

NOTES:

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-DO NOT SCALE DRAWINGS.

-THE CONTRACTOR IS TO COMPLY WITH ALL BUILDING CODES, ORDINANCES & REGULATIONS.

-ALL DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.

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REVISIONS:

CONSTRUCTION SET
AUGUST 19, 2016

FRONT ELEVATION

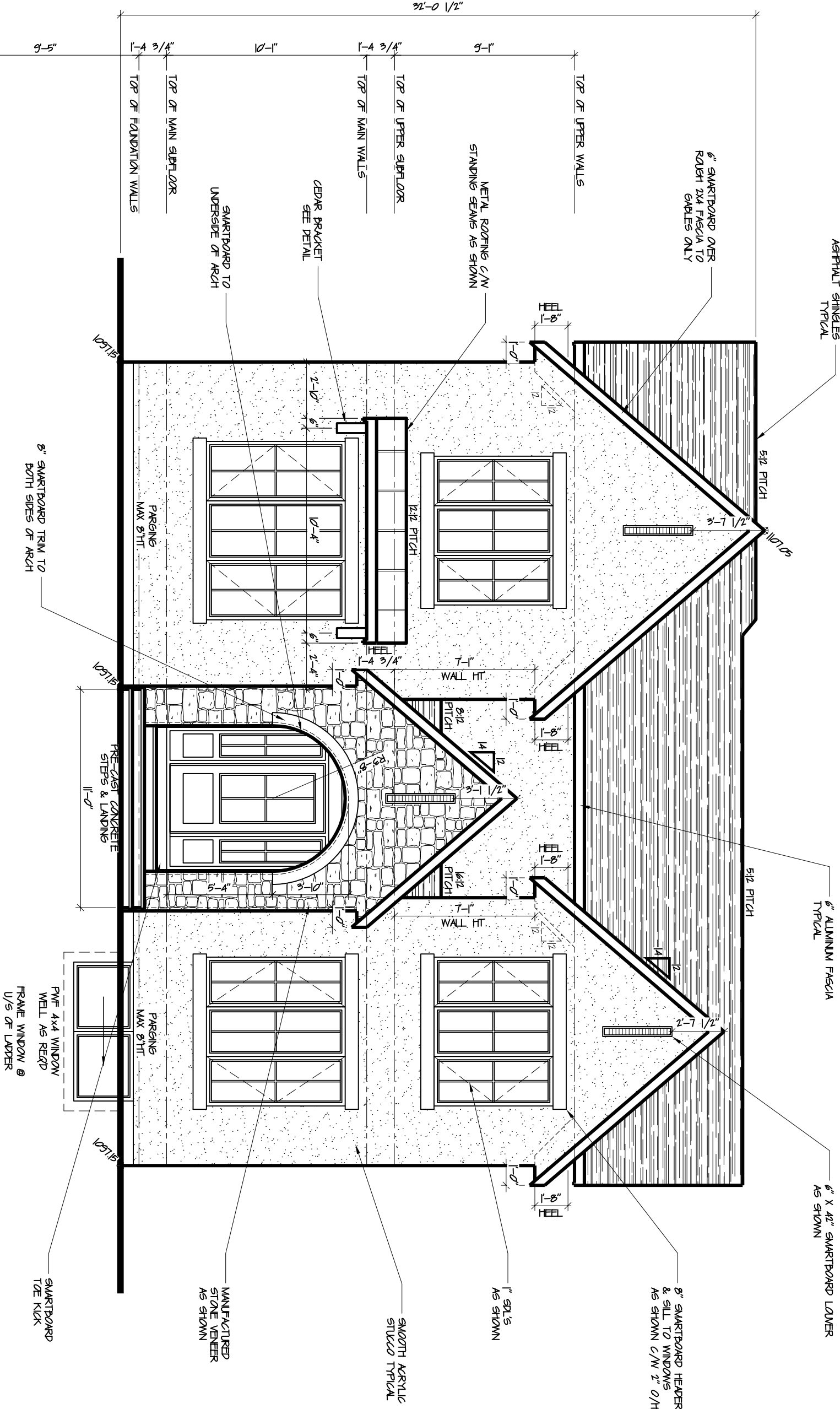
LFT:	BLOCK:	PLAT:
29 & 30	3	60 S

ADDRESS:
1999 47 AVENUE SW, CALGARY

DESIGNED BY: ND
PAGE: 1

DRAWN BY: BC/HD

SCALE:
3/16" = 1'-0"



FRONT ELEVATION

* NOTE *
3/8" FIRE PROTECTED OSP SHEATHING TO LEFT & RIGHT ELEVATIONS ONLY AS REQD

* NOTE *
ALL ROOF FLASHING TO BE PREFINISHED TO BEST MATCH COLOR OF ROOF

* NOTE *
ALL MECHANICAL ROOF VENTS & TERMINATIONS TO BE BLACK

* NOTE *
ALL WINDOWS TO BE CLASS R PERFORMANCE GRADE 30 ECO GAIN 180 DO DUAL PANE W/ ARGON FILL

* NOTE *
ALL WINDOWS TO BE LUX LYNX HYBRID SERIES METAL CLAD VINYL INTERIOR UNLESS OTHERWISE NOTED

* NOTE *
TERRAIN CLASSIFIED AS:
OPEN



PRIVATE RES.

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AUGUST 13, 2016

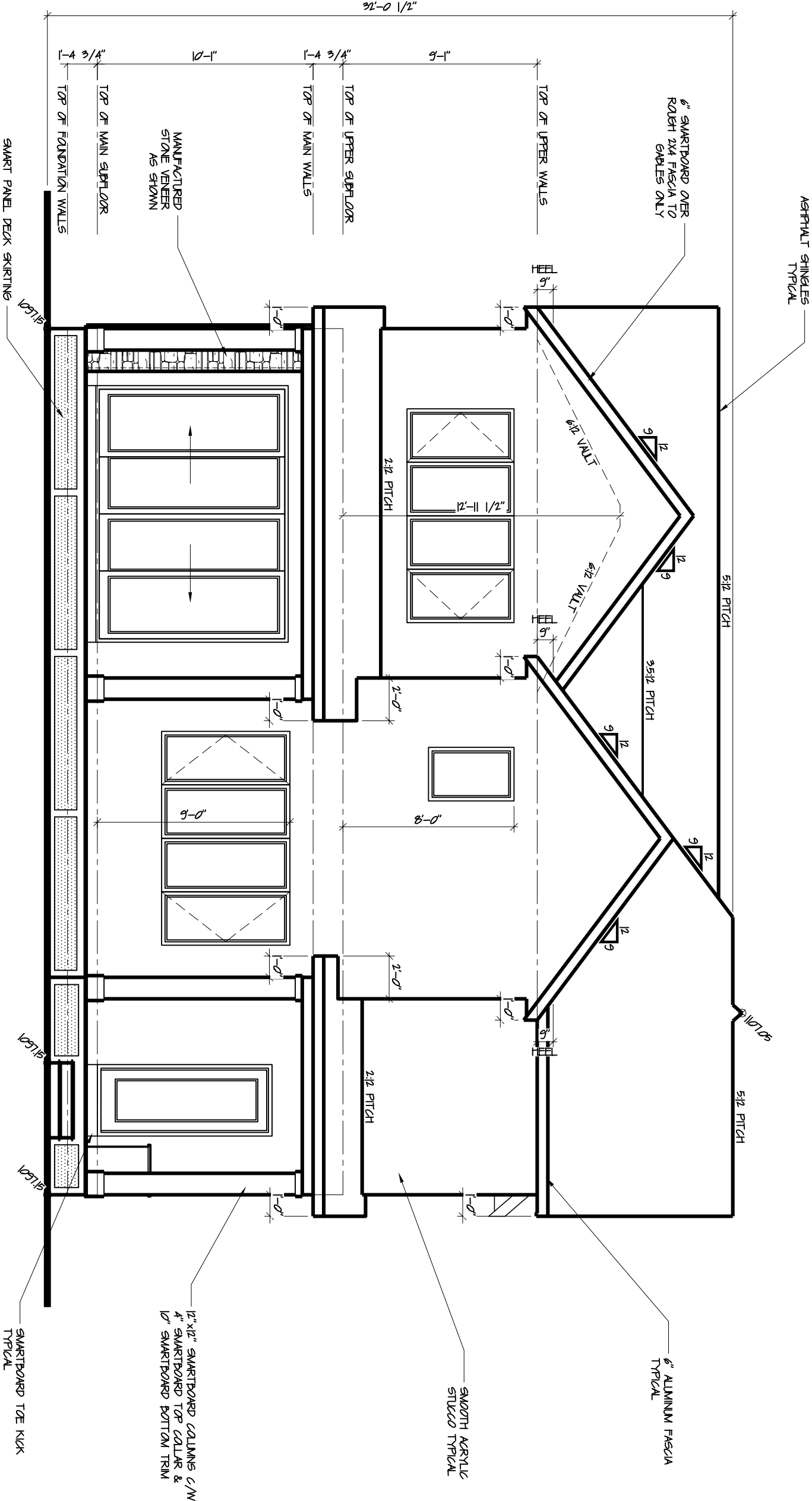
REAR ELEVATION

LFT:	BLOCK:	PLAT:
23 & 30	3	60 S

ADDRESS:
1399 47 AVENUE SW, CALGARY

DESIGNED BY:	PAGE:
ND	2

DRAWN BY:	SCALE:
BC/HD	3/16" = 1'-0"



REAR ELEVATION

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PRIVATE RES.

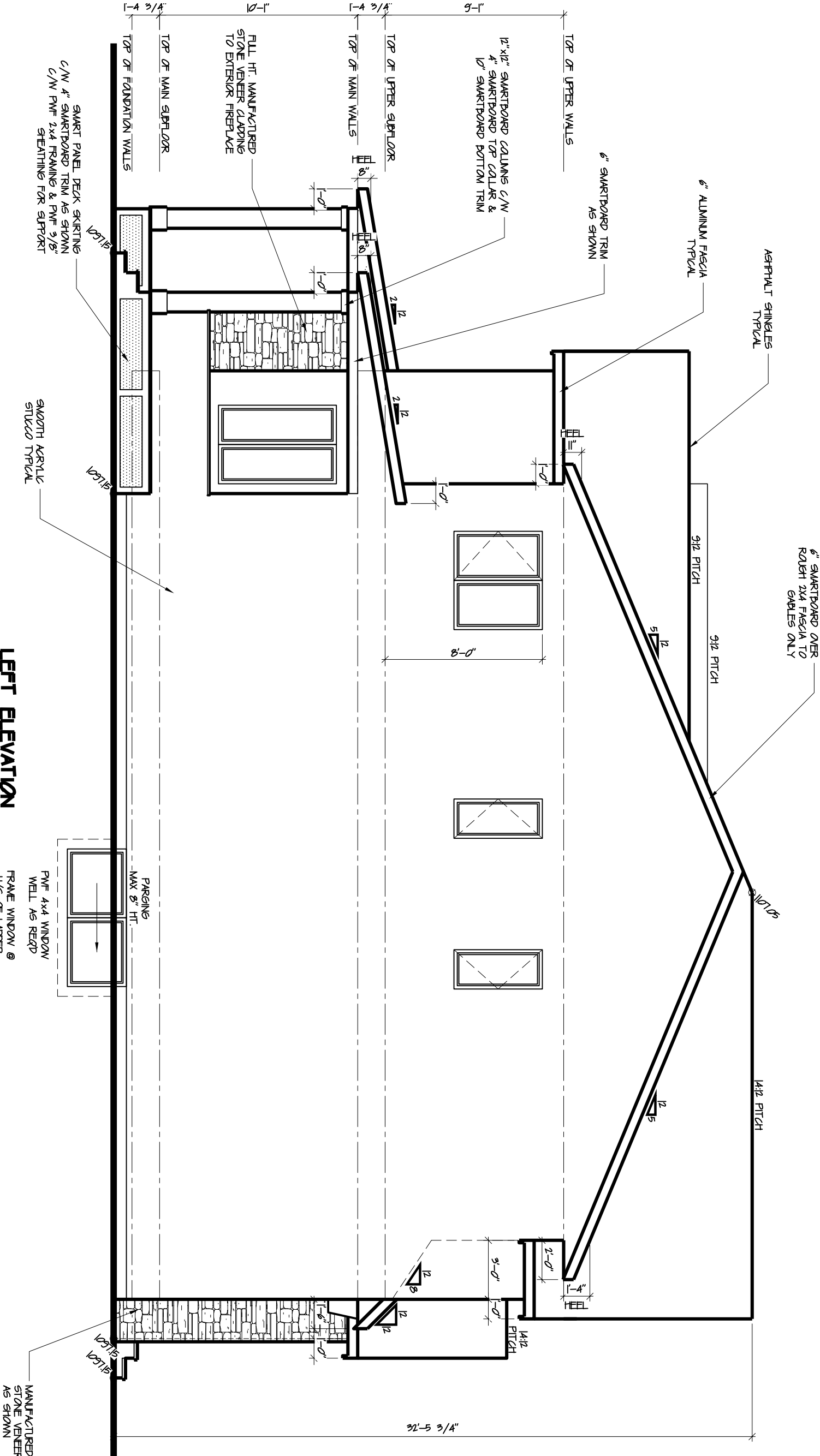
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REVISIONS:

CONSTRUCTION SET		
AUGUST 13, 2016		
LEFT ELEVATION		

LEFT ELEVATION		
LFT: 23 & 30	BLOCK: 3	PLAT: 60 S
ADDRESS: 1399 47 AVENUE SW, CALGARY		
DESIGNED BY: ND	PAGE: 3	
DRAWN BY: BC/HD	SCALE: 3/16" = 1'-0"	



LEFT ELEVATION

TOTAL GLASS AREA: 73.54 SQ.FT. / TOTAL WALL AREA: 1102.66 SQ.FT.
TOTAL GLASS COVERAGE: 6.67% @ 1.37m SIDEYARD

* NOTE *

3/8" FIRE PROTECTED OSB SHEATHING TO LEFT & RIGHT ELEVATIONS ONLY AS REQD

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ALL WINDOWS TO BE GLASS R PERFORMANCE GRADE 30 ELO GAIN 180 DO DUAL PANE W/ ARGON FILL

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ALL WINDOWS TO BE LUX LYNX HYBRID SERIES METAL CLAD VINYL INTERIOR UNLESS OTHERWISE NOTED

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AUGUST 19, 2016

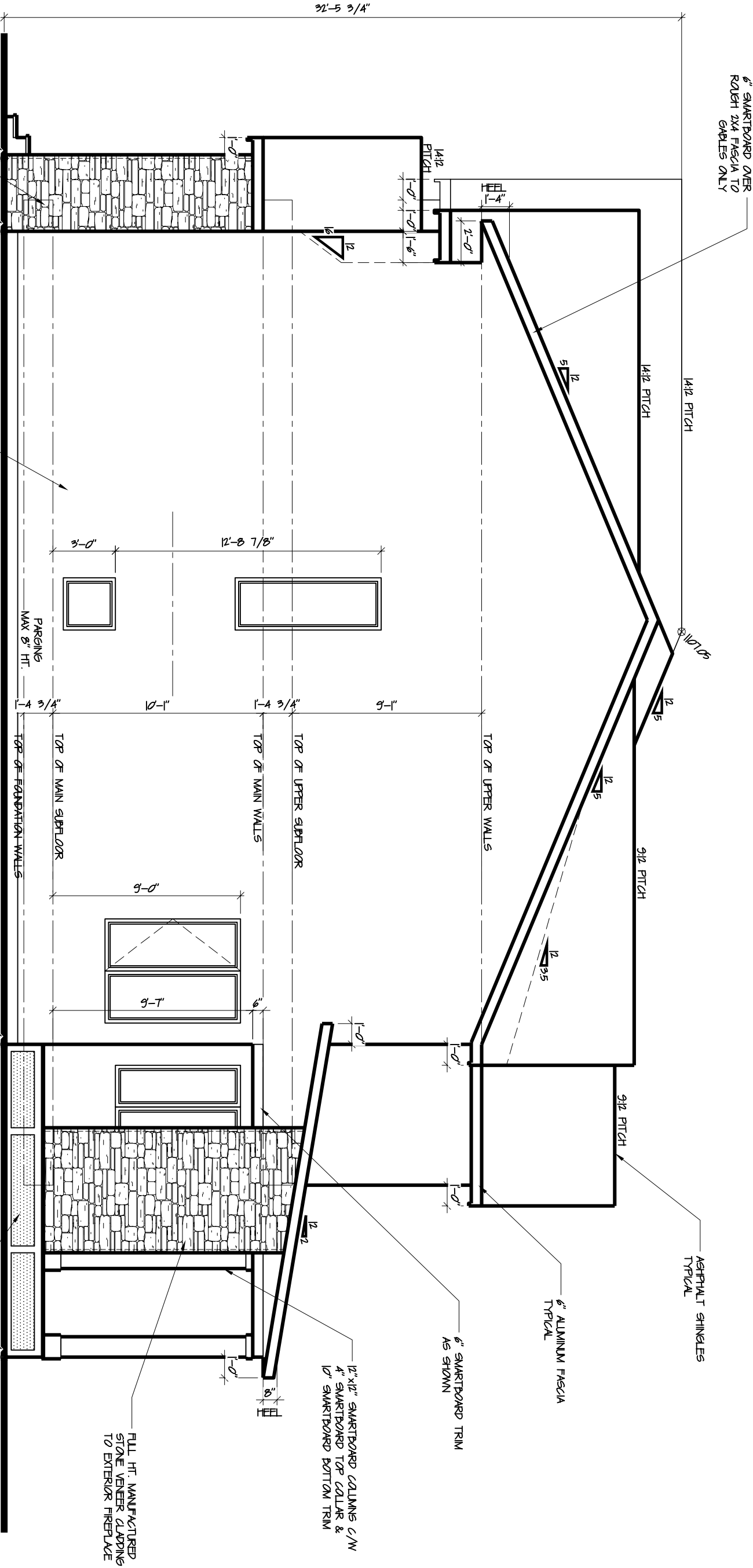
RIGHT ELEVATION

LFT:	BLOCK:	PLAT:
29 & 30	3	60 S

ADDRESS:
1999 47 AVENUE SW, CALGARY

DRAWN BY: ND
PAGE: 4

SCALE:
3/16" = 1'-0"



RIGHT ELEVATION

GLASS AREA: 8025 SQFT. / TOTAL WALL AREA: 114819 SQFT.
TOTAL GLASS COVERAGE: 6.99% @ 1.51m SIDEYARD

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REVISIONS:

CONSTRUCTION
SET
AUGUST 13, 2016

GARAGE
ELEVATIONS

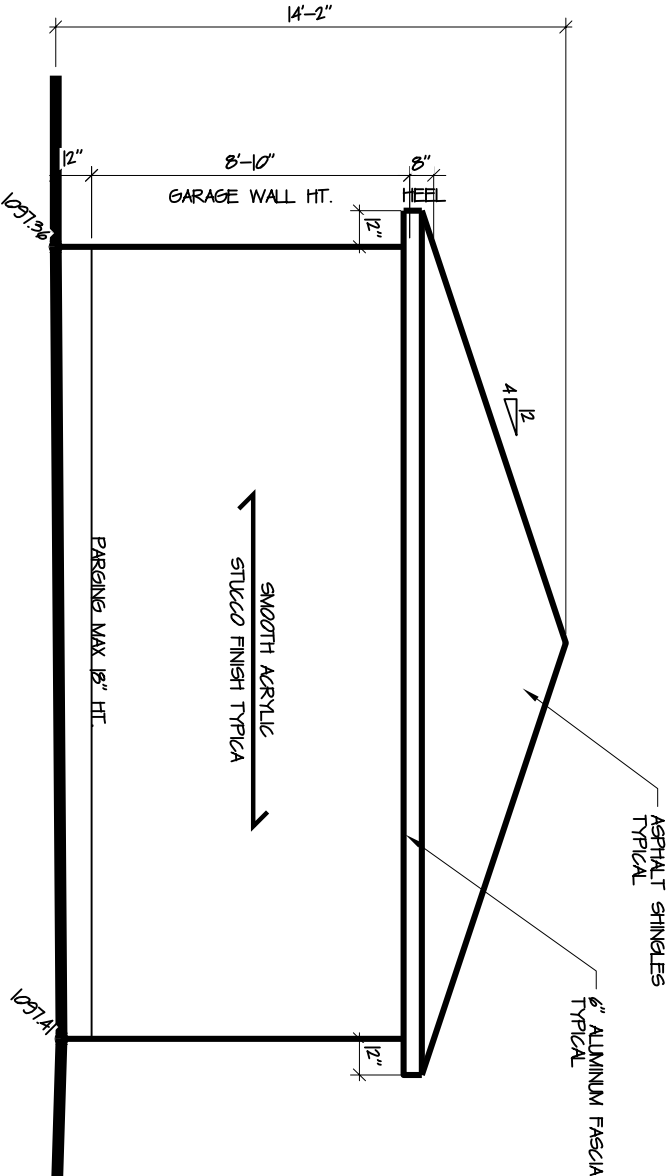
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23 & 30	3	60 S

ADDRESS:
1339 47 AVENUE SW, CALGARY

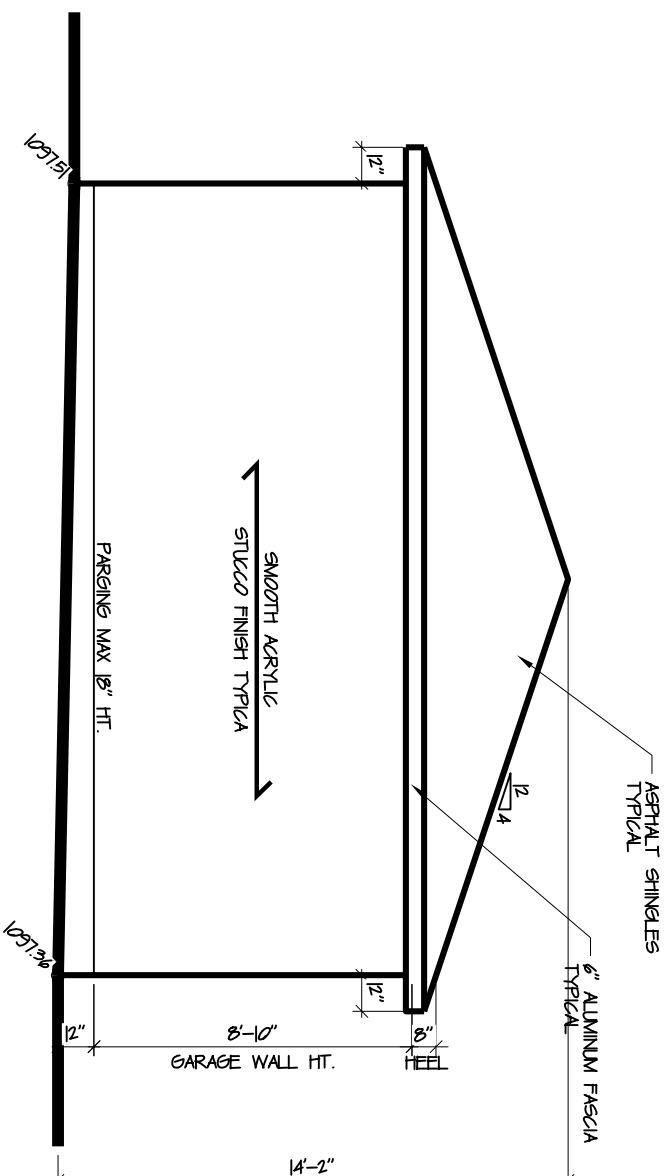
DESIGNED BY: ND
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DRAWN BY: BC/HD

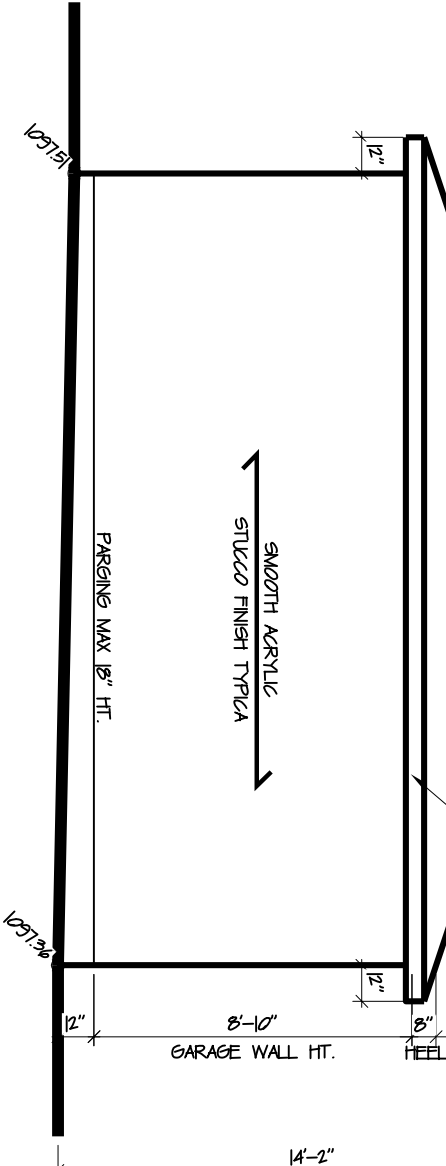
SCALE:
3/16" = 1'-0"



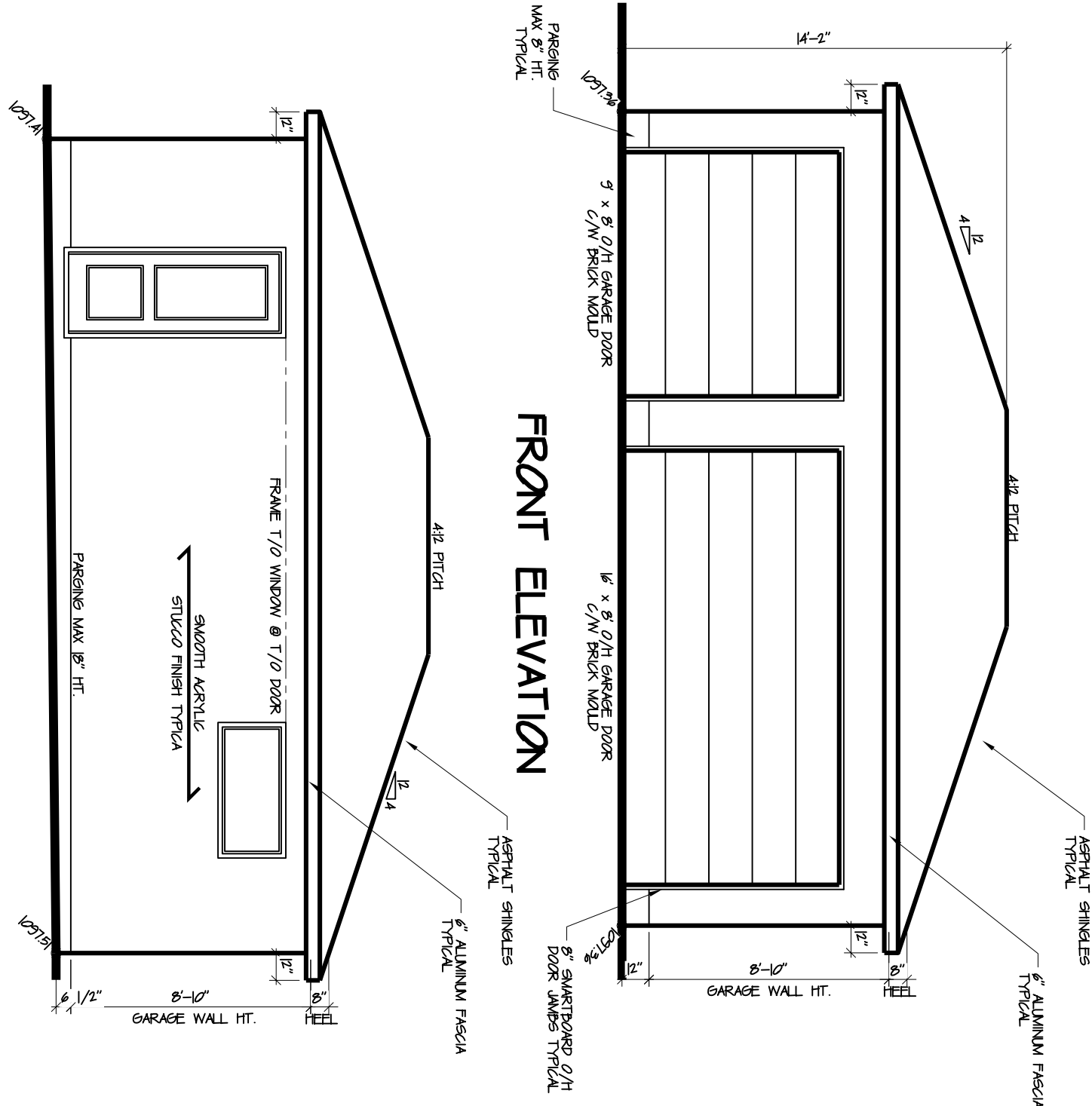
LEFT ELEVATION



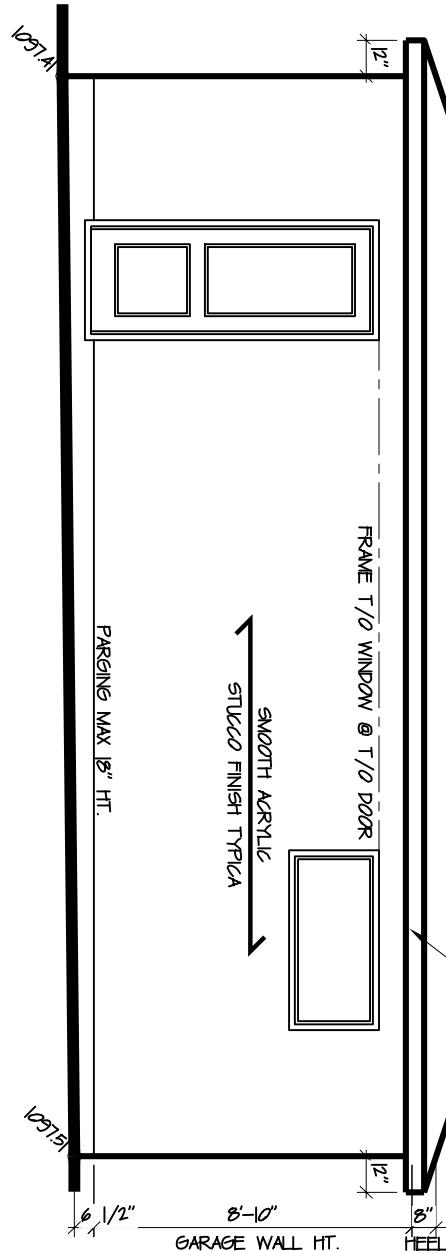
RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION



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TERRAIN CLASSIFIED AS: OPEN



SITE PLAN

LAST REVISED: AUGUST 13, 2026

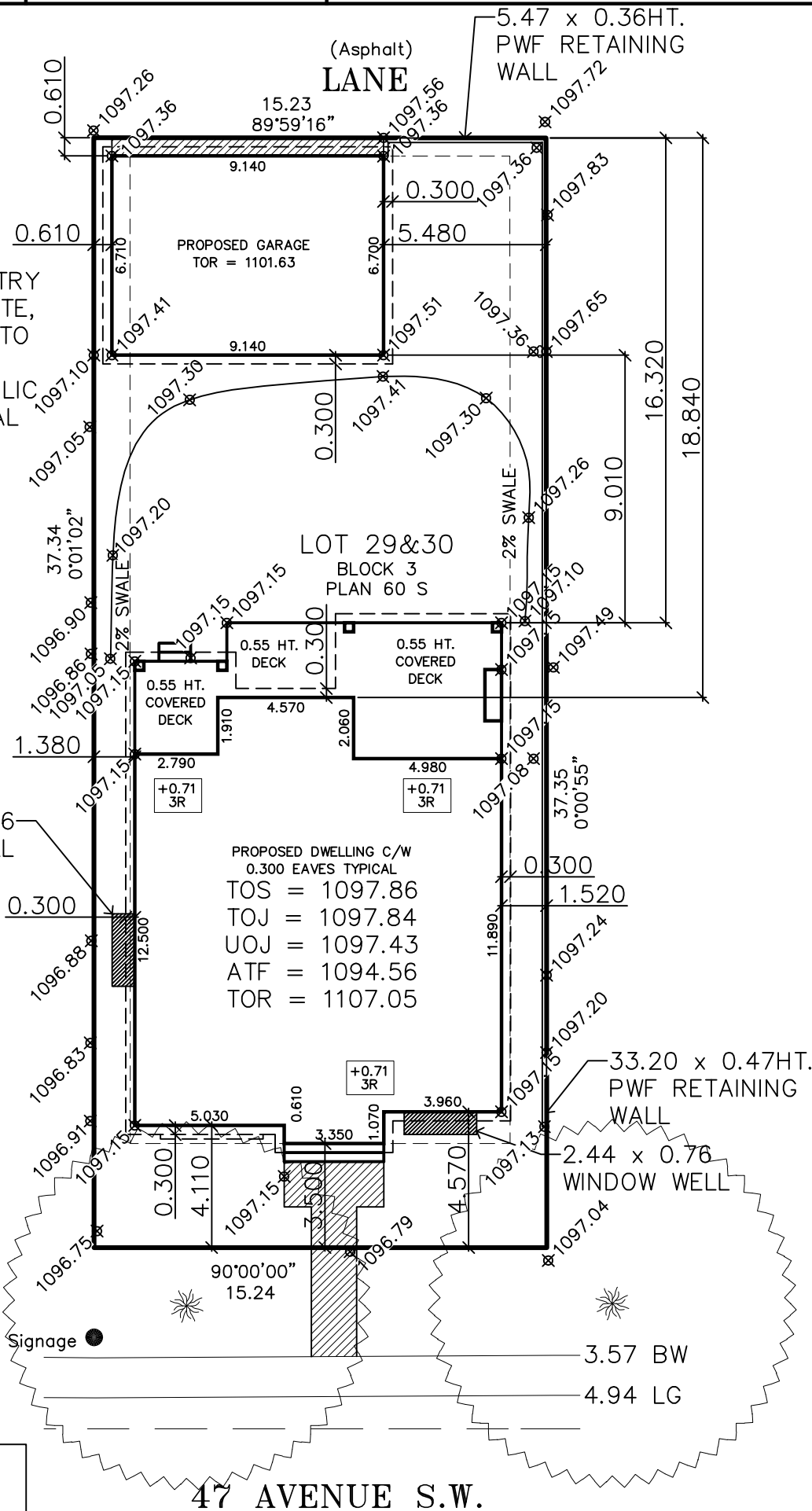
SPEC HOME

DRAWN BY: BRANDON CARDONE
PHONE: 1.403.614.9664

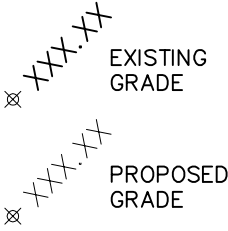
NORTH



* NOTE: AN URBAN FORESTRY TECHNICIAN MUST BE IN-SITE, WITH CONFIRMED MEETING, TO MITIGATE POSSIBLE ROOT DAMAGE TO ADJACENT PUBLIC TREES DURING THE REMOVAL OF THE EXISTING WALKWAY/DRIVEWAY *



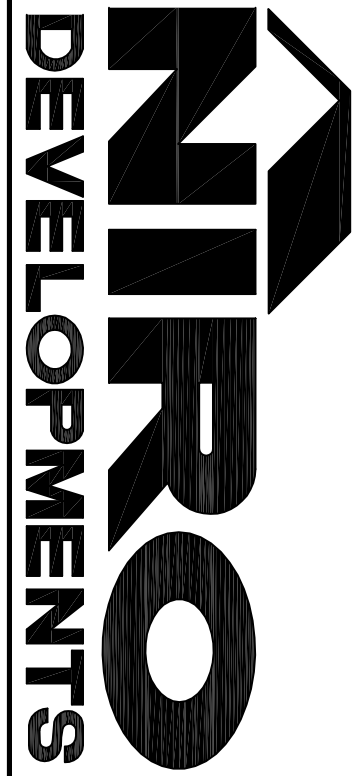
GRADING LEGEND



BROOM FINISHED CONCRETE

DRIVEWAY: 5.53m² / 59.2ft²
SIDEWALK: 12.79m² / 137.6ft²

COMMUNITY: ALTADORE	HOUSE AREA: 195.08m ² GARAGE AREA: 61.32m ²
LOT: 29 & 30 BLOCK: 3 PLAN: 60 S	LOT AREA: 569.48m ²
ADDRESS: 1939 47 AVENUE SW, CALGARY	BUILDING COVERAGE: 45.02% ATF: 1094.56
MODEL: PRIVATE RESIDENCE	TOP OF SUBFLOOR: 1097.86 TOP OF JOIST: 1097.84
SCALE: 1: 200	FOUNDATION HEIGHT: 9'-5"



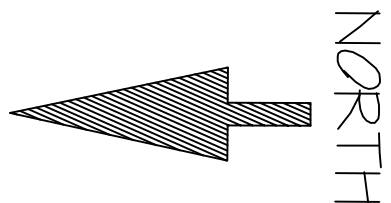
BLOCK PLAN

ADDRESS: 1939 47 AVENUE SW, CALGARY

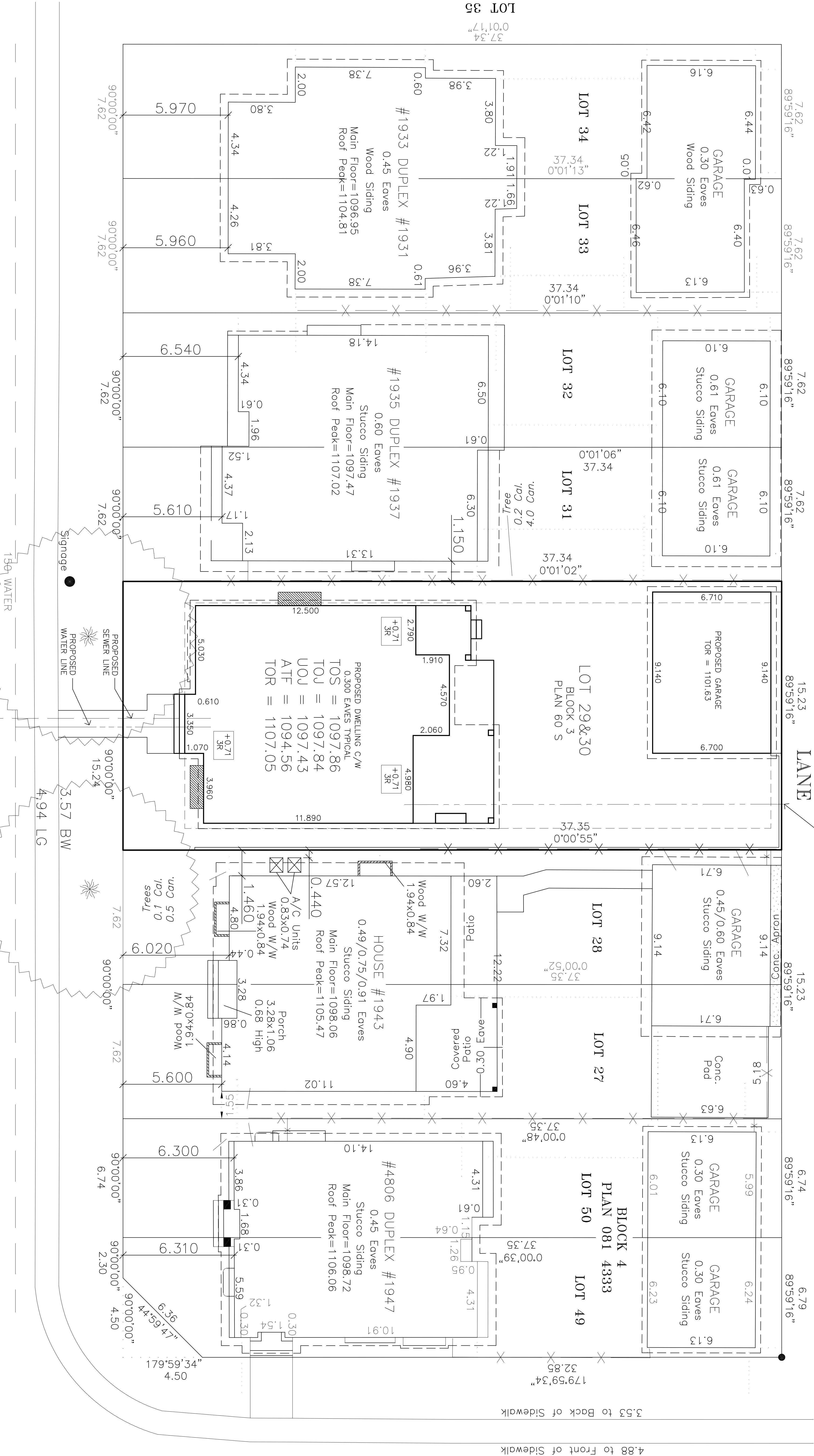
SCALE: 1:100

DRAWN BY: BRANDON CARDONE
PHONE: 1.403.614.9664

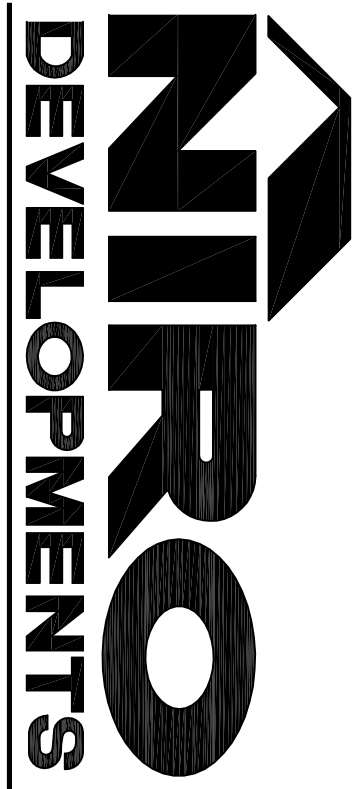
LAST REVISED:
AUGUST 13, 2026



19 STREET S.W.



200 SANITARY
47 AVENUE S.W.



PROPOSED STREETSCAPE PLAN

LAST REVISED: MAY 15, 2026

ADDRESS: 1939 47 AVENUE SW, CALGARY

LOT: 29 & 30 BLOCK: 3 PLAN: 60 S

SCALE: 1:100

DRAWN BY: BRANDON CARDONE
PHONE: 1.403.614.9664



19 STREET S.W.

47 AVENUE S.W.