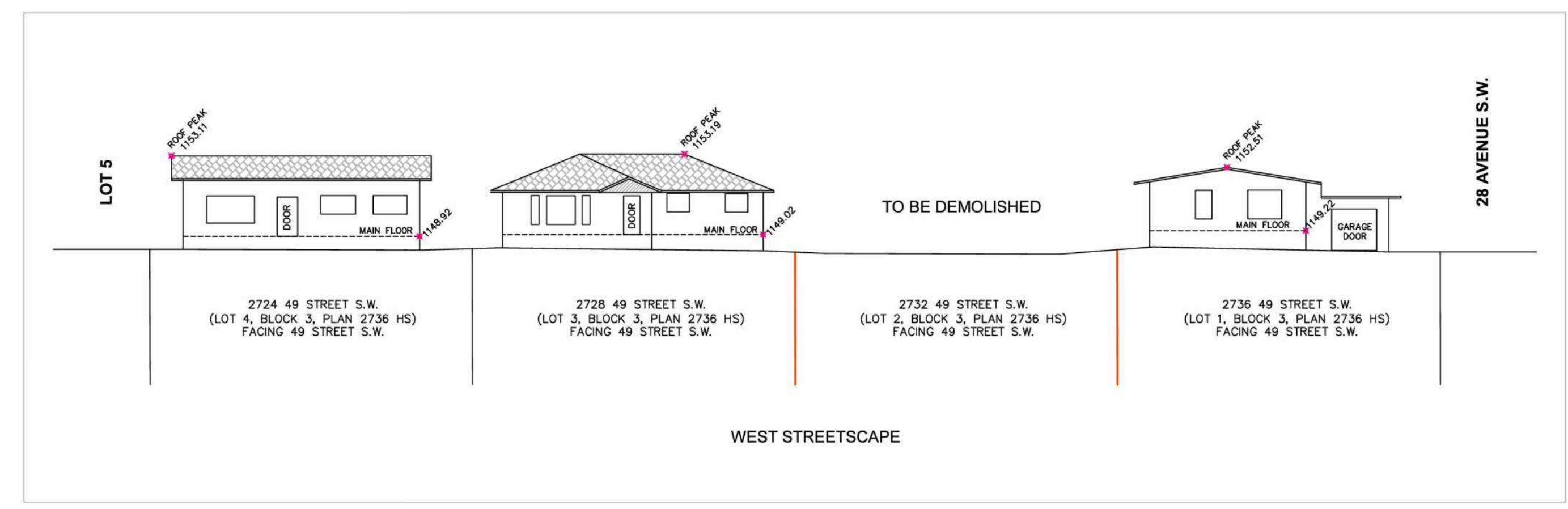
'R/W'-Right of Way
'Ret.'-Retaining
'RPE'-Roof Peak Elevation
'WB'-Bottom of Wall
'WT'-Top of Wall

NOTE:

- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3 Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999724
- Distances are in ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Elevations are derived from ASCM 179523.
- Existing spot elevations are shown thus: [Symbol]
- The Certificate of Title 121 196 659 which was Searched on the 21st day of April, 2026, and includes the following instruments:
Mortgage No. 141 118 184
- The utilities information is acquired from 'The City of Calgary Engineering Department' Drawing No. 197, 201, 213 & 214 in Sec.12-Twp.24-Rge.2-W.5M.
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø2)	Canopy (Ø3)	Height (Ø4)	Location
T1	Coniferous	1.00	6.00	15.00	In Adjacent Property
T2	Bush	-	1.00	3.00	In Subject Property
T3	Coniferous	0.40	5.00	10.00	In Subject Property
T4	Deciduous	1.00	6.00	10.00	In Subject Property
T5	Bush	-	1.00	1.50	In Subject Property
T6	Deciduous	0.30	4.00	6.00	In Subject Property
T7	Deciduous	0.30	2.00	3.00	In Subject Property
T8	Coniferous	0.70	10.00	15.00	In Subject Property
T9	Coniferous	0.10	1.50	1.50	In Subject Property
T10	Coniferous	0.50	5.00	5.00	In City Property
T11	Coniferous	0.60	6.00	12.00	In City Property
T12	Bush	-	2.00	0.75	On Property Line
T13	Bush	-	2.50	2.50	On Property Line
T14	Coniferous	0.20	3.50	3.50	In Subject Property
T15	Bush	-	2.00	2.00	In Subject Property
T16	Bush	-	4.00	1.00	In Subject Property
T17	Bush	-	1.50	1.50	In City Property
T18	Coniferous	0.50	6.00	15.00	In City Property
T19	Bush	-	1.00	1.50	In City Property
T20	Bush	-	1.00	1.50	On Property Line
T21	Deciduous	0.30	6.00	6.00	In Subject Property
T22	Bush	-	3.50	2.50	In Subject Property
T23	Deciduous	0.20	3.00	5.00	In Subject Property
T24	Deciduous	0.40	6.00	6.00	In Subject Property
T25	Deciduous	0.15	1.50	2.50	In Subject Property
T26	Deciduous	0.10	1.00	2.50	In Subject Property
T27	Bush	-	1.50	2.00	In Subject Property
T28	Coniferous	0.80	8.00	15.00	In Subject Property
T29	Coniferous	0.80	8.00	15.00	In Subject Property



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File No.: 260468 Date: 30/Apr/2026
Surveyed: YR/DT Drawn: LZ/EM
Horizon Land Surveys Inc.
130 Bowness Centre N.W. P: 403-719-0272
Calgary, Alberta, T3B 5M5 F: 403-775-4171

KEYPLAN:

LEGAL ADDRESS:
PLAN : 2736 HS
BLOCK : 3
LOT : 1

CLIENT INFORMATION:

HOME BUILDER:

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Revision Schedule		
2	AK ISSUE FOR DEVELOPMENT PERMIT	2026/05/08
1	AK ISSUE FOR REVIEW	2026/04/30

CONSULTANT LOGO:

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PROFESSIONAL SEAL:

PROJECT: GLENDALE RESIDENCES
LOCATION: 2732 - 49 STREET SW, CALGARY, AB

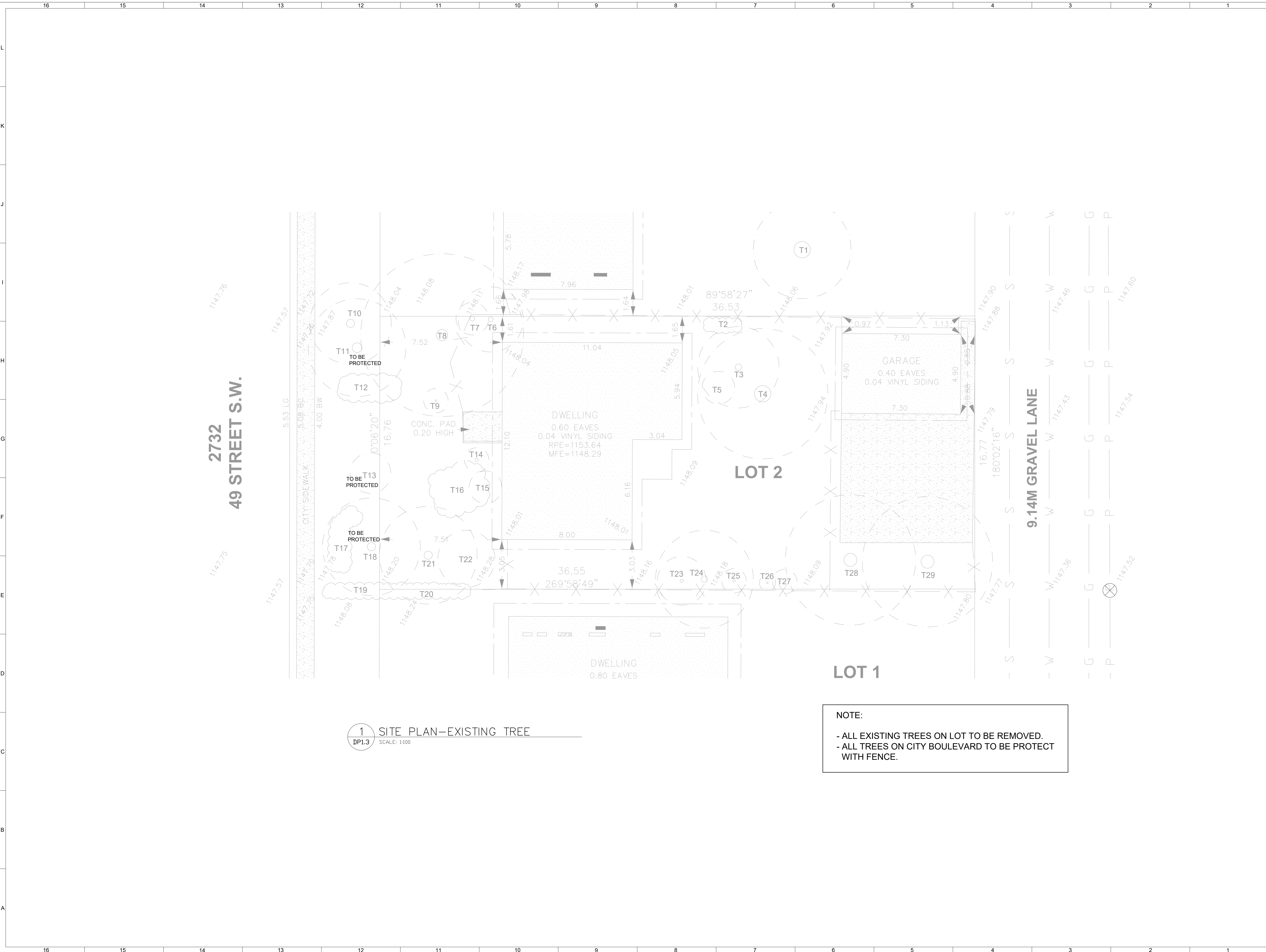
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DRAWING TITLE:
SITE SURVEY PLAN (BY OTHERS)

DRAWN BY: AK CHECKED BY: VK
SCALE: As indicated
PROJECT: 2026-344
ISSUE FOR: DEVELOPMENT PERMIT
ISSUE DATE: 2026-04-27
REV. NO. SHEET NO. DP1.2

36"x24" SIZE PAPER.



1 SITE PLAN-EXISTING TREE
 DP1.3 SCALE: 1:100

NOTE:
 - ALL EXISTING TREES ON LOT TO BE REMOVED.
 - ALL TREES ON CITY BOULEVARD TO BE PROTECT WITH FENCE.

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LEGAL ADDRESS:
 PLAN : 2736 HS
 BLOCK : 3
 LOT : 1

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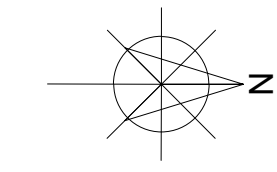
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LOCATION: 2732 - 49 STREET SW, CALGARY, AB

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DRAWING TITLE: EXISTING TREE PLAN

DRAWN BY: AK	CHECKED BY: VK
SCALE: As indicated	
PROJECT: 2026-344	
ISSUE FOR: DEVELOPMENT PERMIT	
ISSUE DATE: 2026-04-27	
REV. NO.	SHEET NO.
	DP1.3



KEYPLAN:

LEGAL ADDRESS:
PLAN : 2736 HS
BLOCK : 3
LOT : 1

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Revision Schedule		

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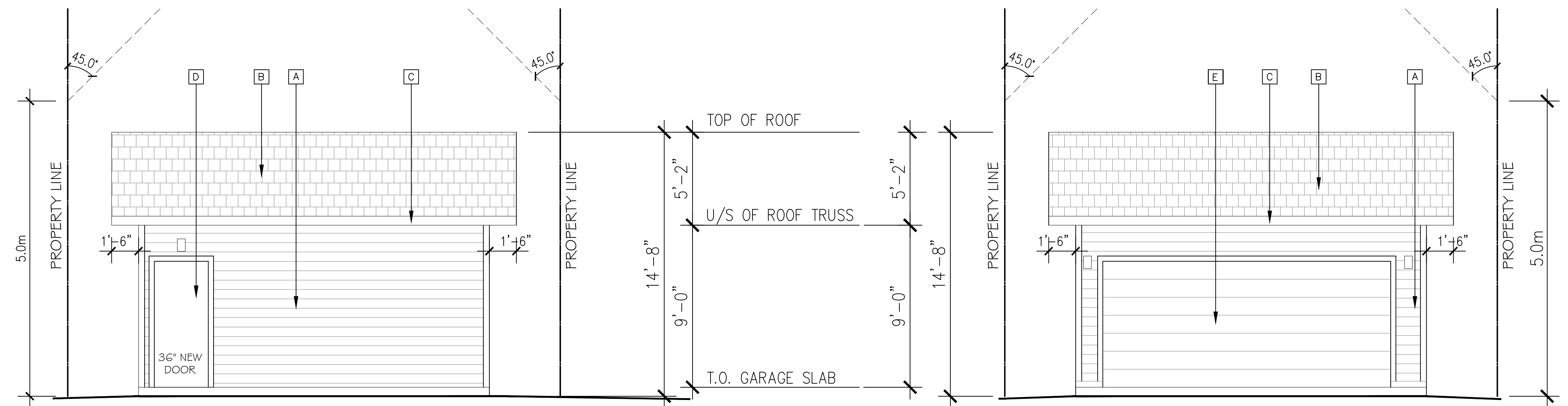


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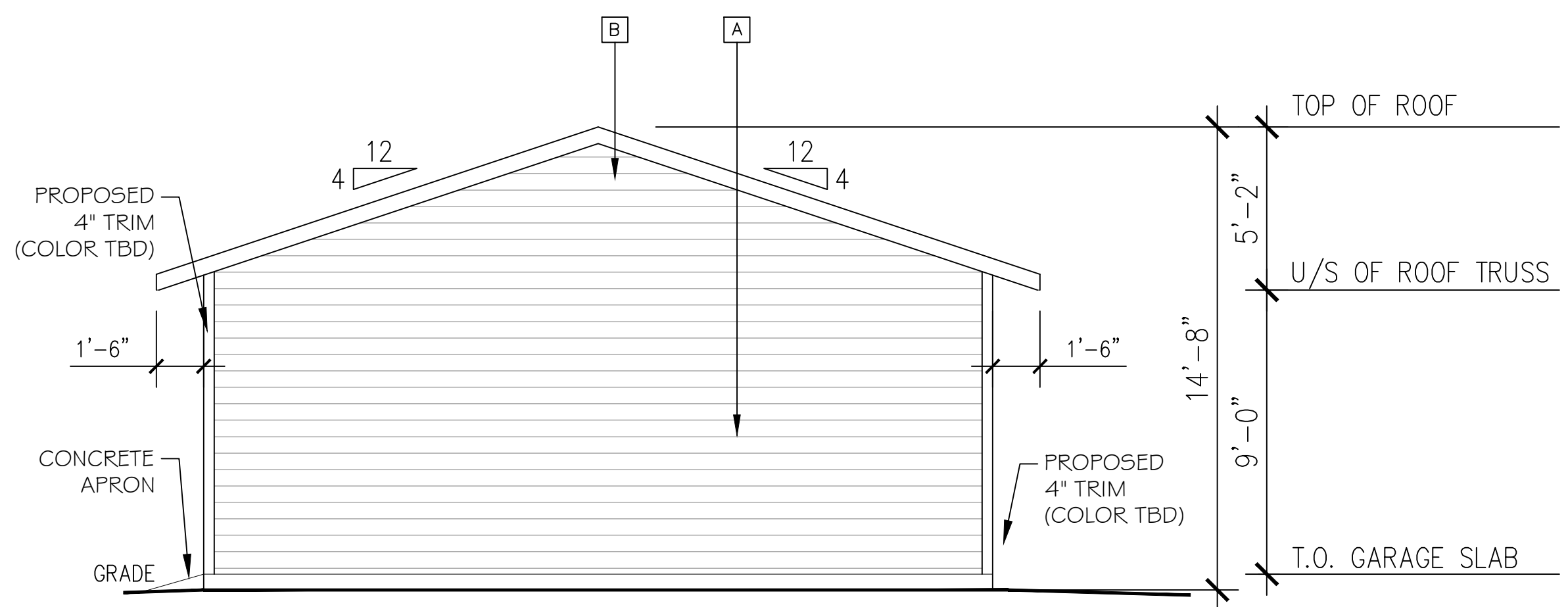
MATERIAL LEGEND:

- A HORIZONTAL SIDING
COLOR: TBD
- B ASPHALT SINGLES ROOFING
COLOR: DARK GREY
- C PREFINISHED METAL GUTTER & FLASHING
COLOR: CHARCOAL GREY
- D EXTERIOR GRADE WOODEN DOOR
COLOR: TBD
- E OVERHEAD DOOR
COLOR: TBD

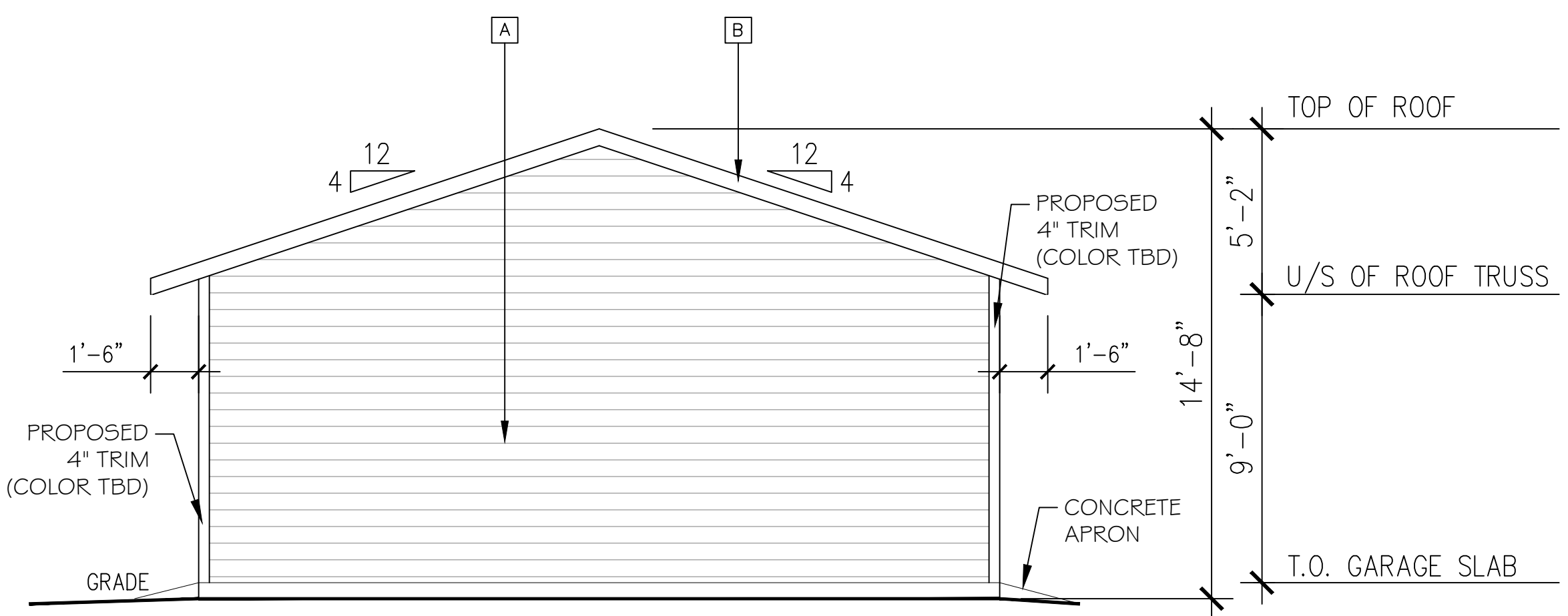


3 REAR ELEVATION (WEST)
DP2.3 SCALE: 1/4" = 1'-0"

4 FRONT ELEVATION (EAST)
DP2.3 SCALE: 1/4" = 1'-0"



5 SIDE ELEVATION (NORTH)
DP2.3 SCALE: 1/4" = 1'-0"



6 SIDE ELEVATION (SOUTH)
DP2.3 SCALE: 1/4" = 1'-0"

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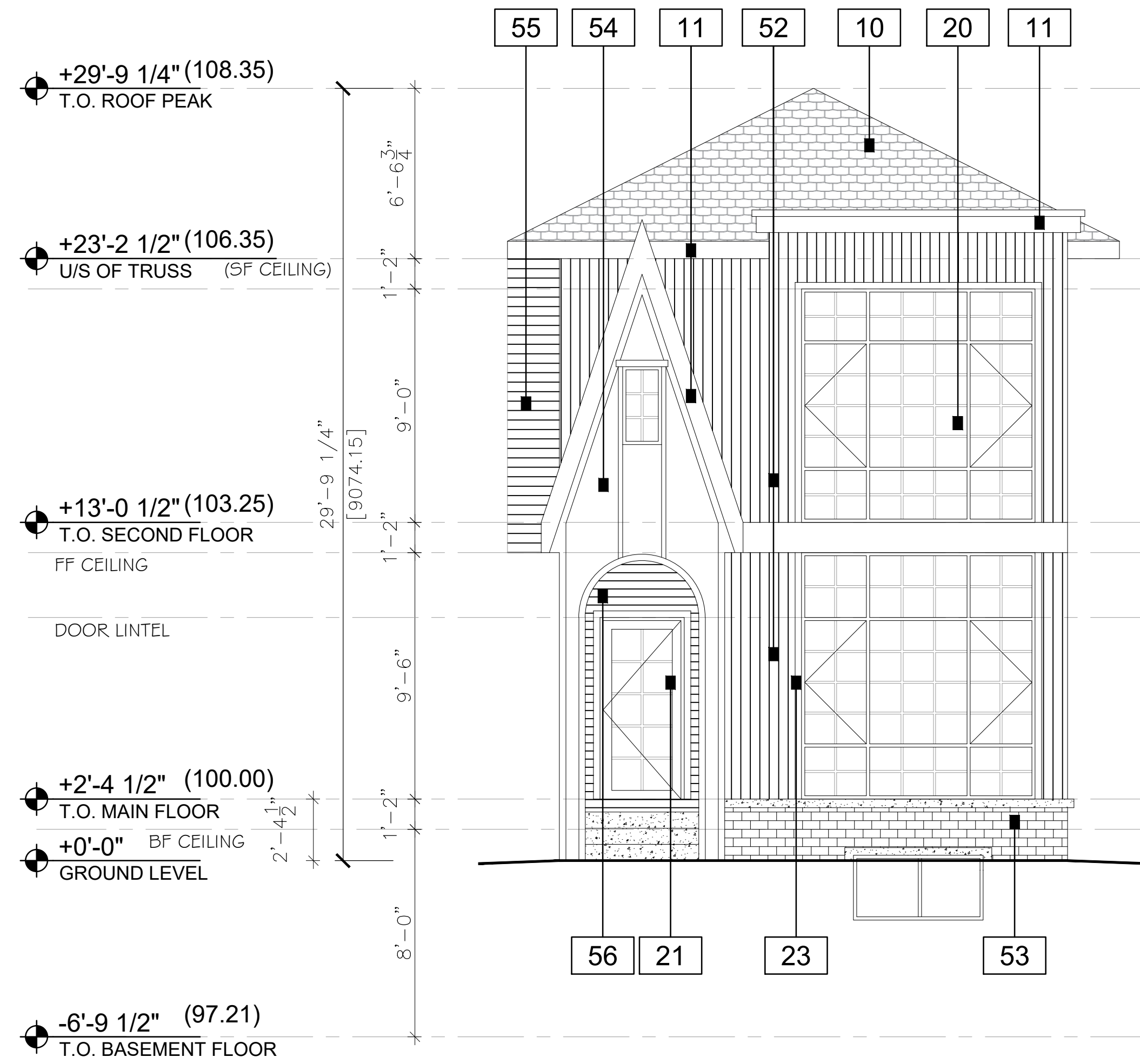
DRAWING TITLE:
DETACHED GARAGE PLAN (LOT 46)

PROJECT: GLENDALE RESIDENCES
LOCATION: 2732 - 49 STREET SW, CALGARY, AB

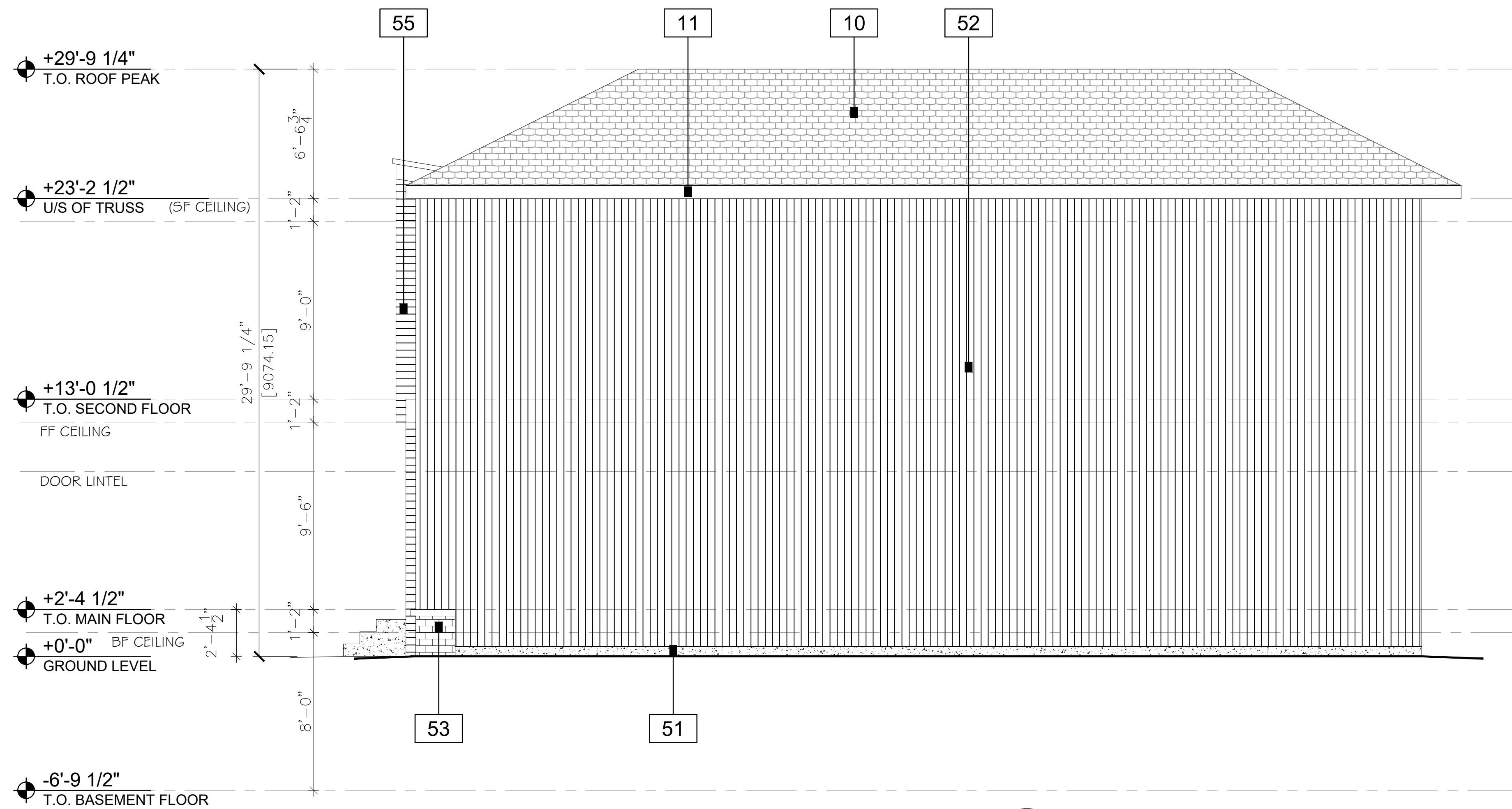
DRAWN BY: AK	CHECKED BY: VK
SCALE: As indicated	
PROJECT: 2026-344	
ISSUE FOR: DEVELOPMENT PERMIT	
ISSUE DATE: 2026-04-27	
REV. NO.	SHEET NO.
	DP2.3

36"x24" SIZE PAPER.

MATERIAL LEGEND - OVERALL COLORS			
10	MATERIAL: ASPHALT ROOF SHINGLES MANUFACTURER: OWENS CORNING COLOUR(S): DRIFTWOOD	51	MATERIAL: PARING MANUFACTURER: -- COLOUR(S): NATURAL
11	MATERIAL: PRE-FINISHED ALUM. FASCIA & SOFFIT MANUFACTURER: MITTEN COLOUR(S): TO MATCH CLADDING	52	MATERIAL: RANDOM PLANK PANEL MANUFACTURER: LUX COLOUR(S): OBSIDIAN
12	MATERIAL: PRE-FINISHED RAINWARE COLOUR(S): TO MATCH CLADDING	53	MATERIAL: MANUFACTURED STONE CLADDING MANUFACTURER: K2 STONE COLOUR(S): BLACK PEARL LEDGE STONE
20	MATERIAL: PVC WINDOW MANUFACTURER: PLYGEM COLOUR(S): BLACK	54	MATERIAL: BOARD & BATTEN MANUFACTURER: LUX COLOUR(S): GLACIER WHITE
21	MATERIAL: RESIDENTIAL ENTRY DOOR MANUFACTURER: PLYGEM COLOUR(S): WHITE	55	MATERIAL: CHANNEL SIDING MANUFACTURER: LUX COLOUR(S): GLACIER WHITE
22	MATERIAL: RESIDENTIAL PATIO DOOR MANUFACTURER: PLYGEM COLOUR(S): BLACK	56	MATERIAL: CHANNEL SIDING MANUFACTURER: LUX COLOUR(S): SUEDE
23	MATERIAL: DOOR/WINDOW TRIM MANUFACTURER: JAMES HARDIE COLOUR(S): PAINTED TO MATCH CLADDING		



1 FRONT ELEVATION (WEST)
DP3.1 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION (SOUTH)
DP3.1 SCALE: 1/4" = 1'-0"

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DRAWING TITLE:
**ELEVATIONS
LOT 46**

DRAWN BY: AK
CHECKED BY: VK

SCALE: As indicated

PROJECT: 2026-344

ISSUE FOR:

DEVELOPMENT PERMIT

ISSUE DATE:

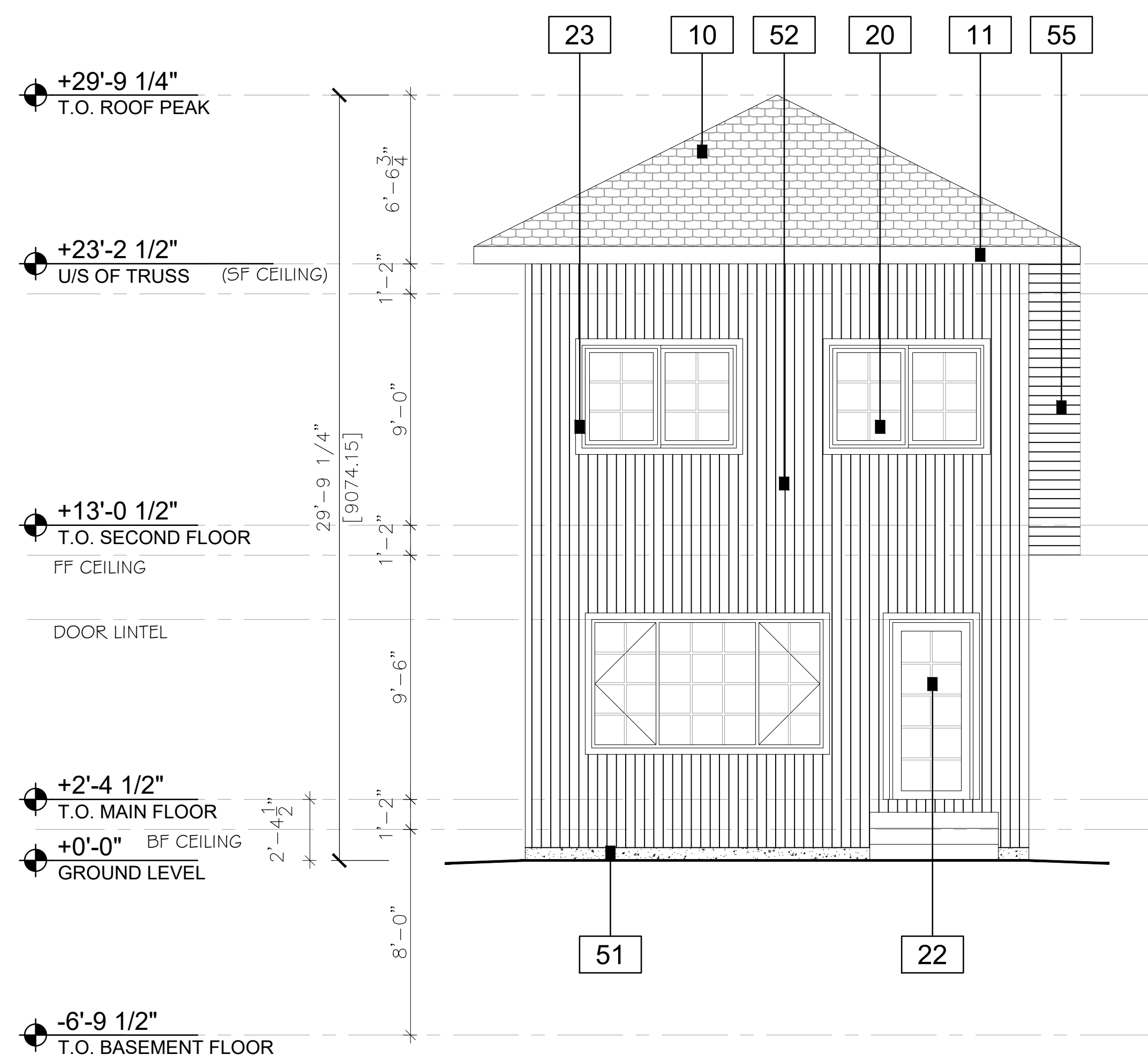
2026-04-27

REV. NO. SHEET NO.

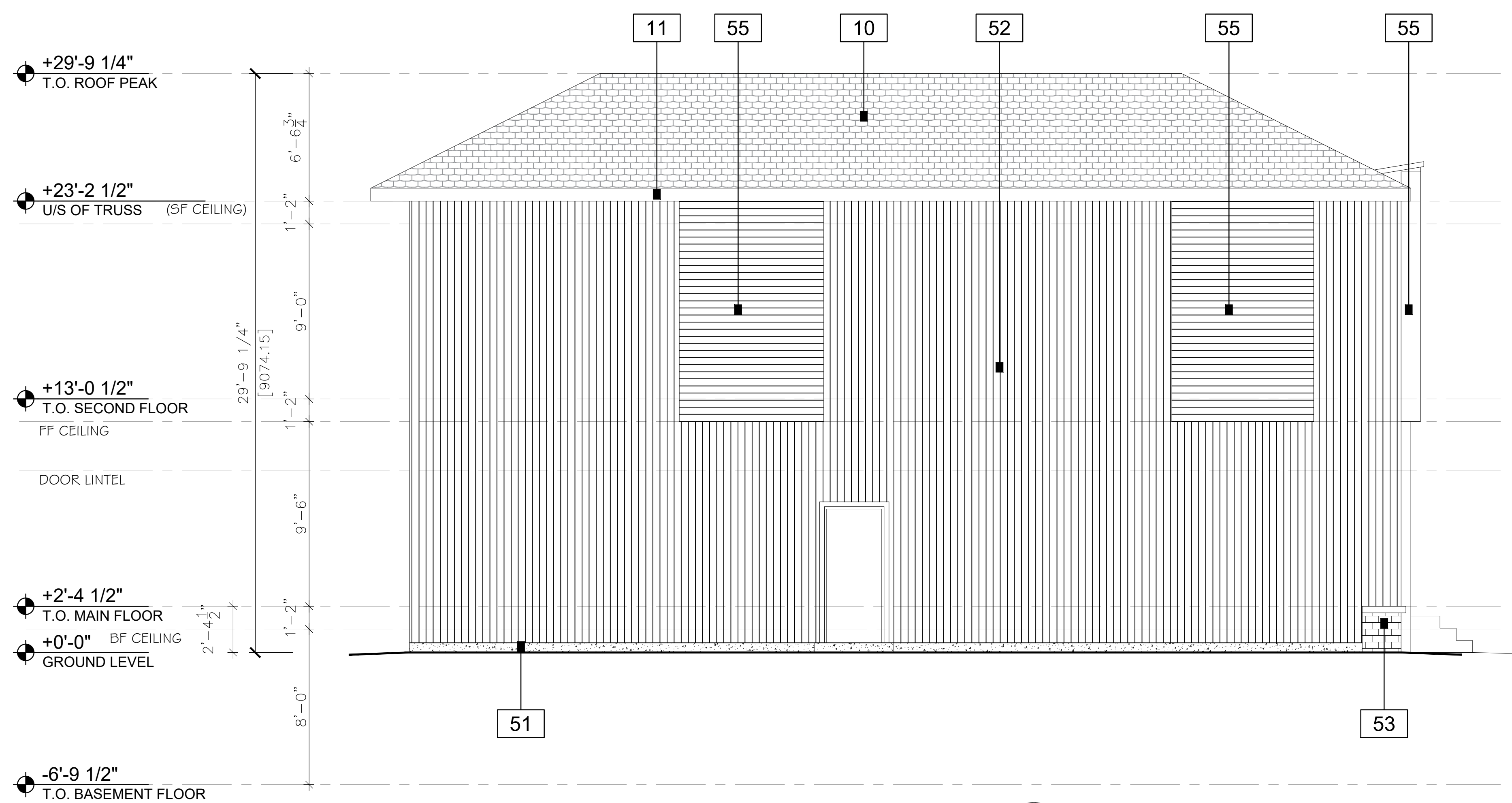
DP3.1

PROJECT:
**LENDALE RESIDENCES
2732 - 49 STREET SW,
CALGARY, AB**

MATERIAL LEGEND - OVERALL COLORS			
10	MATERIAL: ASPHALT ROOF SHINGLES MANUFACTURER: OWENS CORNING COLOUR(S): DRIFTWOOD	51	MATERIAL: PARCING MANUFACTURER: -- COLOUR(S): NATURAL
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21	MATERIAL: RESIDENTIAL ENTRY DOOR MANUFACTURER: PLYGEM COLOUR(S): WHITE	55	MATERIAL: CHANNEL SIDING MANUFACTURER: LUX COLOUR(S): GLACIER WHITE
22	MATERIAL: RESIDENTIAL PATIO DOOR MANUFACTURER: PLYGEM COLOUR(S): BLACK	56	MATERIAL: CHANNEL SIDING MANUFACTURER: LUX COLOUR(S): SUEDE
23	MATERIAL: DOOR/WINDOW TRIM MANUFACTURER: JAMES HARDIE COLOUR(S): PAINTED TO MATCH CLADDING		



1 REAR ELEVATION (EAST)
A3.2 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION (NORTH)
A3.2 SCALE: 1/4" = 1'-0"

KEYPLAN:

LEGAL ADDRESS:
PLAN : 2736 HS
BLOCK : 3
LOT : 1

CLIENT INFORMATION:

HOME BUILDER:

#	Description	Date
Revision Schedule		

CONSULTANT LOGO:

NO.	BY	DESCRIPTION	DATE
2	AK	ISSUE FOR DEVELOPMENT PERMIT	2026/05/08
1	AK	ISSUE FOR REVIEW	2026/04/30



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PROFESSIONAL SEAL:

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Do not scale this drawing. All dimensions, data and levels, shall be verified prior to construction and all errors or omissions shall be reported to the architect immediately.

DRAWING TITLE:
**ELEVATIONS
LOT 46**

DRAWN BY: AK
CHECKED BY: VK

SCALE: As indicated

PROJECT: 2026-344

ISSUE FOR: DEVELOPMENT PERMIT

ISSUE DATE: 2026-04-27

REV. NO. SHEET NO.

DP3.2

36"x24" SIZE PAPER.

PROJECT:
LENDALE RESIDENCES
LOCATION:
**2732 - 49 STREET SW,
CALGARY, AB**