

Plot Plan

SCALE 1:200

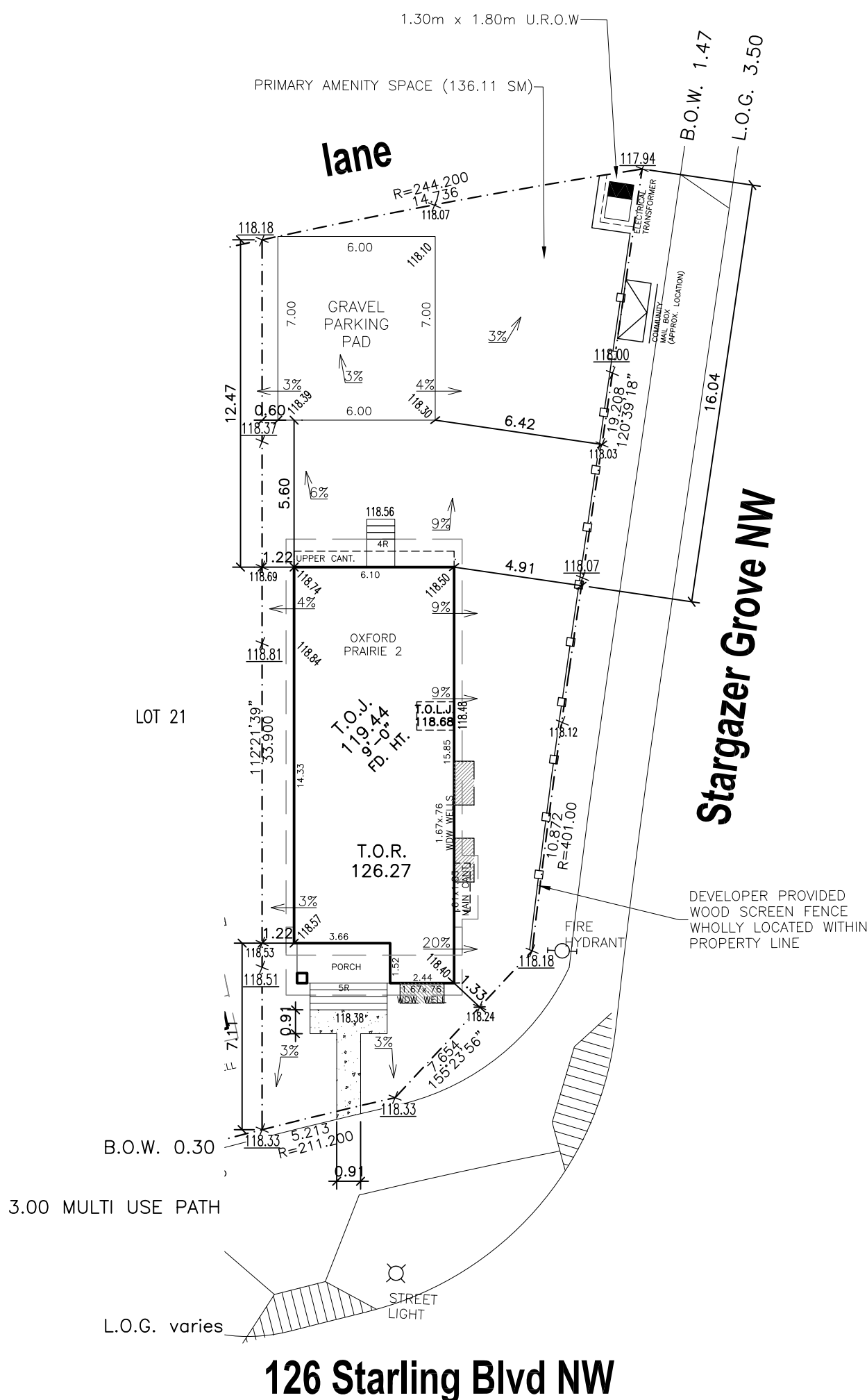
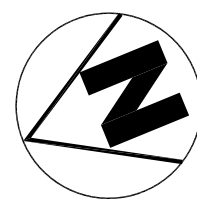
Drawn by: TL

Date: DEC. 23, 2025

JOB# 007022

Starling 2

Oxford
Model: Prairie_B2



CUSTOMER SIGNATURE	DATE	DATE

RETAINING WALL MAY BE REQUIRED WHERE SLOPE EXCEEDS 3:1

ENSURE ADEQUATE DRAINAGE AWAY FROM ALL FOUNDATIONS

BUILDER TO ENSURE FINAL LOT GRADES ARE COMPATIBLE WITH ADJACENT LOTS.

LOT	BLOCK
22	07
PLAN #	
2511146	

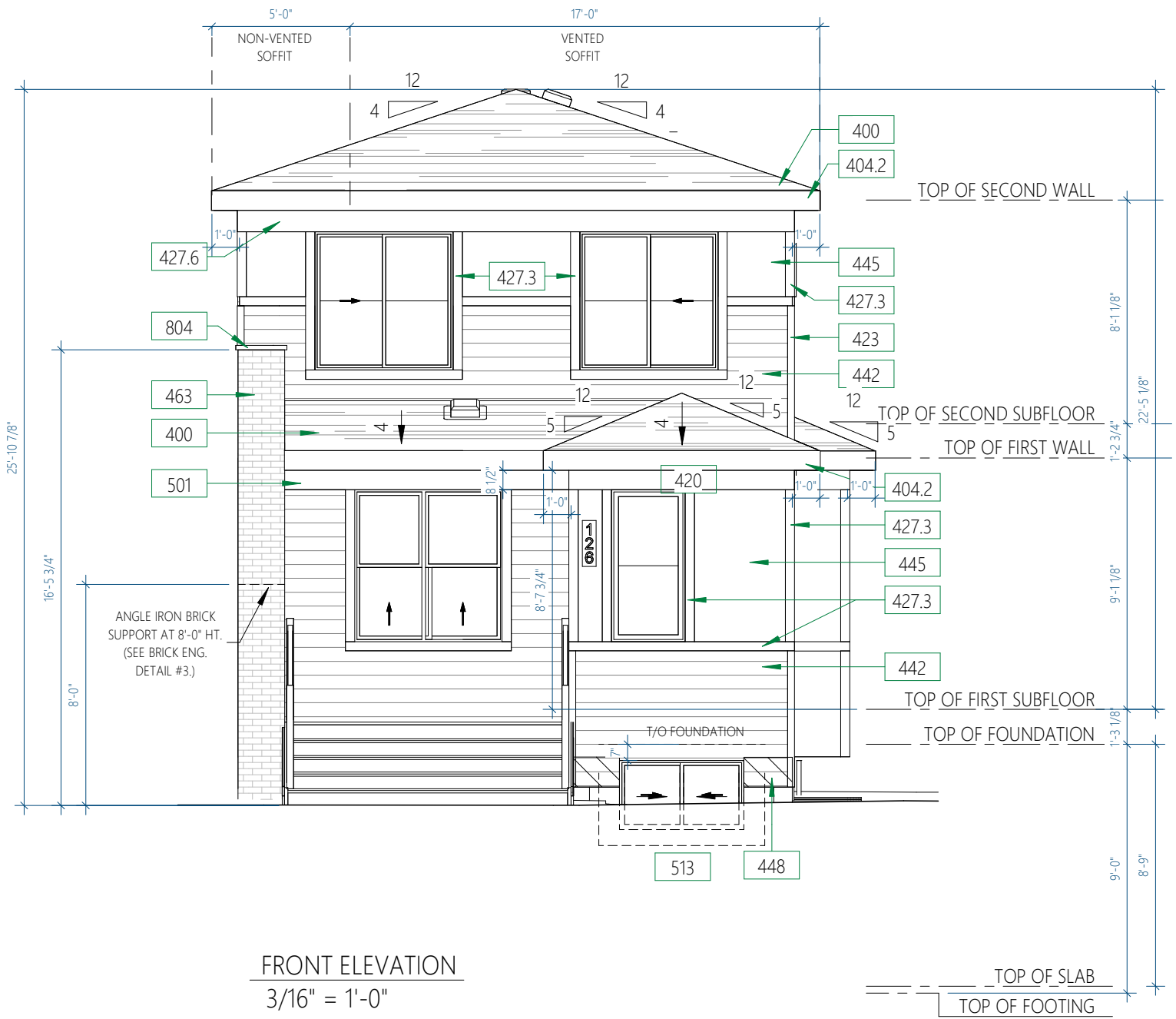
TOJ =	119.44
BOJ =	119.08
MG =	n/a
TOF =	116.34
LTF =	116.33

SANITARY SEWER	115.53
STORM SEWER	115.53
LOT AREA	394.84 SM
SOD AREA:	121.61 SM
LOT COVERAGE	24.47 %
CONCRETE AREA:	59.63 SQFT

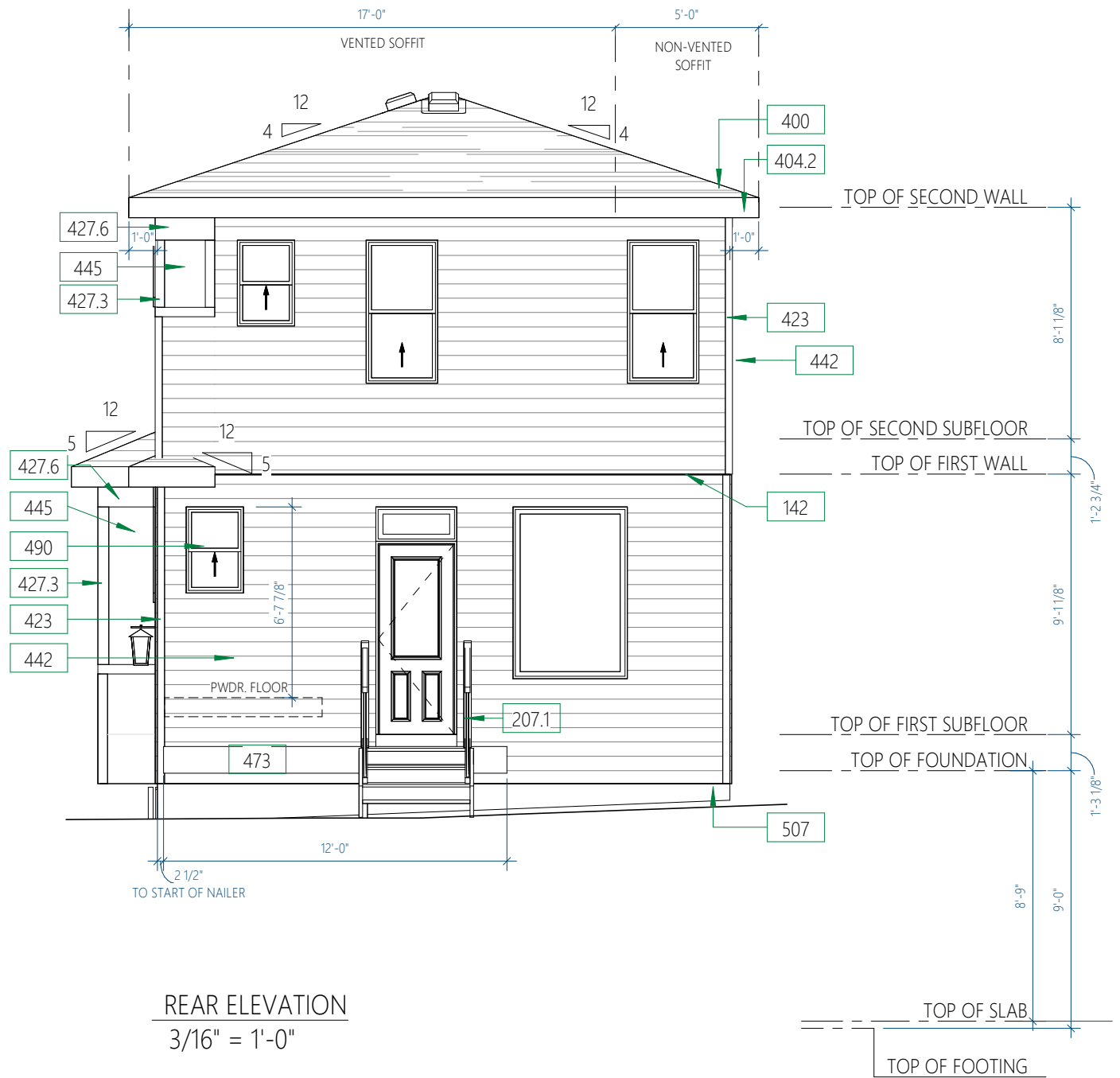
126 Starling Blvd NW

BUILDING AREA : 96.62 SM

Keynote Legend	
Key Value	Keynote Text
142	LINE OF CANTILEVER ABOVE W/ SPRAY FOAM
207.1	ALUMINUM RAILING
400	ASPHALT SHINGLES
404.2	8" ALUMINUM FASCIA
420	TRIM CUT TO FIT
423	3" VINYL CORNERS
427.3	4" WOOD TRIM
427.6	10" WOOD TRIM
442	VINYL SIDING
445	WOOD PANEL W/ WOOD TRIM
448	DROP SIDING ON TREATED NAILERS
463	FULL BRICK
473	2x12 TREATED DECK NAILER
490	OBSCURED GLASS
501	TRIM CLAD BEAM AS PER MANUF. LAYOUTS
507	PARGING NOT TO EXCEED 24"
513	WINDOW WELL AS REQUIRED BY GRADE
804	METAL FLASHING SLOPED MIN. 2% TOWARD PORCH ROOF



FRONT ELEVATION
3/16" = 1'-0"



REAR ELEVATION
3/16" = 1'-0"

ALL FLOOR AREAS ARE CALCULATED USING RECA GUIDELINES

Brookfield Residential

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T: 403.231.8900 F: 403.231.8960
4906 Richard Road SW
Calgary, Alberta T3E 6L1

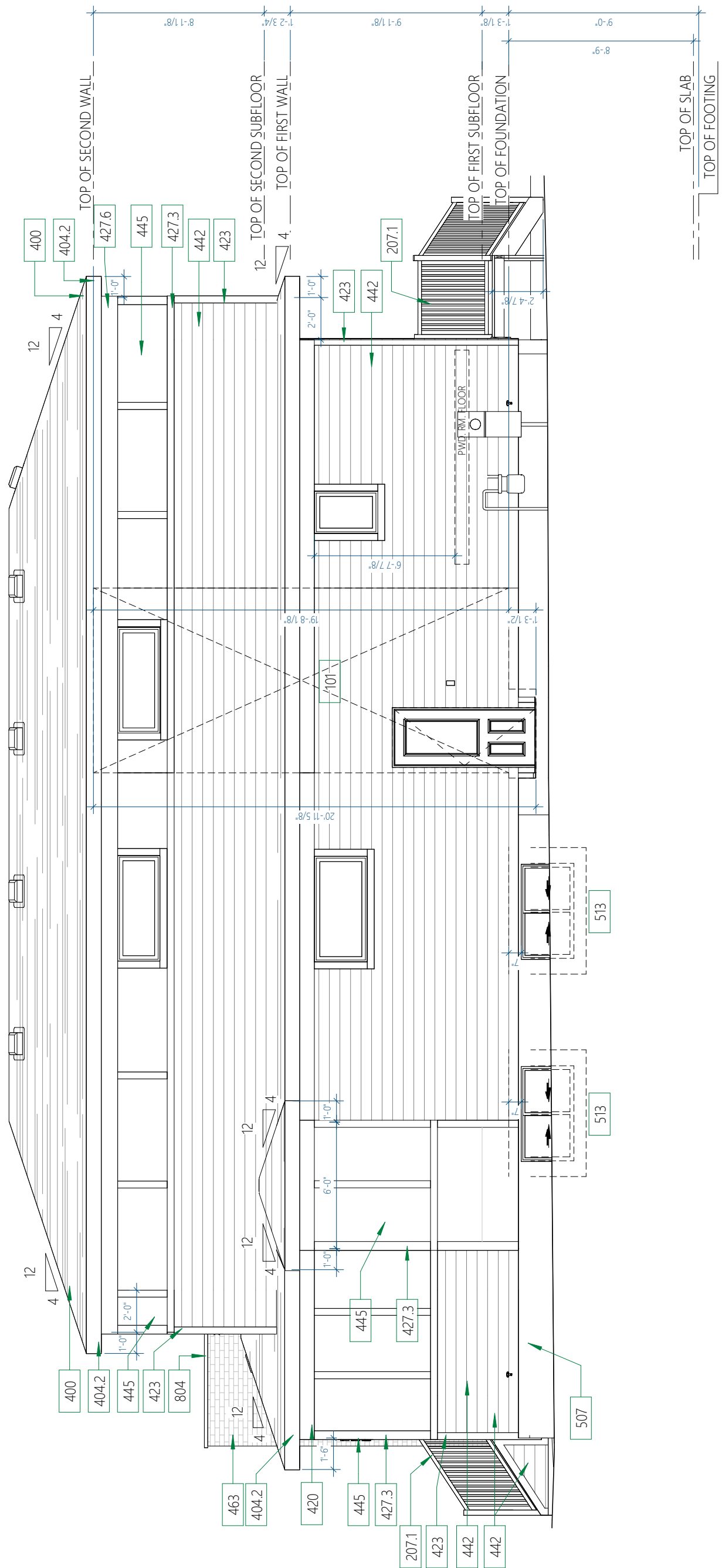
T: 780.990.2700
202, 5103 Windermere Blvd.
Edmonton, AB T6W 0J5

ADDRESS: 126 STARLING BOULEVARD NW
JOB #: 007022
MODEL: OXFORD_YYC
ELEVATION: PRAIRIE 2 'B2'

AREAS	MAIN:	980 sq.ft.	DECK:	16 sq.ft.	SCALE:	AS NOTED
	UPPER:	972 sq.ft.	PORCH:	52 sq.ft.	DRAWN BY:	WM
TOTAL:	1952 sq.ft.	BALCONY:	N/A sq.ft.	Date:	2026-03-13 11:17:47 AM	
BASEMENT:	N/A sq.ft.	GARAGE:	N/A sq.ft.	LOT:	22 BLOCK: 07 PLAN: 2511146	

Page
B2_YYC.07
11

Keynote Legend	
Key Value	Keynote Text
101	TALL WALL (SEE ENG. DETAILS)
207.1	ALUMINUM RAILING
400	ASPHALT SHINGLES
404.2	8" ALUMINUM FASCIA
420	TRIM CUT TO FIT
423	3" VINYL CORNERS
427.3	4" WOOD TRIM
427.6	10" WOOD TRIM
442	VINYL SIDING
445	WOOD PANEL W/ WOOD TRIM
463	FULL BRICK
507	PARGING NOT TO EXCEED 24"
513	WINDOW WELL AS REQUIRED BY GRADE
804	METAL FLASHING SLOPED MIN. 2% TOWARD PORCH ROOF



RIGHT ELEVATION
3/16" = 1'-0"

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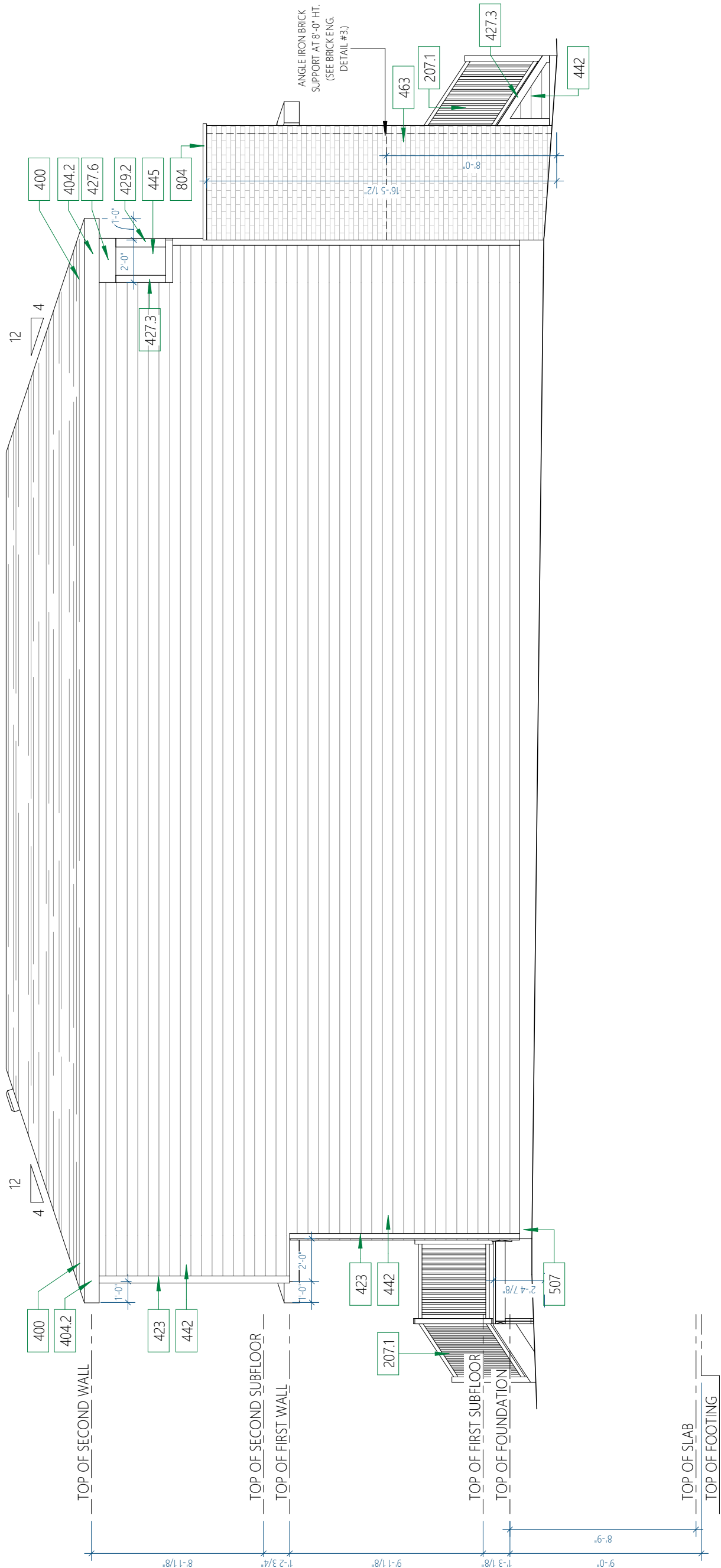
T: 780.990.2700
202, 5103 Windermere Blvd.
Edmonton, AB T6W 0J5

ADDRESS: 126 STARLING BOULEVARD NW
JOB #: 007022
MODEL: OXFORD_YYC
ELEVATION: PRAIRIE 2 'B2'

AREAS	MAIN:	980 sq.ft.	DECK:	16 sq.ft.	SCALE:	AS NOTED
	UPPER:	972 sq.ft.	PORCH:	52 sq.ft.	DRAWN BY:	WM
TOTAL:	1952 sq.ft.	BALCONY:	N/A sq.ft.	Date:	2026-03-13 11:17:48 AM	
BASEMENT:	N/A sq.ft.	GARAGE:	N/A sq.ft.	LOT:	22 BLOCK: 07 PLAN: 2511146	

Page
B2_YYC.08
11

Keynote Legend	
Key Value	Keynote Text
207.1	ALUMINUM RAILING
400	ASPHALT SHINGLES
404.2	8" ALUMINUM FASCIA
423	3" VINYL CORNERS
427.3	4" WOOD TRIM
427.6	10" WOOD TRIM
429.2	4" WOOD CORNERS
442	VINYL SIDING
445	WOOD PANEL W/ WOOD TRIM
463	FULL BRICK
507	PARGING NOT TO EXCEED 24"
804	METAL FLASHING SLOPED MIN. 2% TOWARD PORCH ROOF



LEFT ELEVATION
3/16" = 1'-0"

ALL FLOOR AREAS ARE CALCULATED USING RECA GUIDELINES

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		JOB #: 007022	UPPER: 972 sq.ft. PORCH: 52 sq.ft. DRAWN BY: WM	B2_YYC.09	
		MODEL: OXFORD_YYC	TOTAL: 1952 sq.ft. BALCONY: N/A sq.ft. Date: 2026-03-13 11:17:49 AM		
		ELEVATION: PRAIRIE 2 'B2'	BASEMENT: N/A sq.ft. GARAGE: N/A sq.ft. LOT: 22 BLOCK: 07 PLAN: 2511146	11	