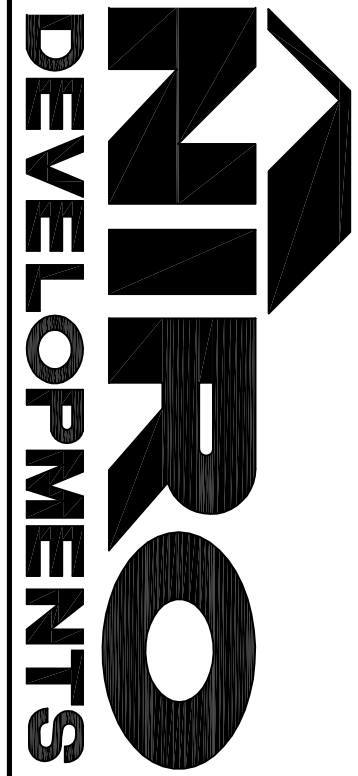




PROPOSED BLOCK PLAN

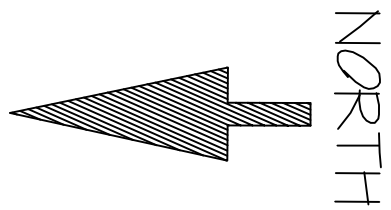
SCALE: 1:100

DRAWN BY
PHONE:

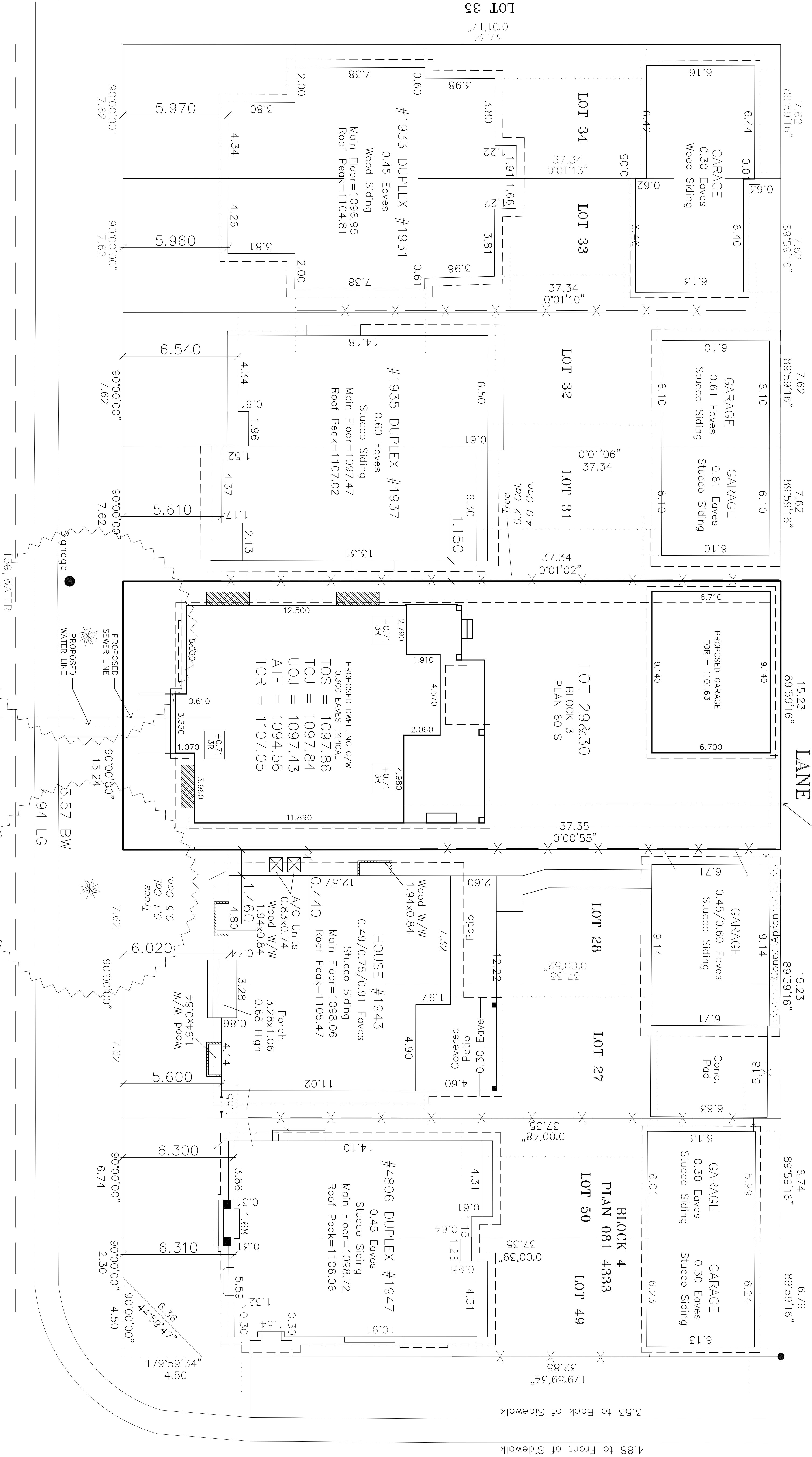
ADDRESS: 1939 47 AVENUE SW, CALGARY

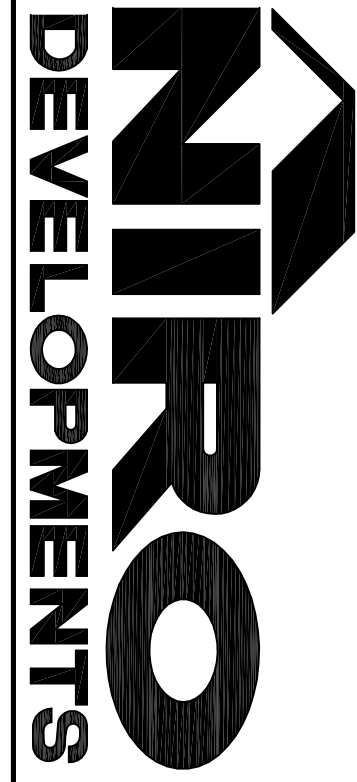
LOT: 29 & 30 BLOCK: 3 PLAN: 60 S

LAST REVISED:
MAY 15, 2026



19 STREET S.W.





PROPOSED STREETSCAPE PLAN

LAST REVISED: MAY 15, 2026

ADDRESS: 1939 47 AVENUE SW, CALGARY

LOT: 29 & 30 BLOCK: 3 PLAN: 60 S

SCALE: 1:100

DRAWN BY:
PHONE:



47 AVENUE S.W.

19 STREET S.W.



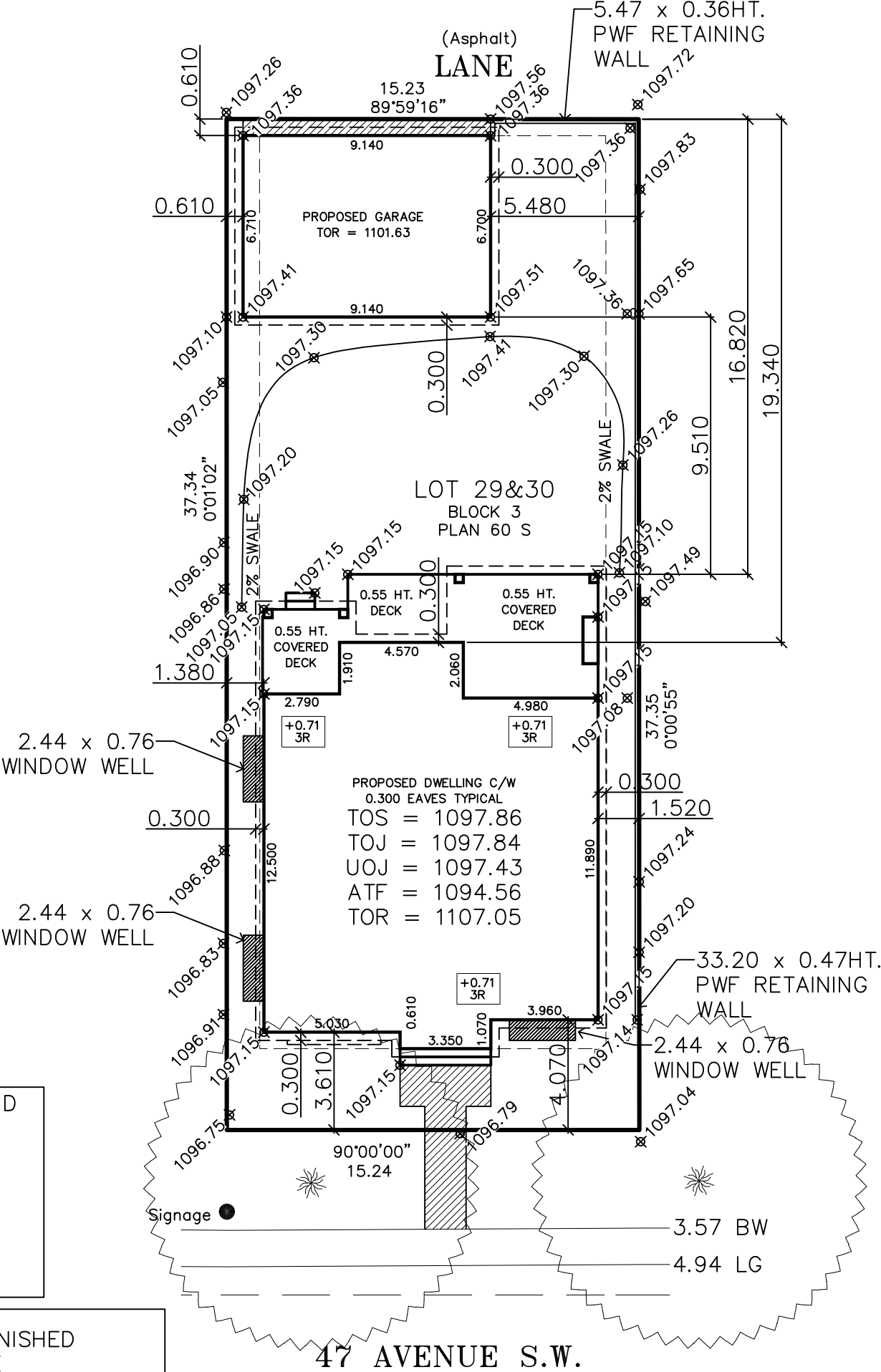
PROPOSED SITE PLAN

LAST REVISED: MAY 15, 2026

SPEC HOME

DRAWN BY:
PHONE:

NORTH



GRADING LEGEND

- XXXXXX EXISTING GRADE
- XXXXXX PROPOSED GRADE

BROOM FINISHED CONCRETE
DRIVEWAY: 5.53m² / 59.2ft²
SIDEWALK: 12.02m² / 129.4ft²

COMMUNITY: ALTADORE	HOUSE AREA: 195.08m ² GARAGE AREA: 61.32m ²
LOT: 29 & 30 BLOCK: 3 PLAN: 60 S	LOT AREA: 569.48m ²
ADDRESS: 1939 47 AVENUE SW, CALGARY	BUILDING COVERAGE: 45.02% ATF: 1094.56
MODEL: PRIVATE RESIDENCE	TOP OF SUBFLOOR: 1097.86 TOP OF JOIST: 1097.84
SCALE: 1: 200	FOUNDATION HEIGHT: 9'-5"

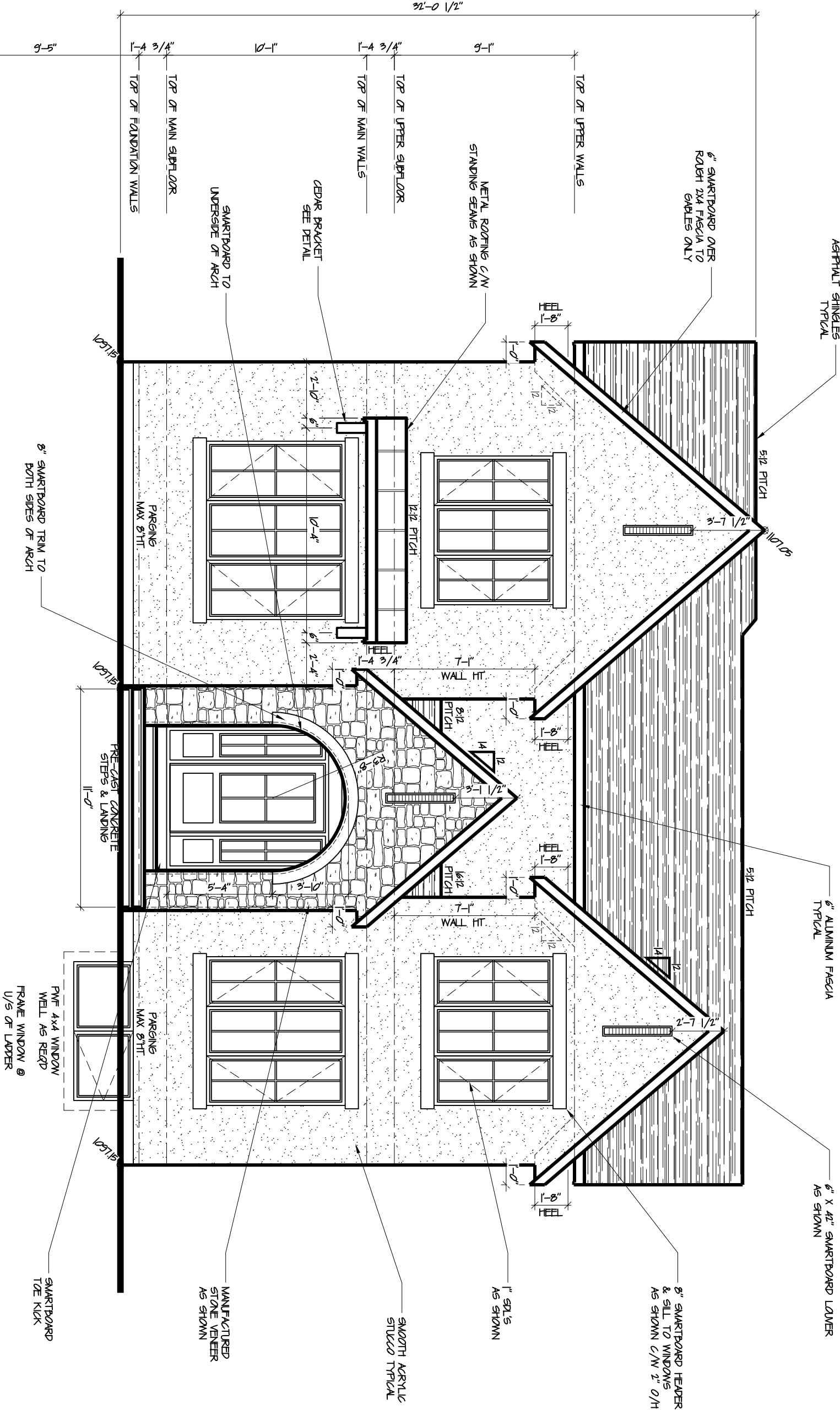
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REVISIONS:

PERMIT SET		
MAY 15, 2016		
FRONT ELEVATION		

FRONT ELEVATION		
LFT: 29 & 30	BLOCK: 3	PLAT: 60 S
ADDRESS: 199 47 AVENUE SW, CALGARY		
DESIGNED BY: ND	PAGE: 1	
DRAWN BY: BC/HD		
SCALE: 3/16" = 1'-0"	20	



FRONT ELEVATION

* NOTE *

3/8" FIRE PROTECTED OSP SHEATHING TO LEFT & RIGHT ELEVATIONS ONLY AS REQD

* NOTE *

ALL ROOF FLASHING TO BE PREFINISHED TO BEST MATCH COLOR OF ROOF

* NOTE *

ALL MECHANICAL ROOF VENTS & TERMINATIONS TO BE BLACK

* NOTE *

ALL WINDOWS TO BE CLASS R PERFORMANCE GRADE 30 ECO GAIN 180 DO DUAL PANE W/ ARGON FILL

* NOTE *

ALL WINDOWS TO BE LUX LYNX HYBRID SERIES METAL CLAD VINYL INTERIOR UNLESS OTHERWISE NOTED

* NOTE *

TERRAIN CLASSIFIED AS: OPEN



PRIVATE RES.

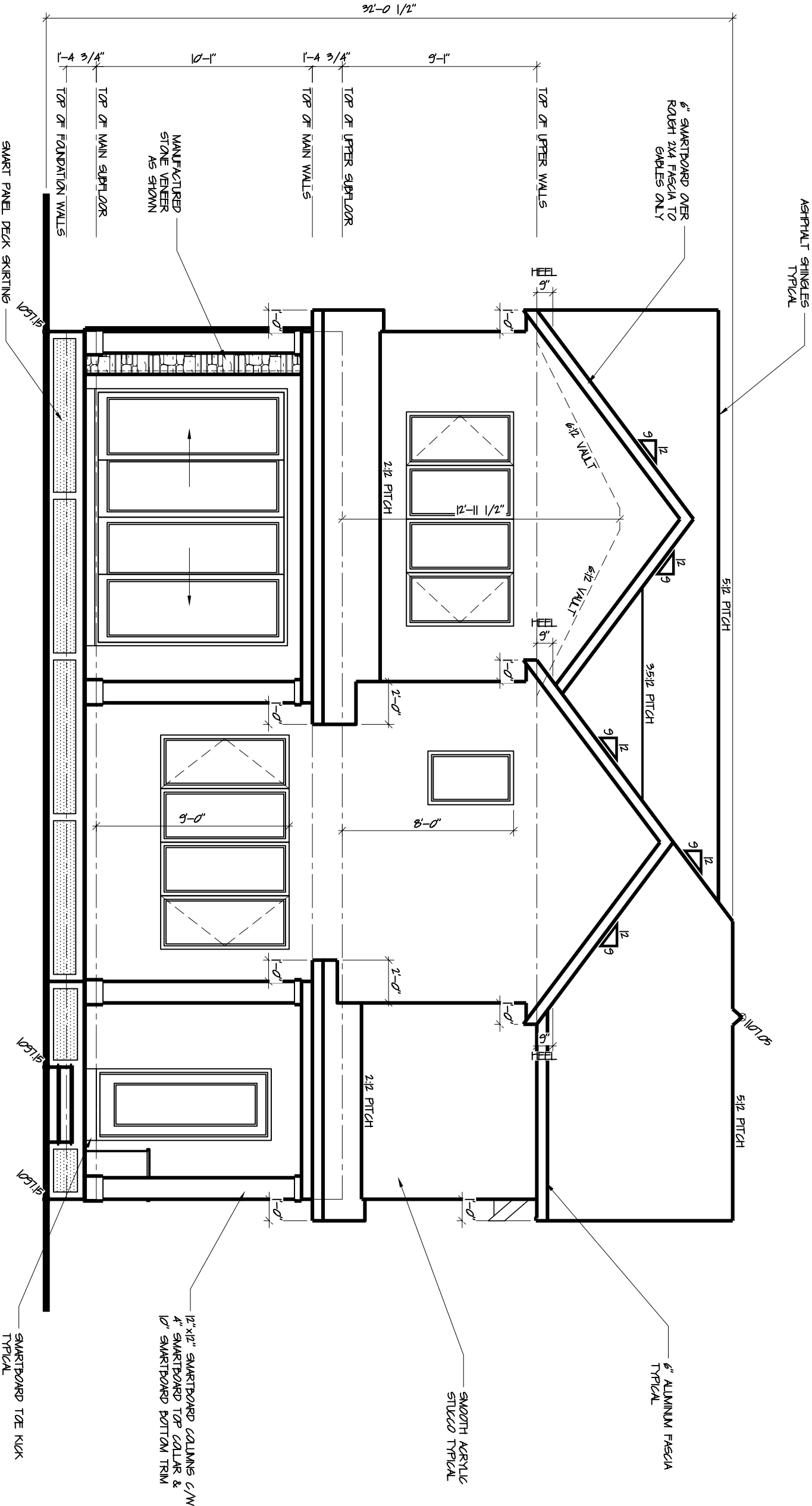
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REVISIONS:

PERMIT SET		
MAY 15, 2016		
REAR ELEVATION		

PERMIT SET		
MAY 15, 2026		
REAR ELEVATION		
LOT:	BLOCK:	PLAN:
29 & 30	3	60 S
ADDRESS:		
1999 47 AVENUE SW, CALGARY		
DESIGNED BY:	PAGE:	
ND		
DRAWN BY:		
BC/HD		
SCALE:		
3/16" = 1'-0"	2 / 20	



REAR ELEVATION

* NOTE *
3/8" FIRE PROTECTED OSP SHEATHING TO LEFT & RIGHT ELEVATIONS ONLY AS REQD

* NOTE *
ALL ROOF FLASHING TO BE PREFINISHED TO BEST MATCH COLOR OF ROOF

* NOTE *
ALL MECHANICAL ROOF VENTS & TERMINATIONS TO BE BLACK

* NOTE *
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* NOTE *
ALL WINDOWS TO BE LUX LYNX HYBRID SERIES METAL CLAD VINYL INTERIOR UNLESS OTHERWISE NOTED

* NOTE *
TERRAIN CLASSIFIED AS:
OPEN



PRIVATE RES.

NOTES:

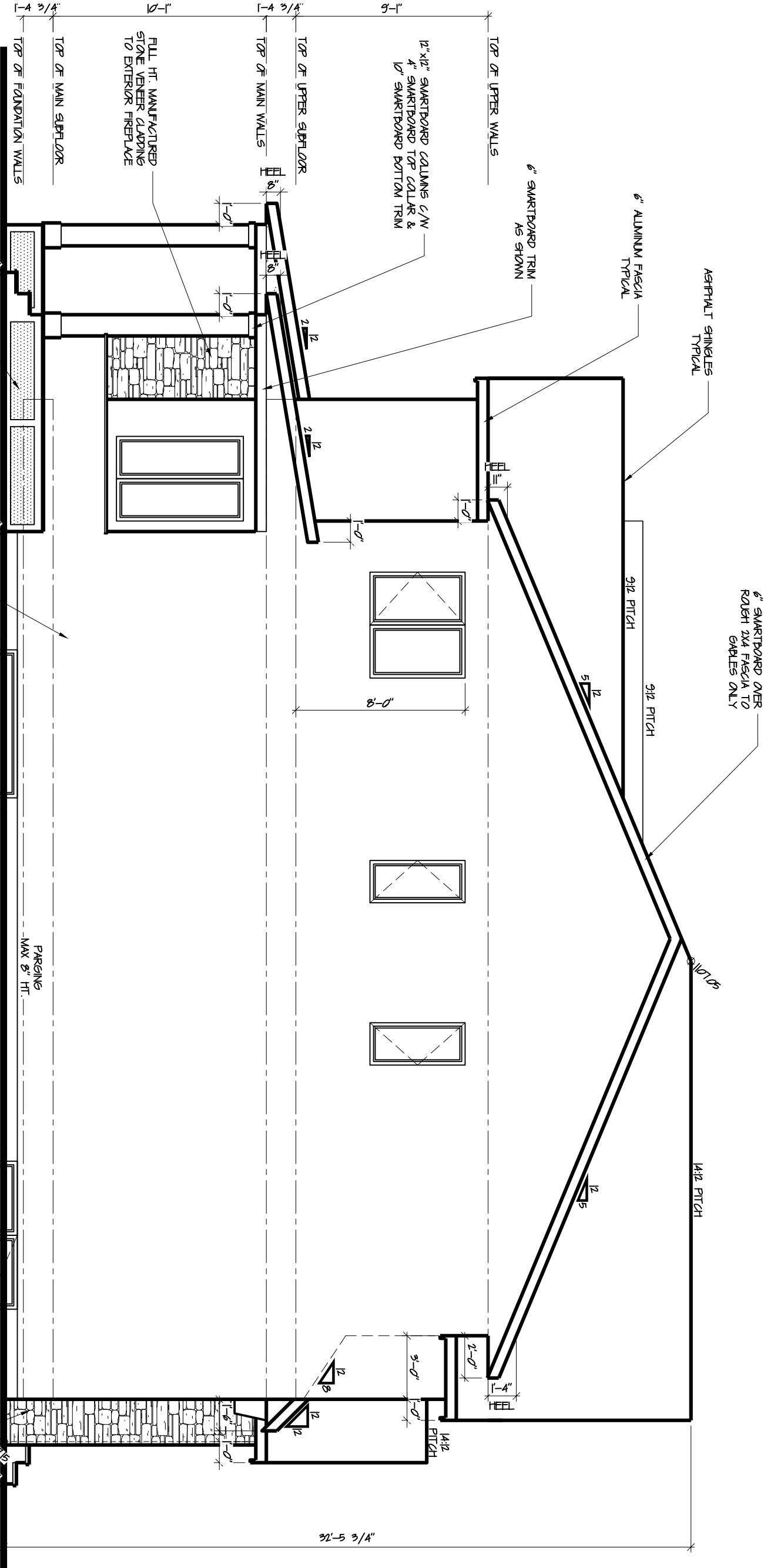
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REVISIONS:

LEFT ELEVATION		
PERMIT SET		
MAY 15, 2016		

LFT:	BLOCK:	PLAT:
29 & 30	3	60 S
ADDRESS:		
1999 47 AVENUE SW, CALGARY		
DESIGNED BY:	PAGE:	
ND	3	
DRAWN BY:		
Bc/HB		

SCALE:	
3/16" = 1'-0"	20



LEFT ELEVATION

TOTAL GLASS AREA: 7354 SQ.FT. / TOTAL WALL AREA: 110266 SQ.FT.
TOTAL GLASS COVERAGE: 6.67% @ 1.37m SIDEYARD

* NOTE *

3/8" FIRE PROTECTED OSB SHEATHING TO LEFT & RIGHT ELEVATIONS ONLY AS REQD

* NOTE *

ALL ROOF FLASHINGS TO BE PREFINISHED TO BEST MATCH COLOR OF ROOF

* NOTE *

ALL MECHANICAL ROOF VENTS & TERMINATIONS TO BE BLACK

* NOTE *

ALL WINDOWS TO BE GLASS R PERFORMANCE GRADE 30 ELO GAIN ISO DO DUAL PANE W/ ARGON FILL

* NOTE *

ALL WINDOWS TO BE LUX LYNX HYBRID SERIES METAL CLAD VINYL INTERIOR UNLESS OTHERWISE NOTED

* NOTE *

TERRAIN CLASSIFIED AS: OPEN

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REVISIONS:

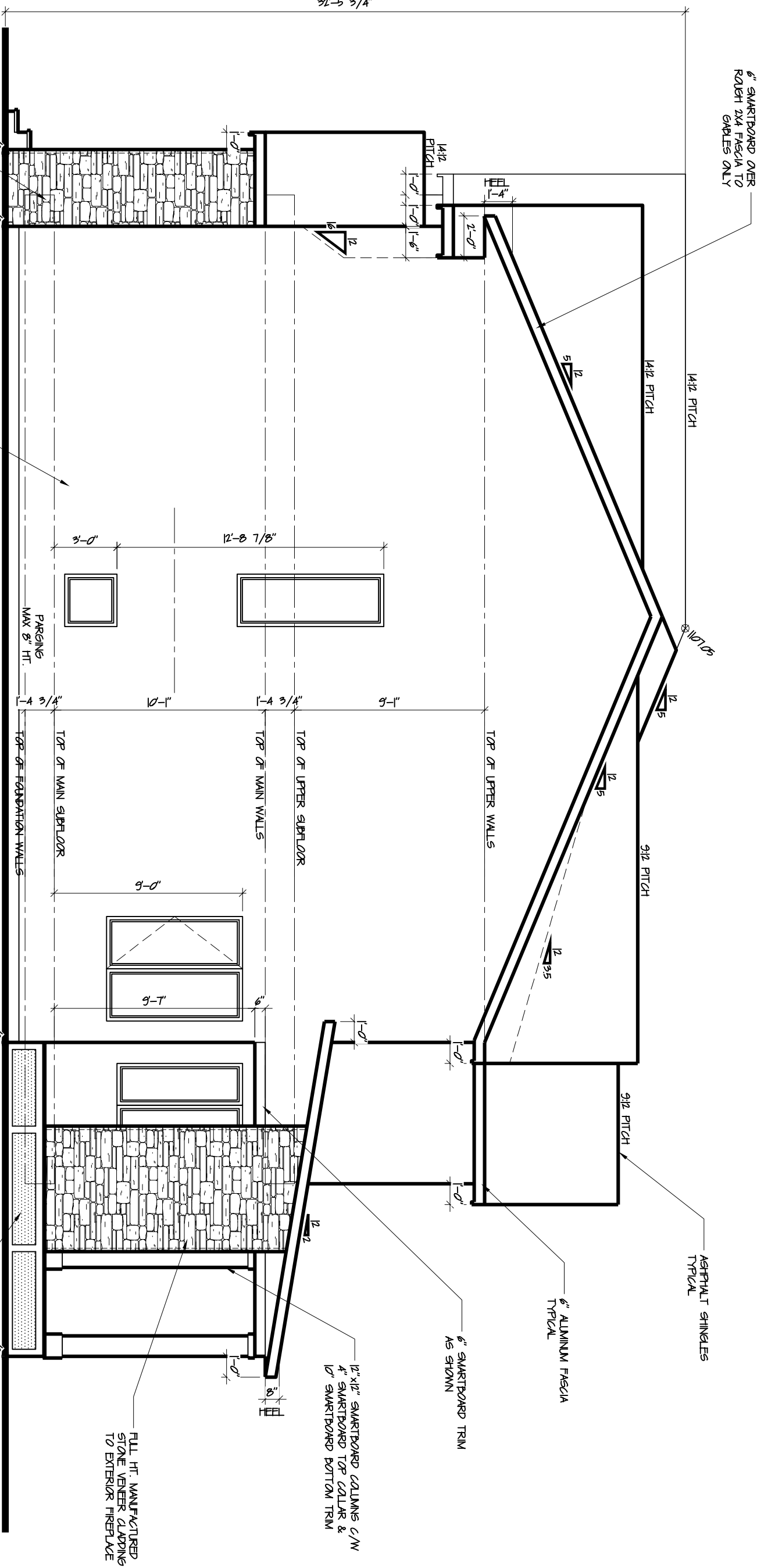
RIGHT ELEVATION		
PERMIT SET		
MAY 15, 2016		

RIGHT ELEVATION		
LFT:	BLOCK:	PLAT:
23 & 30	3	60 S

ADDRESS:
1399 47 AVENUE SW, CALGARY

DRAWN BY: ND
PAGE: 4

SCALE:
3/16" = 1'-0"



RIGHT ELEVATION

GLASS AREA: 8025 SQFT. / TOTAL WALL AREA: 114819 SQFT.
TOTAL GLASS COVERAGE: 6.99% @ 1.51m SIDEYARD

* NOTE *
3/8" FIRE PROTECTED OSB
SHEATHING TO LEFT & RIGHT
ELEVATIONS ONLY AS REQD

* NOTE *
ALL ROOF FLASHING TO BE
PREFINISHED TO BEST MATCH
COLOR OF ROOF

* NOTE *
ALL MECHANICAL ROOF VENTS
& TERMINATIONS TO BE BLACK

* NOTE *
ALL WINDOWS TO BE CLASS R
PERFORMANCE GRADE 30 ECO GAIN
IBO DO DUAL PANE W/ ARGON FILL

* NOTE *
ALL WINDOWS TO BE LIX LYNX
HYBRID SERIES METAL CLAD VINYL
INTERIOR UNLESS OTHERWISE NOTED

* NOTE *
TERRAIN CLASSIFIED AS:
OPEN



PRIVATE RES.

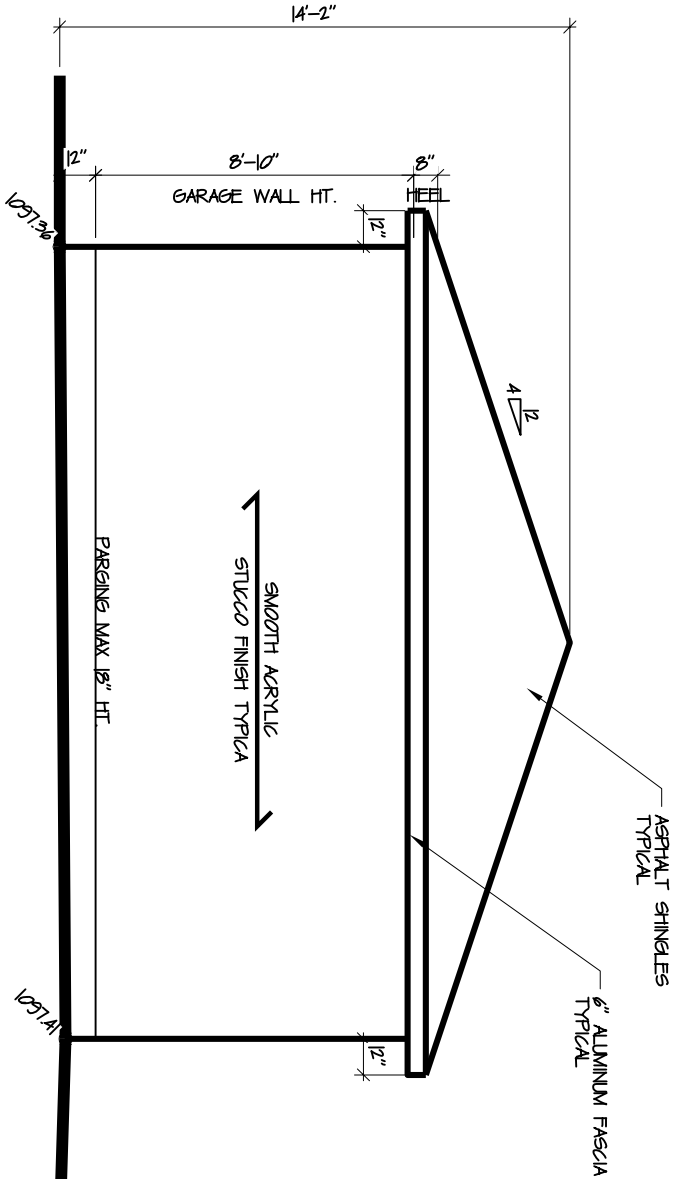
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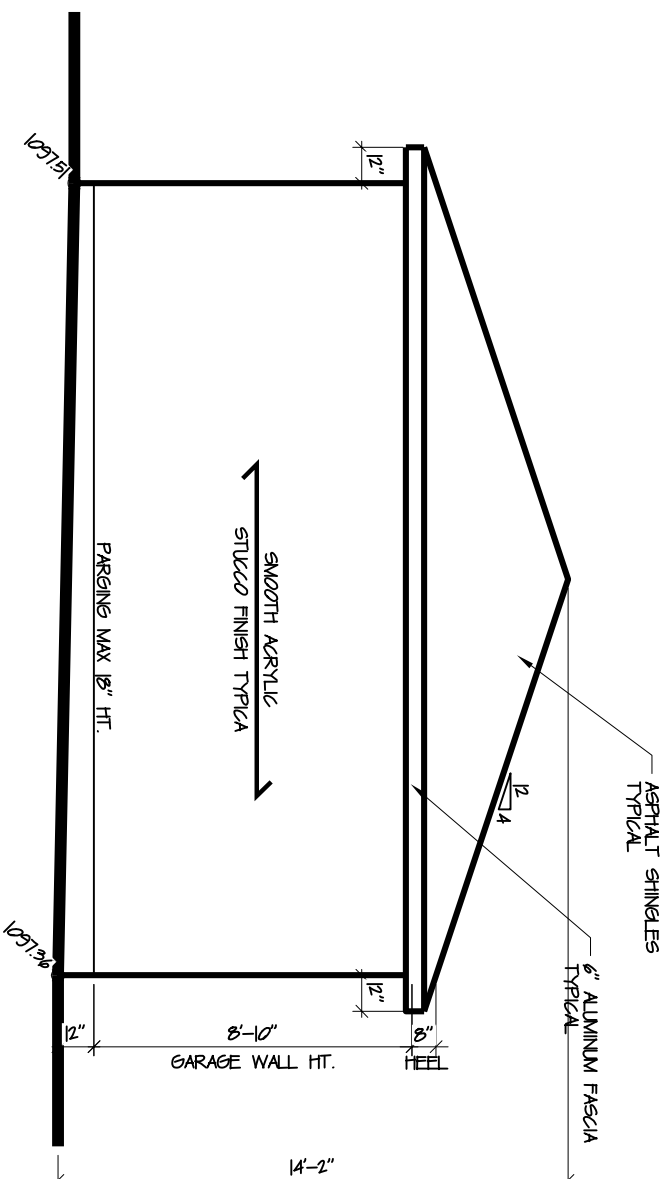
REVISIONS:

PERMIT SET		
MAY 15, 2016		
GARAGE ELEVATIONS		

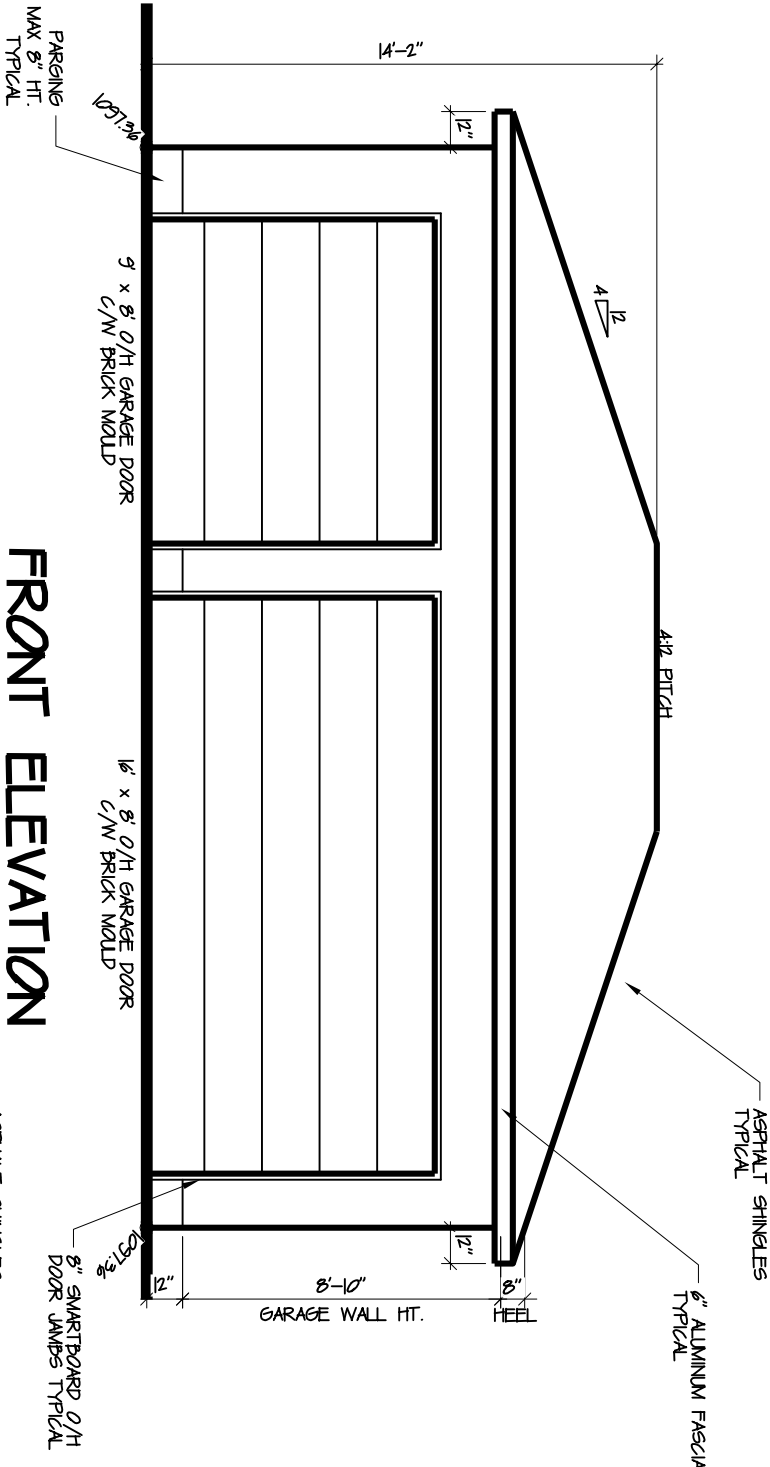
LIT:	BLOCK:	PLAT:
29 & 30	3	60 S
ADDRESS:		
1999 47 AVENUE SW, CALGARY		
DESIGNED BY:	PAGE:	
ND	15	
DRAWN BY:	BC/HD	
SCALE:	3/16" = 1'-0"	



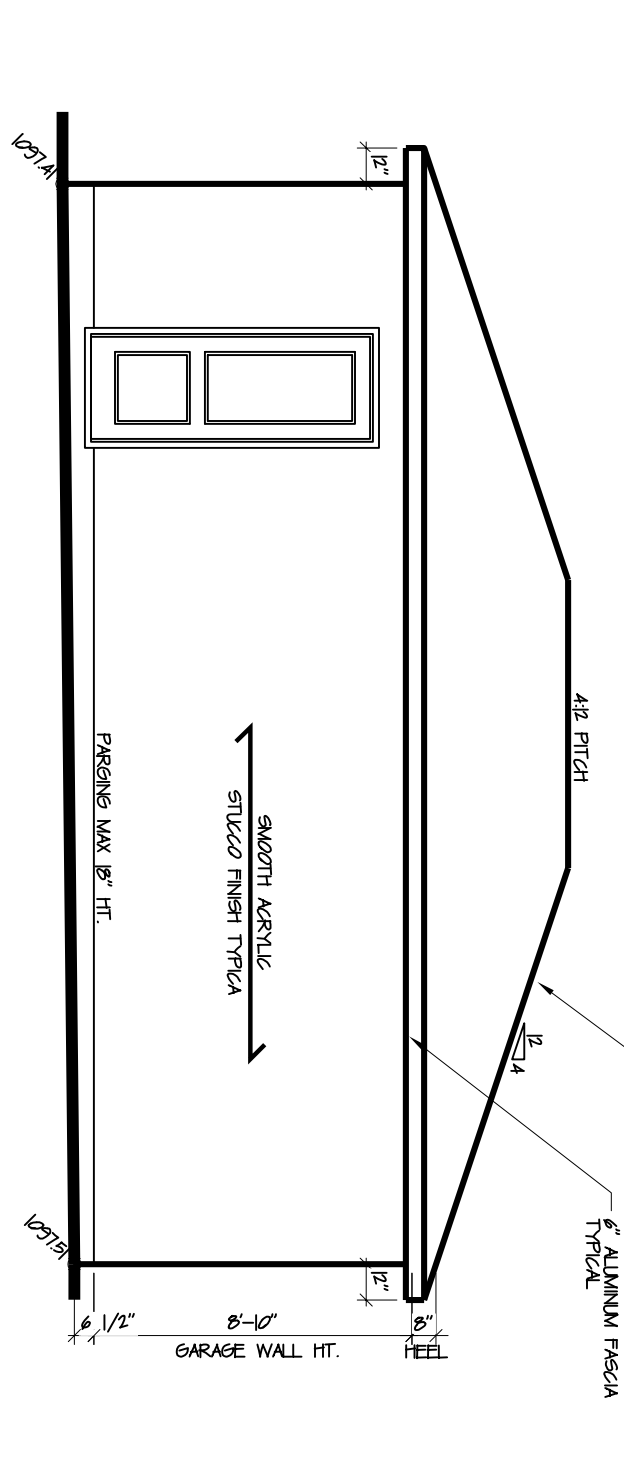
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION

* NOTE *

3/8" FIRE PROTECTED OSP SHEATHING TO LEFT & RIGHT ELEVATIONS ONLY AS REQD

* NOTE *

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ALL WINDOWS TO BE LUX LYNX HYBRID SERIES METAL CLAD VINYL INTERIOR UNLESS OTHERWISE NOTED

* NOTE *

TERRAIN CLASSIFIED AS: OPEN