

Title Sheet	DP/Architectural - 36"x24"
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Proposed New Project

@

2603 4 Avenue NW

Calgary, AB



DP/Arch Approval Drawings

Not for Construction



DESIGNER:

GAILLIARD DESIGN & PLAN
ARCHITECTURAL DESIGN & PLANNING

CALGARY, ALBERTA
CALL: 403-753-1222
E-MAIL: info@galliarddesignandplan.com
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BUILDER:

TBD

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PROJECT INFO:

PROJECT ADDRESS:

2603 4 Avenue NW

Calgary, AB

LEGAL DESCRIPTION:

Lot 38 Block 9 Plan 7525 GE

PROJECT FILE:

GD/2023-133-00g plan

PROJECT TYPE:

Proposed New Project

BUILDING INFO:

FLOOR PLAN AREAS:

1st FLOOR PLAN	1,682
2nd FLOOR PLAN	1,720
TOTAL	3,402 sq. ft.

GARAGE & BASEMENT AREAS:

CEMENT FINISH	1,160
GARAGE	700

DRAWING INFO:

DP & Arch Approval

Title Sheet

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED AFFECTING ALL UNLABLED SCALES.

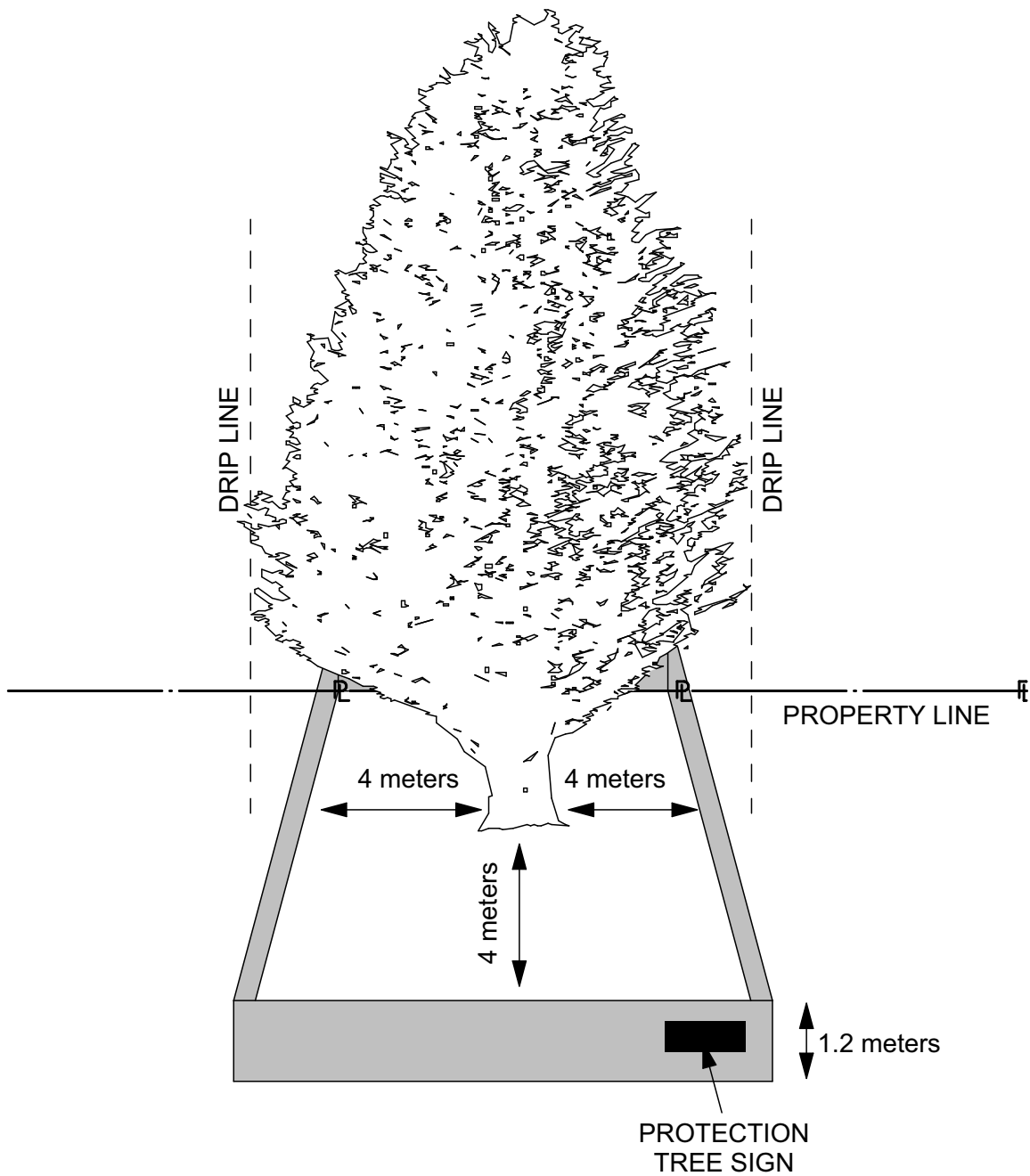
DATE:	05/15/2023
SCALE:	AS NOTED
SHEET SIZE:	36"x24"
DRAWN BY:	TDG

NOTE: ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE INDICATED OTHERWISE.

ARCHITECTURAL PLANS

A:1

PRINTED: Friday, May 12, 2023 - 11:01 AM



TREE PROTECTION FENCE

Details Tree Protection

SCALE: 1:100

LEGEND

Elevations are shown thus: X = 1000.00 Metres. (Geodetic)
Elevations are referred to ASCM 30627 Elev.=1056.75
Distances are in metres and decimals thereof.
Bearings are Grid (31M-114°W) and Derived from GNSS Observations.
Found Iron Posts are shown thus: _____
Drill Holes are shown thus: _____
Found Iron Bars are shown thus: _____
Magnetic Nails are shown thus: _____
Calculation points are shown thus: _____
Fire Hydrants are shown thus: _____
Water Valves are shown thus: _____
Gas Valves are shown thus: _____
Power Poles are shown thus: _____
Manholes are shown thus: _____
Lamp Standards are shown thus: _____
Street Signs are shown thus: _____
Property lines are shown thus: _____
Utility Right of Ways are shown thus: _____
Eaves are shown thus: _____
Fences are shown thus: _____
Streetlight Cables are shown thus: _____
Underground Electrical lines shown thus: _____
Stormline are shown thus: _____
Sanitaryline are shown thus: _____
Combined Storm/Sanitary are shown thus: _____
Telephone Lines are shown thus: _____
Waterline are shown thus: _____
Gasline are shown thus: _____
Overhead Electrical lines shown thus: _____
All fences are within 0.2 metres of the property lines unless otherwise shown.
All eaves are measured to fascia unless otherwise shown.
Unless noted otherwise lines outside of property are not to scale.

NOTE:

Title information is based on the C. of T. 991 127 265 which was searched on the 8th day of April, 2026, and is subject to:
Restrictive Covenant No.: 7845AG
Order No.: 5426I

ABBREVIATIONS

A---Arc Length
Acc---Accessory
A/C---Air Conditioner
Bldg---Building
BOC---Back of Curb
BOW---Back of Walk
Calc---Calculated
Cant---Cantilever
Conc---Concrete
C.S---Countersunk
DH---Drill Hole
Enc---Encroaches
Fd---Found
I---Iron Post
I.B---Iron Bar
LOG---Lip of Gutter
M.A---Maintenance Access
Mk---Mark
M.N---Magnetic Nail
O.D---Overland Drainage
R---Radius
Reg---Registration
Ret---Retaining
R/W---Right of Way
W/O---Walkout Basement
W.W---Window Well

--- denotes Coniferous
--- denotes Deciduous

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height	
1	Deciduous	0.55	8.00	8.00	PROTECTED
2	Deciduous	0.30	5.00	6.00	PROTECTED
3	Deciduous	0.40	6.00	8.00	PROTECTED
4	Deciduous	0.24	5.00	4.00	REMOVE
5	Deciduous	0.48	5.00	7.00	REMOVE
6	Deciduous	0.17	4.00	6.00	REMOVE
7	Deciduous	0.40	6.00	8.00	REMOVE

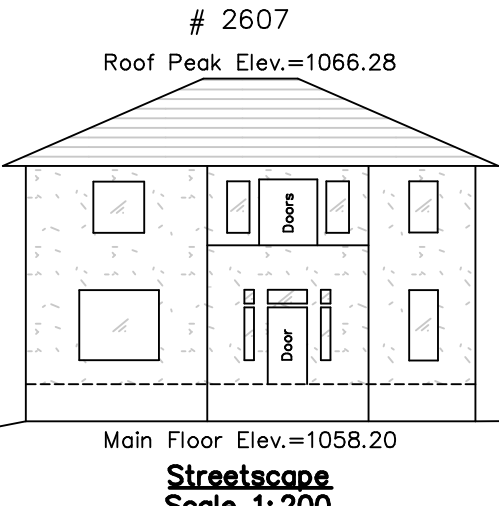
2603



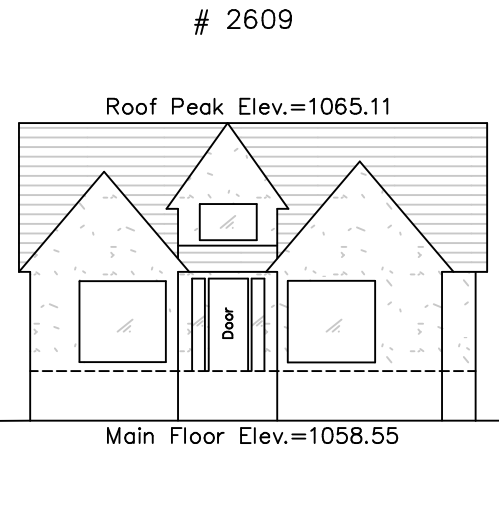
Streetscape - Front

SCALE: 1:200

EXISTING SINGLE FAMILY DWELLING # 2607



EXISTING SINGLE FAMILY DWELLING # 2609



PLOT PLAN LEGEND

PROPERTY LINE
FENCE
CONTOUR LINE & GRADE
SETBACK/RIGHT-AWAY/HARDSCAPE LINE
RIGHT-AWAY
SIDEWALK/VALE
SETBACK
STRUCTURE
STRUCTURE - PROPOSED
STRUCTURE - EXISTING
RETAINING WALL
PARKING - CONCRETE
PARKING - GRAVEL
UTILITY LINE
WATER
SANITARY
STORM
GAS
CABLE
ELECTRICAL-BELOW
ELECTRICAL-ABOVE
DWELLING OUTLINE & OPENING
FOUNDATION
1st FLOOR
2nd FLOOR
3rd FLOOR
ROOF

PROJECT INFO:

PROJECT ADDRESS:
2603 4 Avenue NW
Category: AB

LEGAL DESCRIPTION:

Lot 38 Block 9 Plan 7525 GE

PROJECT FILE:

000703-133-00g.pln

PROJECT TYPE:

Proposed New Project

BUILDING INFO:

FLOOR PLAN AREAS:
1st FLOOR PLAN 1,682
2nd FLOOR PLAN 1,720
TOTAL 3,402

GARAGE & BASEMENT AREAS:

REAR FINISH 1,160
GARAGE 790

DRAWING INFO:

DP & Arch Approval
Site Plan

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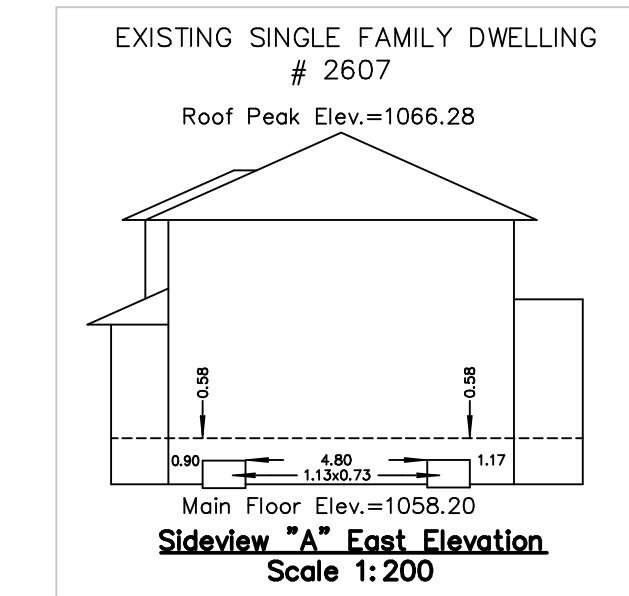
DATE: 5/15/2026
SCALE: AS NOTED
SHEET SIZE: 36"x24"

DRAWN BY: TDG

ARCHITECTURAL PLANS

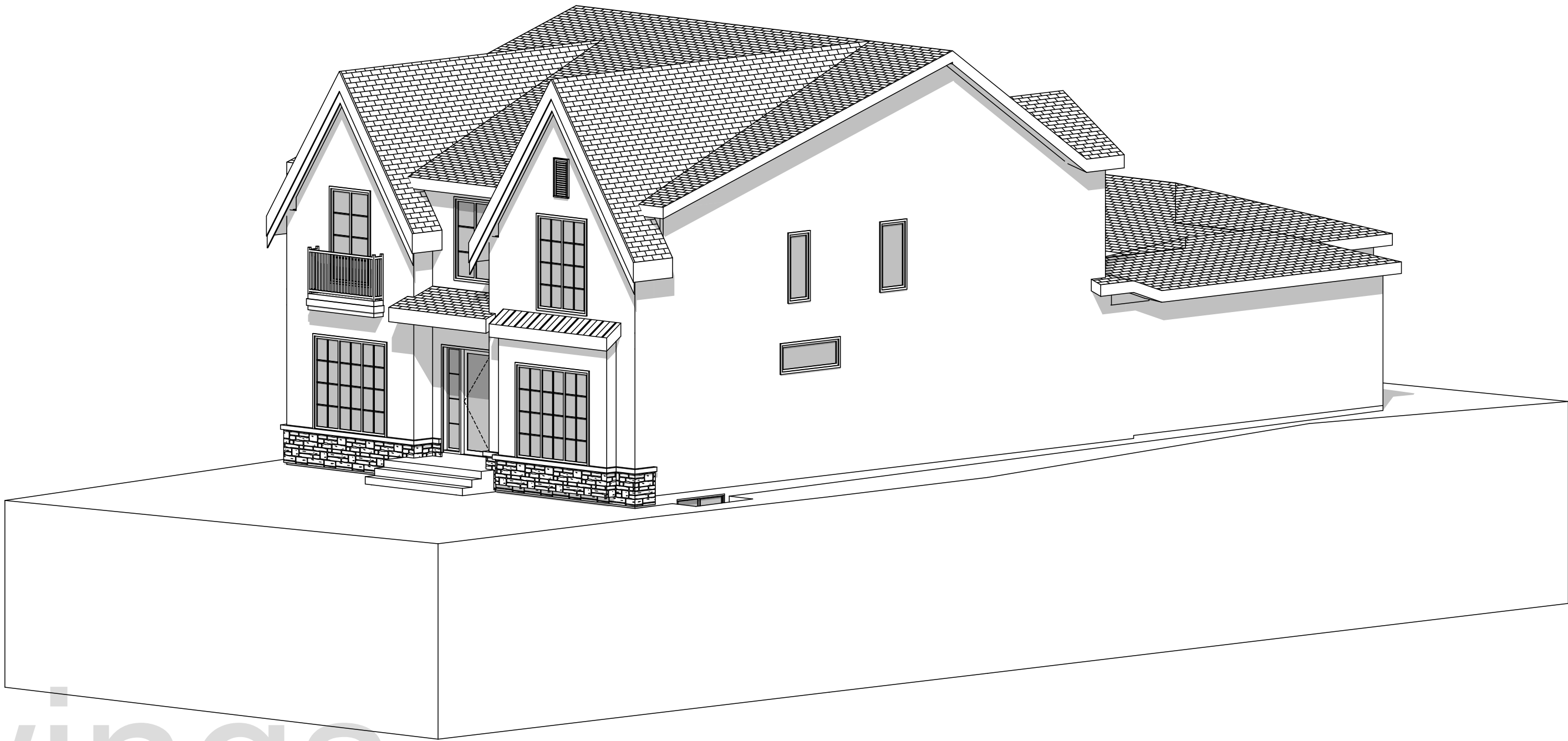
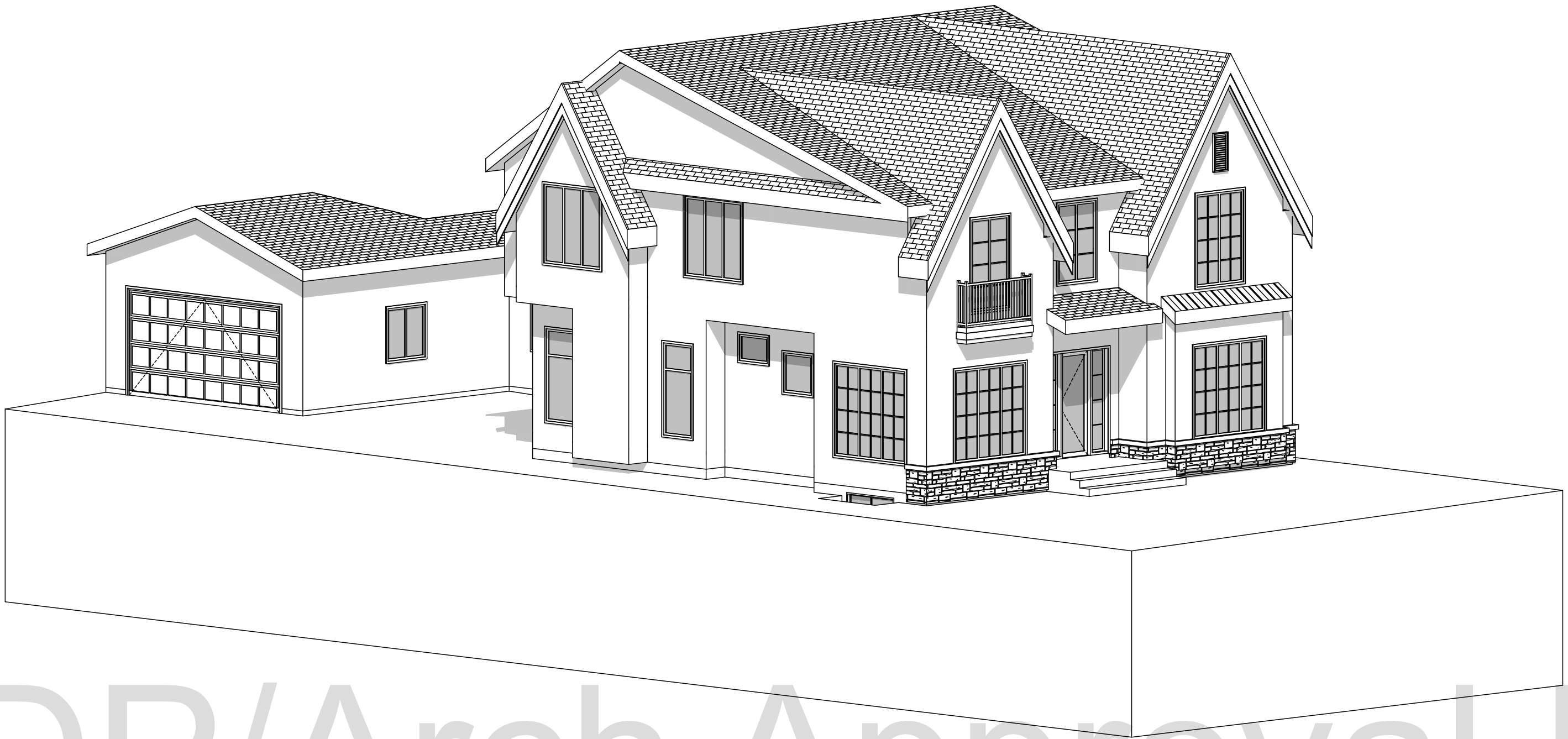
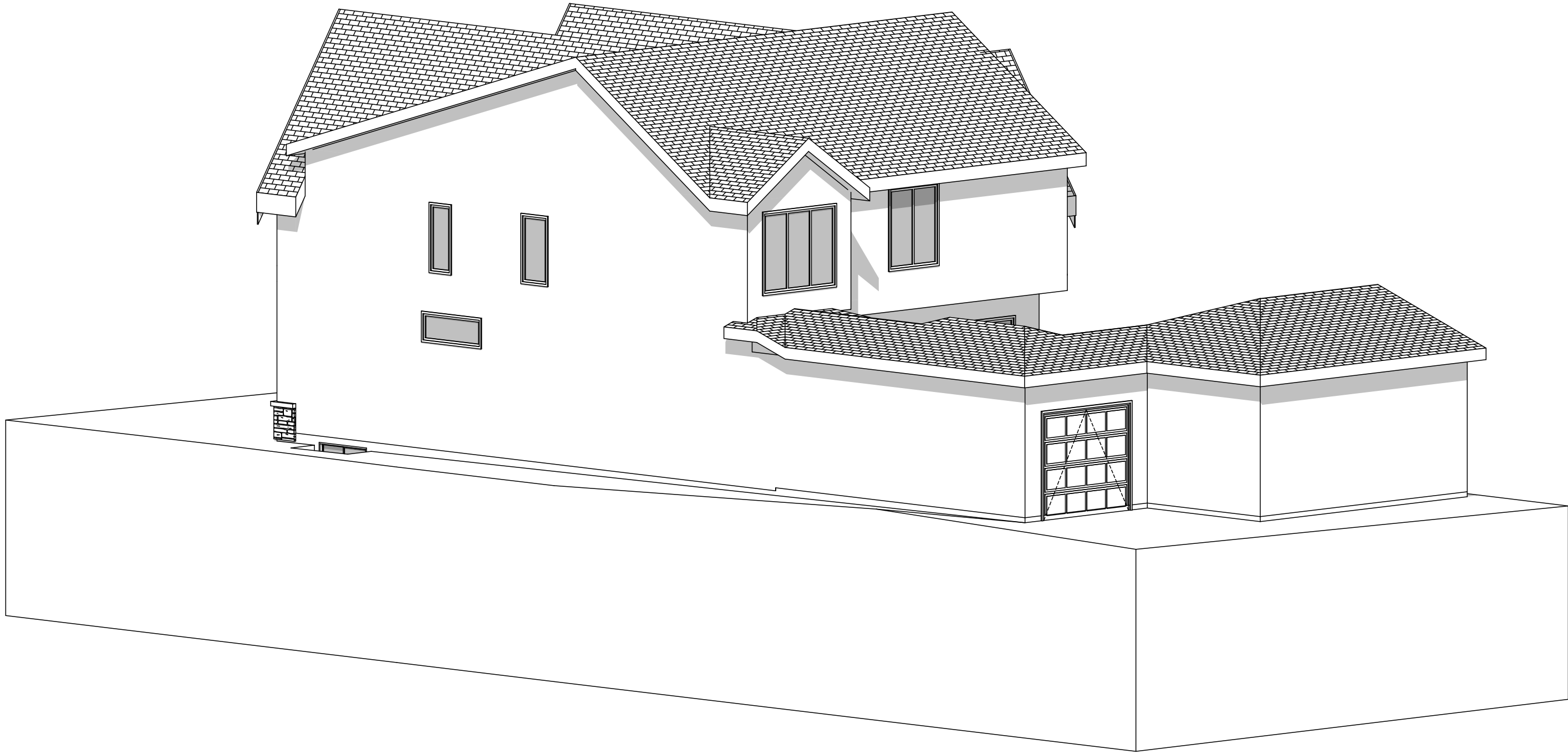
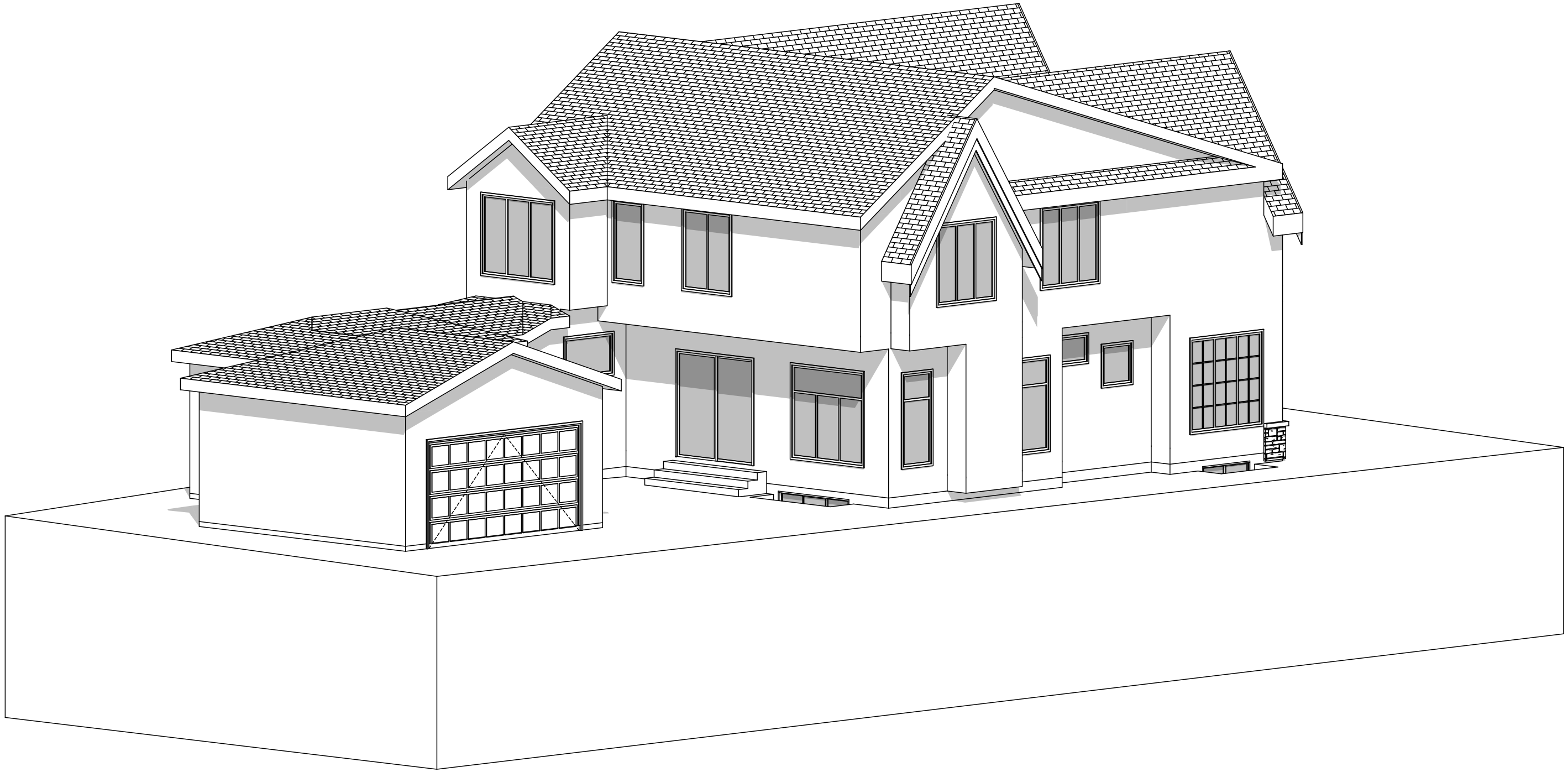
A:2

PRINTED: Friday, May 15, 2026



2D Plan - Block

SCALE: 1:200



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DESIGNER:
TBD

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REAR FINISH	1,160
GARAGE	790

DRAWING INFO:

DP & Arch Approval	
Exterior 3D Model	

1" ACTUAL

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DATE: 5/15/2026

SCALE: AS NOTED

SHEET SIZE: 36"x24"

DRAWN BY: TDG

NOTE: ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE INDICATED OTHERWISE

ARCHITECTURAL PLANS

A:3

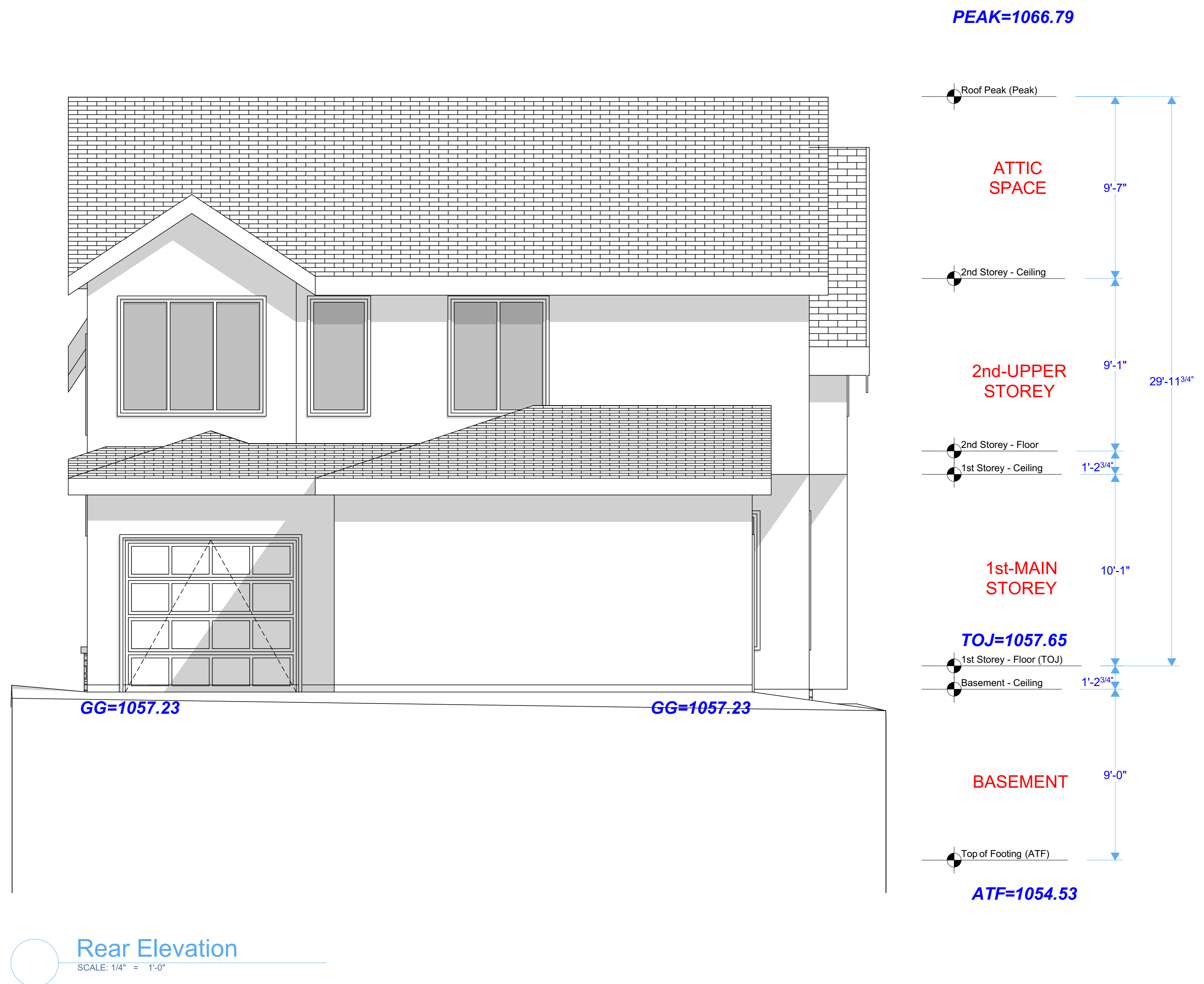
3D Elevations

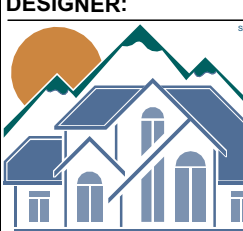
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DP/Arch Approval Drawings

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BUILDER:
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2603 4 Avenue NW
Calgary, AB

LEGAL DESCRIPTION:
Lot 38 Block 9 Plan 7525 GE

PROJECT FILE:
GGP2023-133-00g plan

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DRAWING INFO:

DP & Arch Approval
Exterior Elevations

1" ACTUAL

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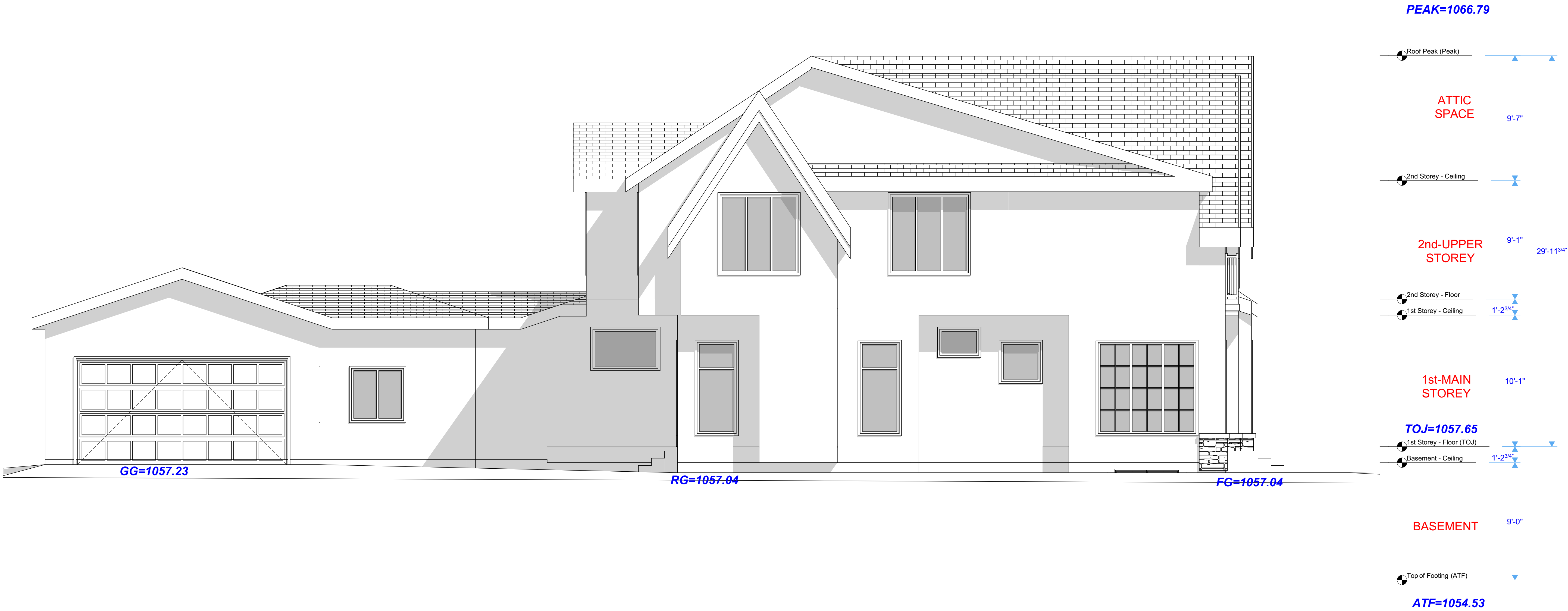
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SCALE:	AS NOTED		
SHEET SIZE:	36"x24"		
DRAWN BY:	TDG		

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ARCHITECTURAL PLANS

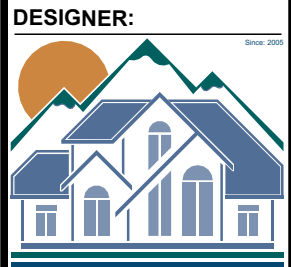
A:5

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Left Elevation
SCALE: 1/4" = 1'-0"

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DP & Arch Approval
Exterior Elevations

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SCALE:	AS NOTED
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DRAWN BY:	TDO

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ARCHITECTURAL PLANS

A:6

Left Elevation

