

GLENDALE RESIDENCE - LOT 47

2732 - 49th STREET SW,
CALGARY, ALBERTA

ISSUED FOR DEVELOPMENT PERMIT

KEYPLAN:

LEGAL ADDRESS:
PLAN : 2736 HS
BLOCK : 3
LOT : 1

CLIENT INFORMATION:

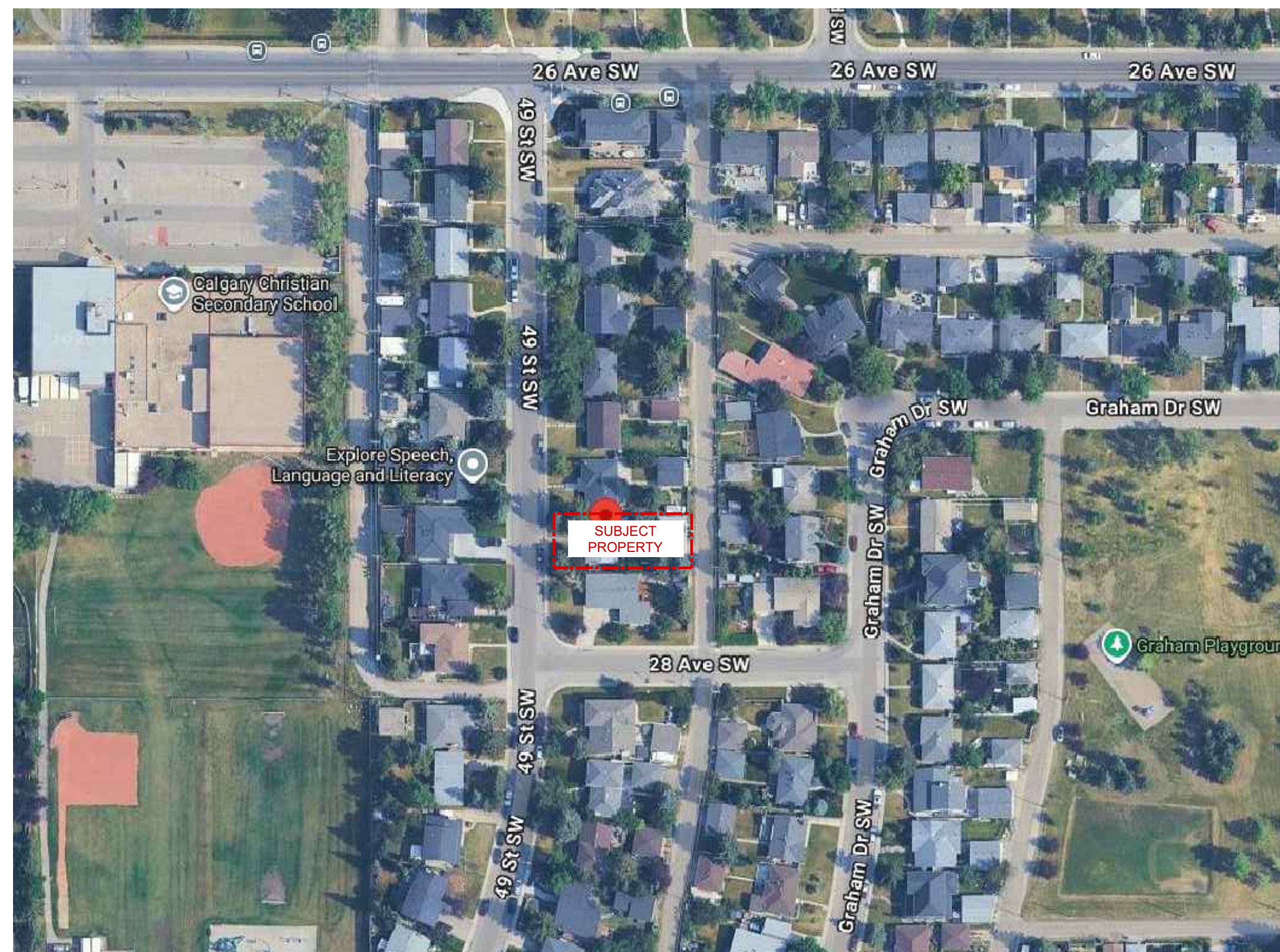
HOME BUILDER:

TYPICAL ABBREVIATIONS

A.F.F. A.C.T. A.F.S. A.S.F. AP ALUM ANOD. ARCH.	ABOVE FINISHED FLOOR ACOUSTIC TILE ABOVE FINISHED SLAB ABOVE SUB-FLOOR ACCESS PANEL ALUMINUM ANODIZED ARCHITECTURAL	GL GA GEO GB GL G1S G2S GR. GL G.W.B.	GALVANIZED GAUGE GEODETIC GLASS BLOCK GLAZING GOOD ONE SIDE GOOD BOTH SIDES GRADE GRID LINE GYPSUM WALL BOARD	PT. P.LAM. PLYWD POLY. PR.T. PC CONC. PREFIN. P.S. PL	PAINT PLASTIC LAMINATE PLYWOOD POLYETHYLENE PORCELAIN TILE PRECAST CONCRETE PREFINISHED PRESSED STEEL PROPERTY LINE
B.O.W.2 B.F. B.F.A. B/S BW BOT. B.O. BLDG BP B.U.R.	BACK OF WALK BARRIER FREE BARRIER FREE ACCESS BOTH SIDES BOTH WAYS BOTTOM BOTTOM OF BUILDING BUILDING PERMIT BUILT-UP ROOF(ING)	H/C H.P. H.C. H.M. H.M.I. HORZ. H.B. HR. HWH HDWD	HANDICAPPED HIGH POINT HOLLOW CORE HOLLOW METAL HOLLOW METAL INSULATED HORIZONTAL HOSE BIB HOUR HOT WATER HEATER HARDWOOD	R.W.L. REIN. REQ. REV. R/W RM. R.D. R.O.	RAIN WATER LEADER REINFORCING REQUIRED REVERSED RIGHT OF WAY ROOM ROOF DRAIN ROUGH OPENING
CPT C.I.P. CLG. CL C/C C.T. COL. CW CONC. C.J. CONT. CSCI	CARPET CAST IN PLACE CEILING CENTER LINE CENTER TO CENTER CERAMIC TILE COLUMN COMPLETE WITH CONCRETE CONTROL JOINT CONTINUOUS CONTRACTOR SUPPLIED # CONTRACTOR INSTALLED	INT. I.D. I/F INSUL.	INTERIOR INSIDE DIAMETER INSIDE FACE INSULATION/INSULATED	TEMPD TEMP T T.O.W. T4B T4G TP T/O TB TYP.	TEMPERED TEMPERATURE TILE TOP OF WALL TOP AND BOTTOM TONGUE AND GROVE(D) TOILET PAPER LOCATION TOP OF TOWEL BAR TYPICAL
DET. DF DIMS DIA. DN DWG. DW	DETAIL(S) DEVELOPMENT PERMIT DIMENSIONS(S) DIAMETER DOWN DRAWING DISHWASHER	M.H. M.F. MAX. MECH. MDF MC MEL MTL. MW MISC. MIN. MANUF.	MAN HOLE MAIN FLOOR MAXIMUM MECHANICAL MEDIUM DENSITY FIBERBOARD MEDICINE CABINET MELAMINE METAL MILLWORK MISCELLANEOUS MINIMUM MANUFACTURER	U.N.O. U/S U.L.C.	UNLESS NOTED OTHERWISE UNDERSIDE UNDERWRITERS LABORATORIES OF CANADA
EA. E.S. E.W. ENG. EL. ELEV. ELEC. E.O.S. EQ. EXIST. EXT. E.I.F.S	EACH EACH SIDE EACH WAY ENGINEER ELEVATION ELEVATOR ELECTRICAL EDGE OF SLAB EQUAL EXISTING EXTERIOR EXTERIOR INSULATION FINISHING SYSTEM	NAT. N/A N.I.C. N.T.S. NO. O.C. O.W.S.J. O.S.B. O/F O/H O.D. OSOI OSCI	NATURAL NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE NUMBER ON CENTER OPEN WEB STEEL JOIST(S) ORIENTED STRAND BOARD OUTSIDE FACE OVERHEAD OUTSIDE DIAMETER OWNER SUPPLIED # OWNER INSTALLED OWNER SUPPLIED # CONTRACTOR INSTALLED	V.B. VERT. W/C WP WD WD WO WPM	VAPOUR BARRIER VERTICAL WATER CLOSET WATERPROOF WOOD WASHER / DRYER WALL OVEN WATERPROOF MEMBRANE
F.E. F.E.C. F.R. F.R.R. F.S. F.W. FL F.D. FTG. F FURN	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE RATED FIRE RESISTANCE RATING FIRE SEPARATION FIRE WALL FLOOR FLOOR DRAIN FOOTING FRIDGE FURNACE				

SYMBOL LEGEND

Room name 101	INDICATES ROOM NAME AND NUMBER
1 A101	INDICATES BUILDING SECTION MARKER
1 A101	INDICATES WALL SECTION MARKER
1 A101	INDICATES BUILDING DETAIL MARKER
72.72M ELEV. CLG	INDICATES EXISTING ELEVATION ON SITE / BLOCK PLANS
0'-0"	INDICATES PROPOSED ELEVATION ON SITE / BLOCK PLANS
0'-0"	INDICATES PROPOSED SPOT ELEVATION
○	INDICATES EXISTING TREE TO BE REMOVED
○	INDICATES EXISTING TREE TO REMAIN
○	INDICATES NEW TREE
DO1	INDICATES INTERIOR DOOR TAG
EDO1	INDICATES EXTERIOR DOOR / WINDOW TAG
6'-0" CLG	INDICATES HEIGHT OF CEILING STRUCTURE ABOVE SUBFLOOR
	INDICATES SUBFLOOR ELEVATION ON FLOOR PLANS
WO3	INDICATES CONSTRUCTION ASSEMBLY TYPE TAG - REFER TO CONSTRUCTION ASSEMBLIES
FO1	INDICATES FLOOR FINISH TYPE TAG - REFER TO FINISHES LEGEND
WO1	INDICATES WALL FINISH TYPE TAG - REFER TO FINISHES LEGEND
CO1	INDICATES CEILING FINISH TYPE TAG - REFER TO FINISHES LEGEND
00	KEYNOTE TAG - REFER TO DRAWING NOTES



#	Description	Date
Revision Schedule		

CONSULTANT LOGO:

NO.	BY	DESCRIPTION	DATE
2	AK	ISSUE FOR DEVELOPMENT PERMIT	2026/05/08
1	AK	ISSUE FOR REVIEW	2026/04/30



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PROFESSIONAL SEAL:

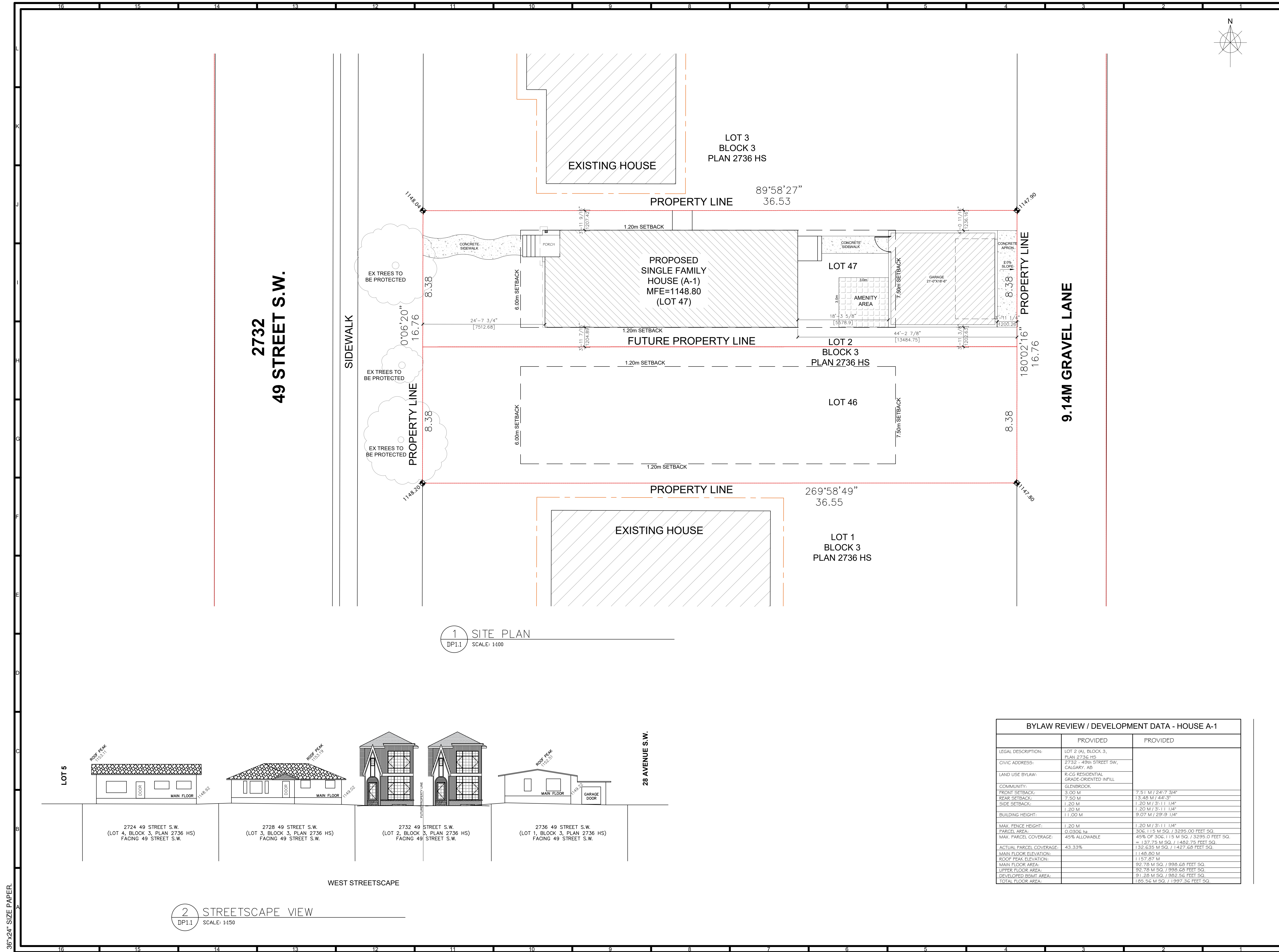
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DRAWING TITLE:
COVER PAGE

PROJECT: GLENDALE RESIDENCES	LOCATION: 2732 - 49 STREET SW, CALGARY, AB
DRAWN BY: AK	CHECKED BY: VK
SCALE: As indicated	PROJECT: 2026-344
ISSUE FOR: DEVELOPMENT PERMIT	ISSUE DATE: 2026-04-27
REV. NO.	SHEET NO. DP1.0

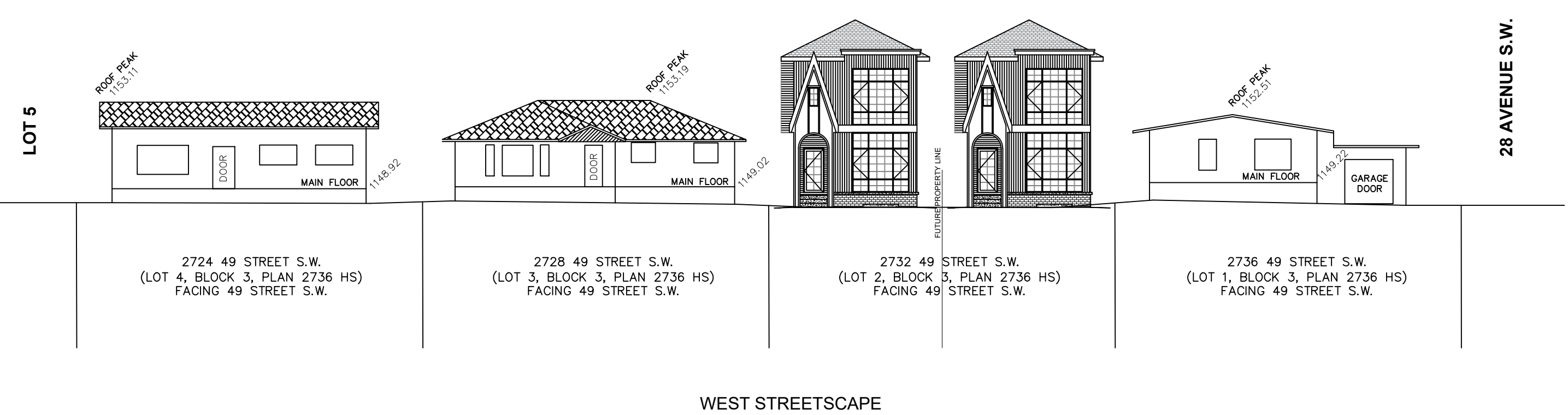
36"x24" SIZE PAPER.



2732
49 STREET S.W.

9.14M GRAVEL LANE

1 SITE PLAN
DP1.1 SCALE: 1:100



2 WEST STREETScape VIEW
DP1.1 SCALE: 1:150

BYLAW REVIEW / DEVELOPMENT DATA - HOUSE A-1		
	PROVIDED	PROVIDED
LEGAL DESCRIPTION:	LOT 2 (A), BLOCK 3, PLAN 2736 HS	
CIVIC ADDRESS:	2732 - 49th STREET SW, CALGARY, AB	
LAND USE BYLAW:	R.C.G RESIDENTIAL GRADE-ORIENTED INFILL	
COMMUNITY:	GLENBROOK	
FRONT SETBACK:	3.00 M	7.51 M / 24'-7 3/4"
REAR SETBACK:	7.50 M	13.48 M / 44'-3"
SIDE SETBACK:	1.20 M	1.20 M / 3'-11 1/4"
BUILDING HEIGHT:	11.00 M	11.20 M / 3'-11 1/4"
MAX. FENCE HEIGHT:	1.20 M	1.20 M / 3'-11 1/4"
PARCEL AREA:	0.0302 ha	306.115 M SQ. / 3295.00 FEET SQ.
MAX. PARCEL COVERAGE:	45% ALLOWABLE	45% OF 306.115 M SQ. / 1382.75 FEET SQ.
ACTUAL PARCEL COVERAGE:	43.33%	132.635 M SQ. / 1427.68 FEET SQ.
MAIN FLOOR ELEVATION:	1146.80 M	
ROOF PEAK ELEVATION:	1157.87 M	
MAIN FLOOR AREA:	92.78 M SQ. / 998.68 FEET SQ.	
UPPER FLOOR AREA:	39.79 M SQ. / 427.68 FEET SQ.	
DEVELOPED BSMT AREA:	91.28 M SQ. / 982.56 FEET SQ.	
TOTAL FLOOR AREA:	185.56 M SQ. / 1997.36 FEET SQ.	

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 Calgary, Alberta

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PROFESSIONAL SEAL:

PROJECT: **GLENDALE RESIDENCES**
 LOCATION: **2732 - 49 STREET SW, CALGARY, AB**

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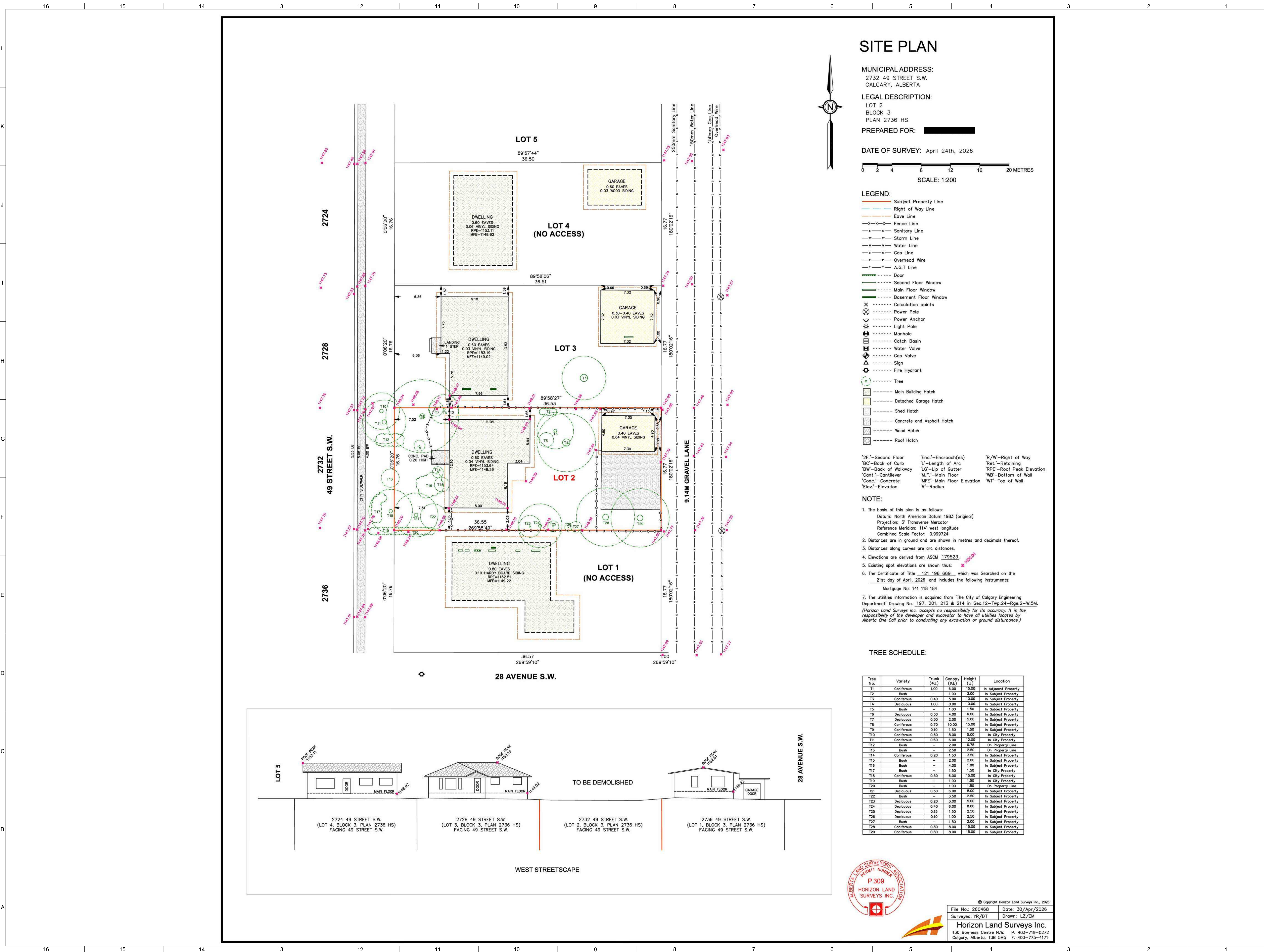
DRAWING TITLE:
SITE PLAN LOT 47

DRAWN BY: AK
 CHECKED BY: VK

SCALE: As indicated
 PROJECT: 2026-344
 ISSUE FOR: DEVELOPMENT PERMIT
 ISSUE DATE: 2026-04-27
 REV. NO. SHEET NO. **DP1.1**

36"x24" SIZE PAPER.

36"x24" SIZE PAPER.



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LEGAL ADDRESS:
PLAN : 2736 HS
BLOCK : 3
LOT : 1

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PROJECT: **LENDALE RESIDENCES**
LOCATION: **2732 - 49 STREET SW, CALGARY, AB**

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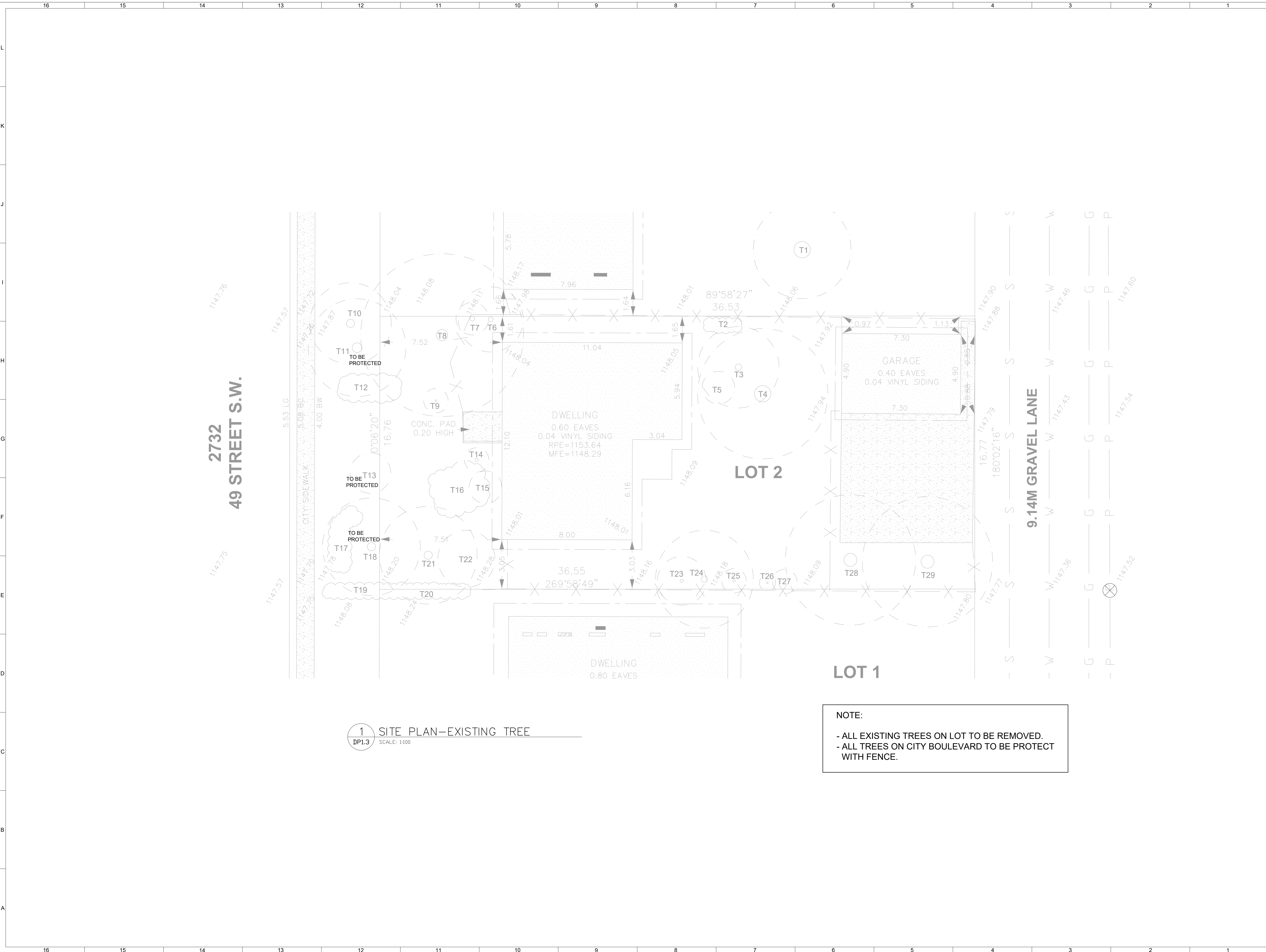
DRAWING TITLE:
SITE SURVEY PLAN (BY OTHERS)

DRAWN BY: AK
CHECKED BY: VK

SCALE: As indicated
PROJECT: 2026-344
ISSUE FOR: DEVELOPMENT PERMIT
ISSUE DATE: 2026-04-27
REV. NO. SHEET NO. **DP1.2**

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File No.: 260468 Date: 30/Apr/2026
Surveyed: YR/DT Drawn: LZ/EM
Horizon Land Surveys Inc.
130 Bowness Centre N.W. P: 403-719-0272
Calgary, Alberta, T3B 5M5 F: 403-775-4171

36"x24" SIZE PAPER.



1 SITE PLAN-EXISTING TREE
 DP1.3 SCALE: 1:100

NOTE:
 - ALL EXISTING TREES ON LOT TO BE REMOVED.
 - ALL TREES ON CITY BOULEVARD TO BE PROTECT WITH FENCE.

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 LOT : 1

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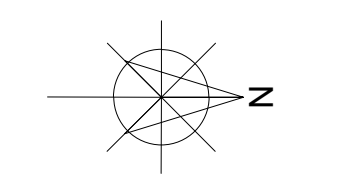
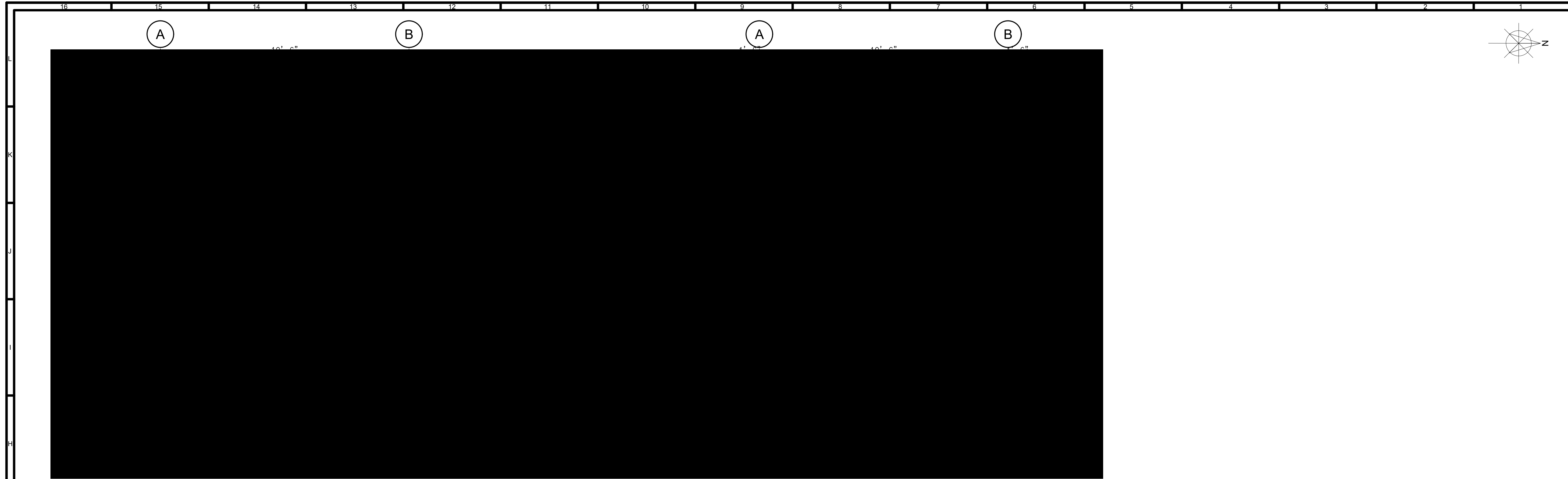
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DRAWING TITLE: EXISTING TREE PLAN

DRAWN BY: AK	CHECKED BY: VK
SCALE: As indicated	
PROJECT: 2026-344	
ISSUE FOR: DEVELOPMENT PERMIT	
ISSUE DATE: 2026-04-27	
REV. NO.	SHEET NO.
	DP1.3



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LEGAL ADDRESS:
 PLAN : 2736 HS
 BLOCK : 3
 LOT : 1

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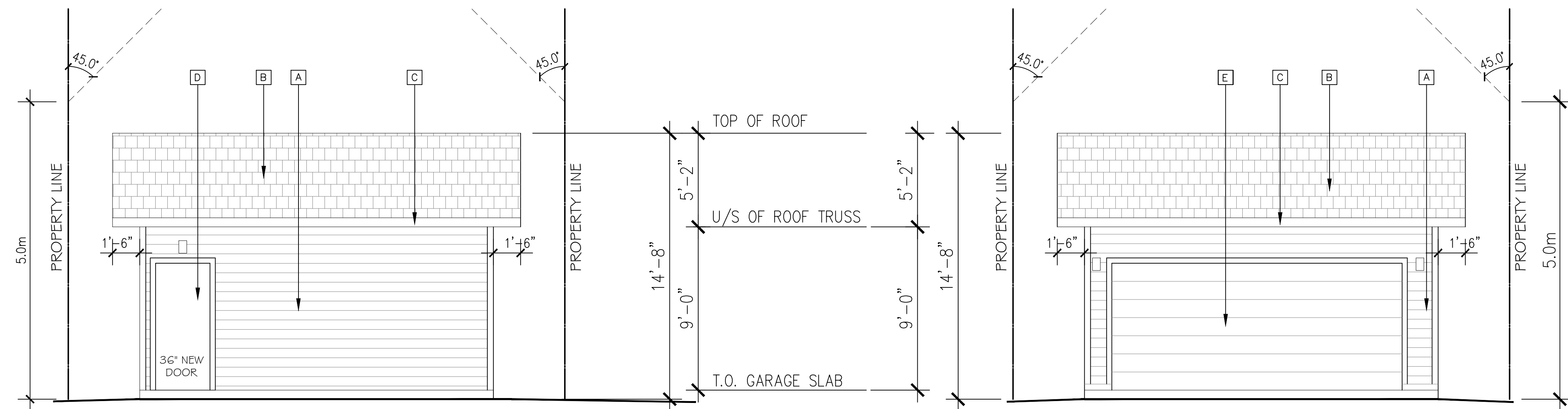
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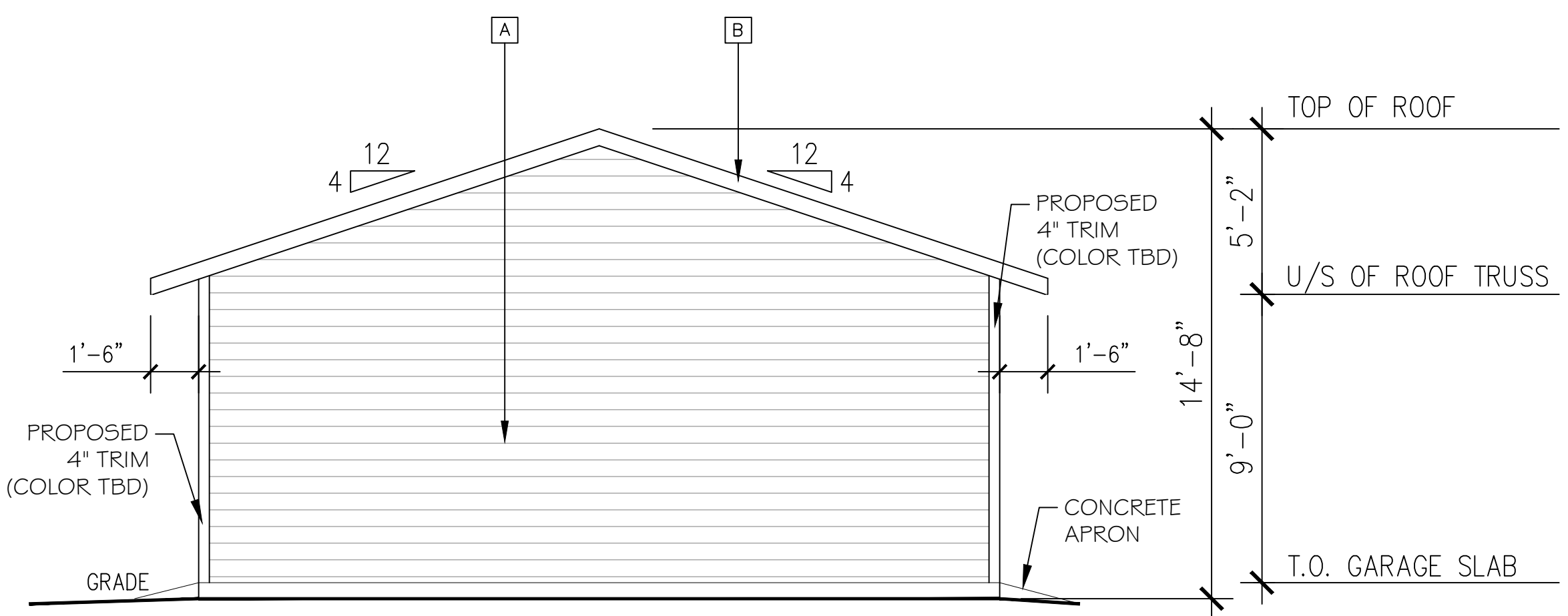
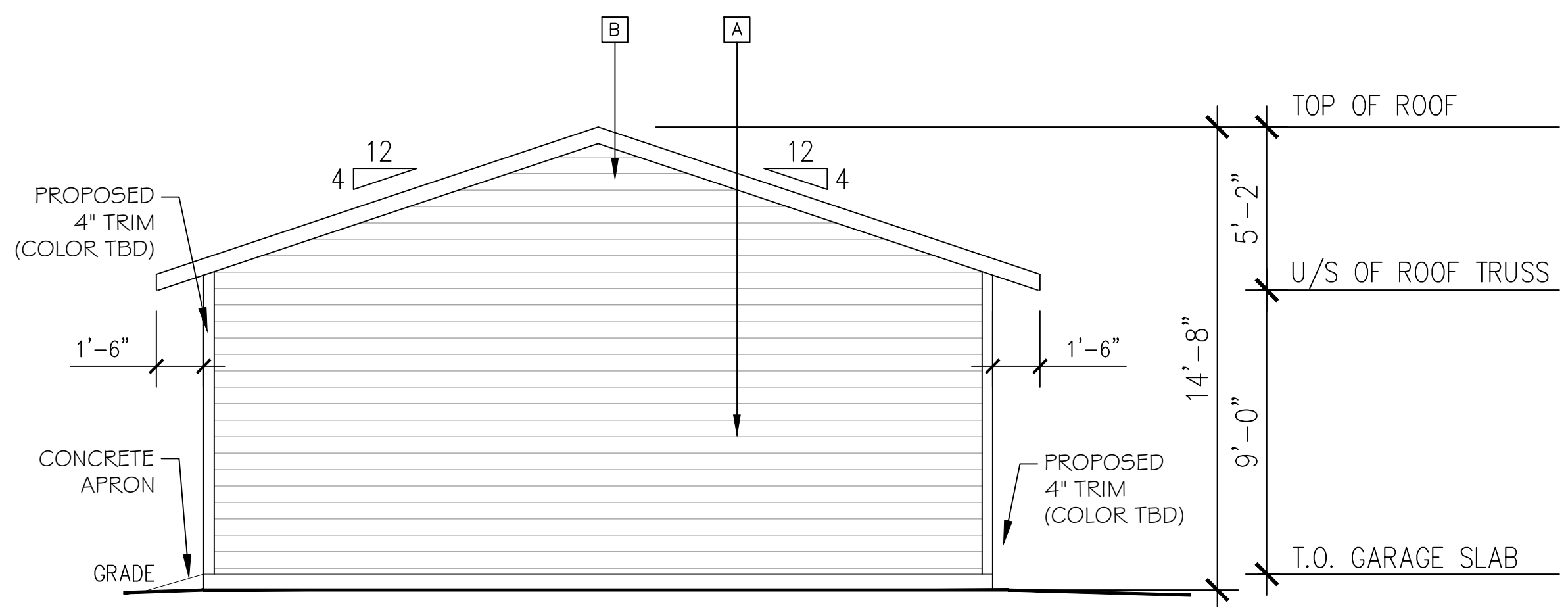
PROFESSIONAL SEAL:



- MATERIAL LEGEND:**
- A HORIZONTAL SIDING
COLOR: TBD
 - B ASPHALT SINGLES ROOFING
COLOR: DARK GREY
 - C PREFINISHED METAL GUTTER & FLASHING
COLOR: CHARCOAL GREY
 - D EXTERIOR GRADE WOODEN DOOR
COLOR: TBD
 - E OVERHEAD DOOR
COLOR: TBD

3 REAR ELEVATION (WEST)
 DP2.3 SCALE: 1/4" = 1'-0"

4 FRONT ELEVATION (EAST)
 DP2.3 SCALE: 1/4" = 1'-0"



5 SIDE ELEVATION (NORTH)
 DP2.3 SCALE: 1/4" = 1'-0"

6 SIDE ELEVATION (SOUTH)
 DP2.3 SCALE: 1/4" = 1'-0"

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DRAWING TITLE:
DETACHED GARAGE PLAN (LOT 47)

DRAWN BY: AK
 CHECKED BY: VK

SCALE: As indicated

PROJECT: 2026-344

ISSUE FOR: DEVELOPMENT PERMIT

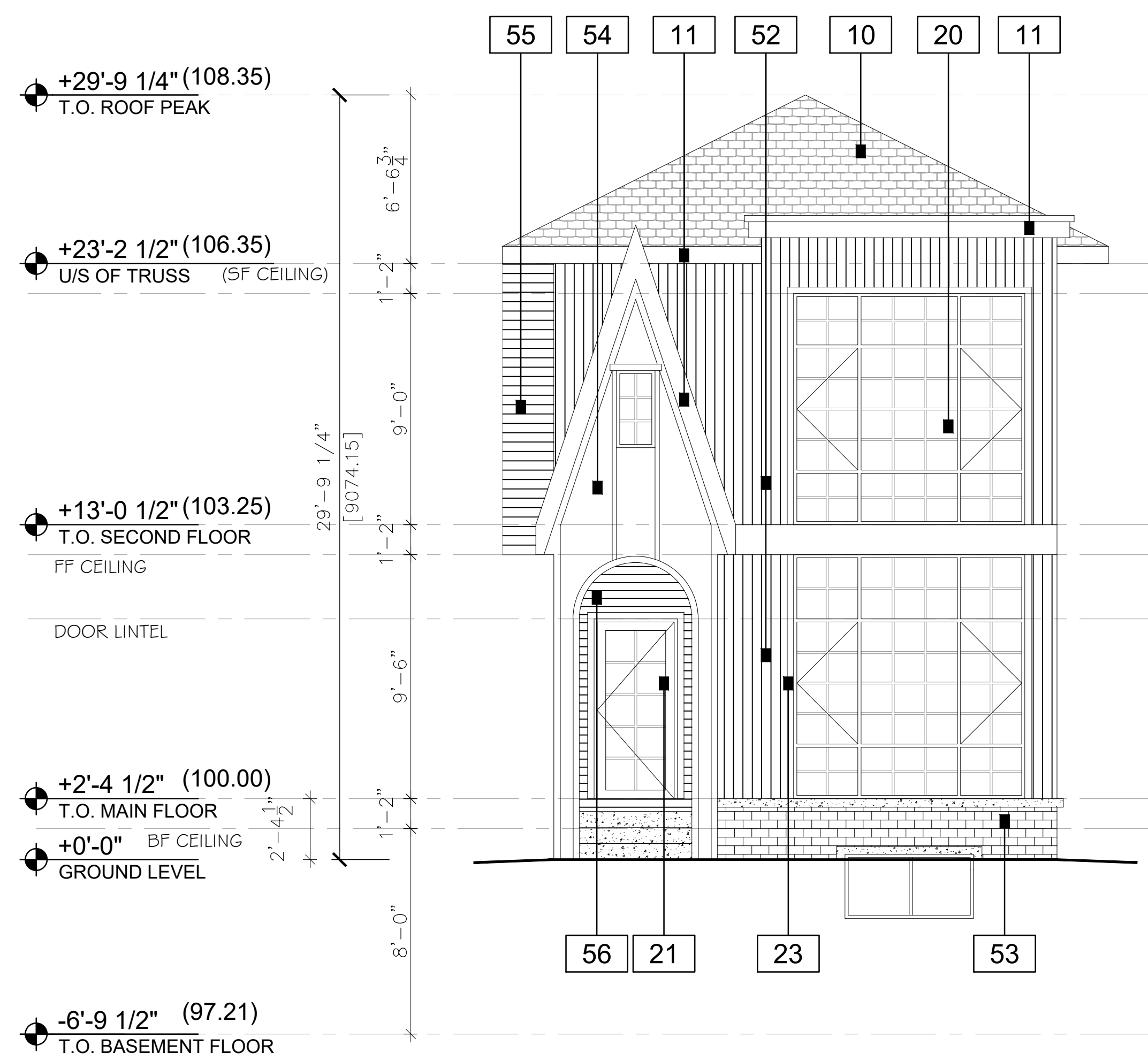
ISSUE DATE: 2026-04-27

REV. NO. SHEET NO.
 DP2.3

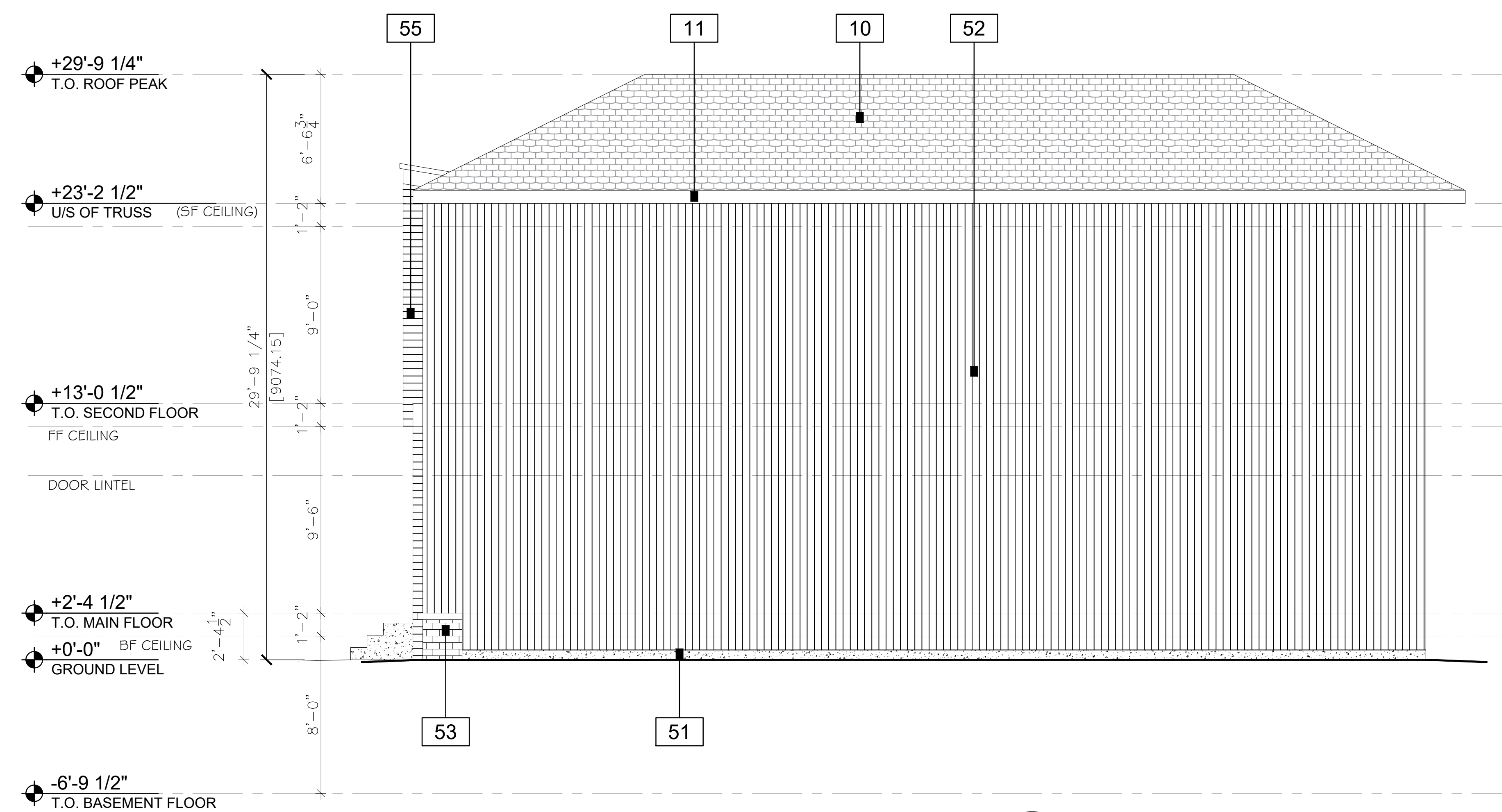
PROJECT: GLENDALE RESIDENCES
 LOCATION: 2732 - 49 STREET SW, CALGARY, AB

36"x24" SIZE PAPER.

MATERIAL LEGEND - OVERALL COLORS			
10	MATERIAL: ASPHALT ROOF SHINGLES MANUFACTURER: OWENS CORNING COLOUR(S): DRIFTWOOD	51	MATERIAL: PARING MANUFACTURER: -- COLOUR(S): NATURAL
11	MATERIAL: PRE-FINISHED ALUM. FASCIA & SOFFIT MANUFACTURER: MITTEN COLOUR(S): TO MATCH CLADDING	52	MATERIAL: RANDOM PLANK PANEL MANUFACTURER: LUX COLOUR(S): OBSIDIAN
12	MATERIAL: PRE-FINISHED RAINWARE COLOUR(S): TO MATCH CLADDING	53	MATERIAL: MANUFACTURED STONE CLADDING MANUFACTURER: K2 STONE COLOUR(S): BLACK PEARL LEDGE STONE
20	MATERIAL: PVC WINDOW MANUFACTURER: PLYGEM COLOUR(S): BLACK	54	MATERIAL: BOARD & BATTEN MANUFACTURER: LUX COLOUR(S): GLACIER WHITE
21	MATERIAL: RESIDENTIAL ENTRY DOOR MANUFACTURER: PLYGEM COLOUR(S): WHITE	55	MATERIAL: CHANNEL SIDING MANUFACTURER: LUX COLOUR(S): GLACIER WHITE
22	MATERIAL: RESIDENTIAL PATIO DOOR MANUFACTURER: PLYGEM COLOUR(S): BLACK	56	MATERIAL: CHANNEL SIDING MANUFACTURER: LUX COLOUR(S): SUEDE
23	MATERIAL: DOOR/WINDOW TRIM MANUFACTURER: JAMES HARDIE COLOUR(S): PAINTED TO MATCH CLADDING		



1 FRONT ELEVATION (WEST)
 DP3.1 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION (SOUTH)
 DP3.1 SCALE: 1/4" = 1'-0"

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**ELEVATIONS
 LOT 47**

DRAWN BY: AK
 CHECKED BY: VK

SCALE: As indicated
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ISSUE FOR:
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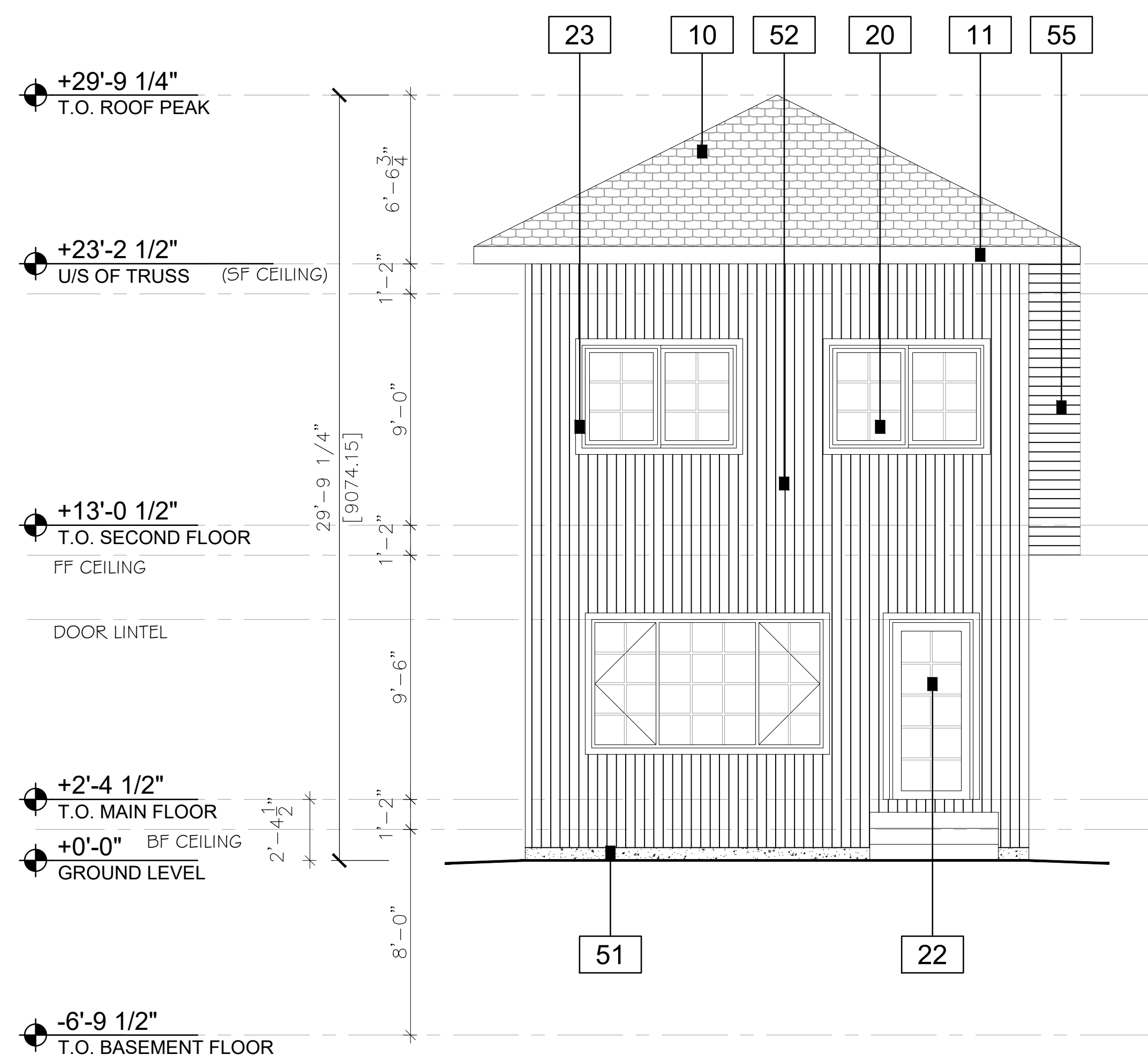
ISSUE DATE:
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REV. NO. SHEET NO.
DP3.1

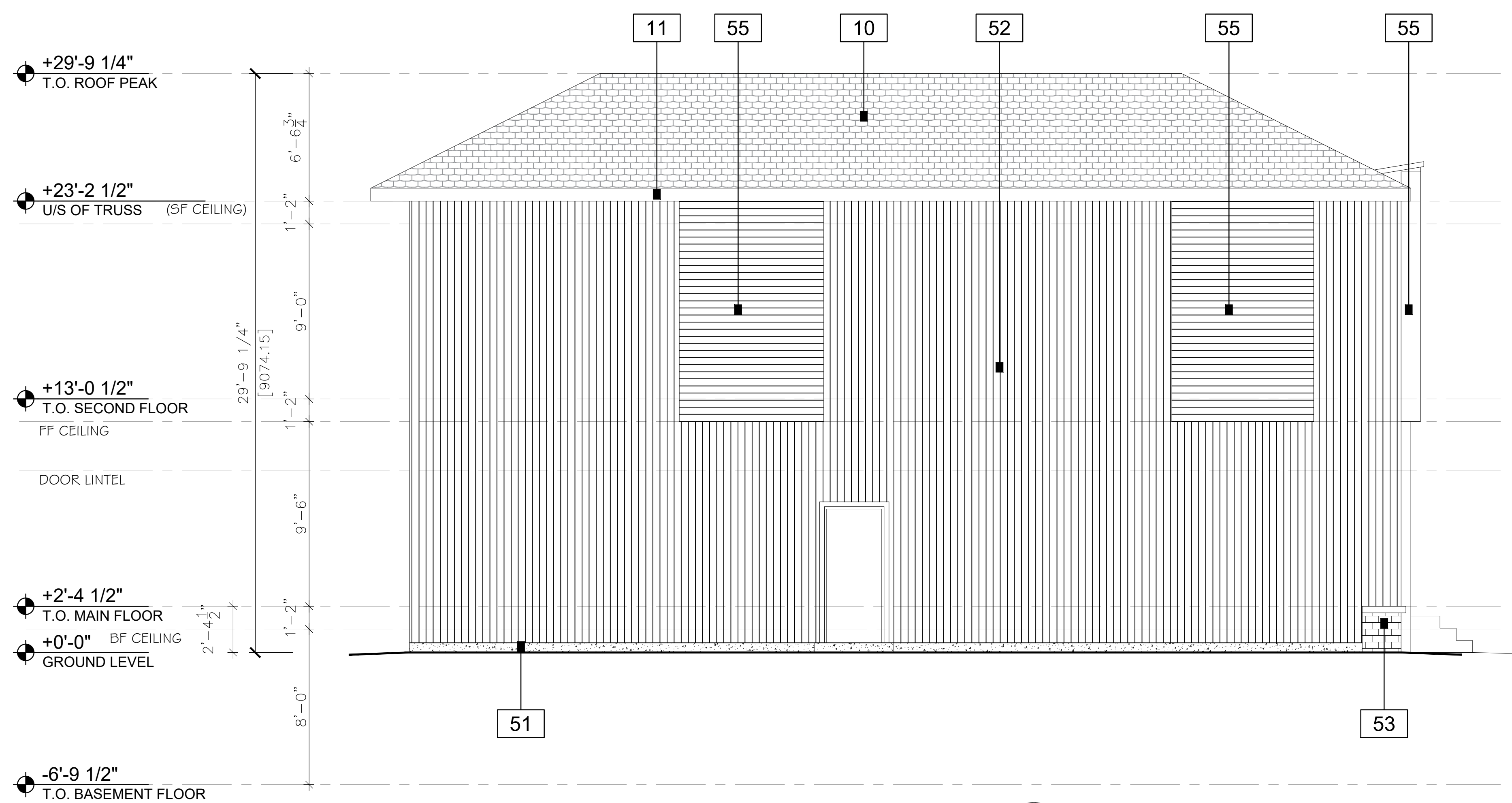
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1 REAR ELEVATION (EAST)
A3.2 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION (NORTH)
A3.2 SCALE: 1/4" = 1'-0"

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LOT 47**

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