

# This is a **contextual** application

## What's the difference?

The information below came from the Land Use Bylaw, please visit

for more information.



VS.



### Contextual Semi-detached dwellings

These types of homes are classified as a **permitted use** and can only exist in developed areas. A permitted use means the building meets specific **Use Rules** and building design requirements that follow all the Land Use Bylaw rules. Because no relaxations can be requested and the property meets all the criteria, The City and the public **CANNOT** provide comments.

Who can comment on the application:

- The City
- The public

### Semi-detached dwellings

These types of homes are classified as a **discretionary use** in developed areas. Relaxations on Land Use Bylaw Rules can be requested by applicants. A discretionary use means The City and the public **CAN** comment on the use of the building and how the design may impact or align with policies and the community context, i.e. setbacks, height, size, etc.

Who can comment on the application:

- The City
- The public

**Tip:** Anytime you see the word 'contextual,' it will be a permitted use = no comments, no relaxations.

**Contextual Semi-detached** dwellings applications follow a strict set of rules, are restricted in size and placement based on the neighbouring properties and cannot propose any relaxations of the Land Use Bylaw. As part of the application process, The City completes a review on all applications to determine if all the contextual rules are being met.

#### What if the application does not meet the rules?

If the application does not meet the contextual rules, The City informs the applicant that they can change their application to meet the rules or the application will become a discretionary use **Semi-detached** dwellings which would allow The City and the public to comment.



The City has reviewed this application and determined that it meets the contextual rules.

**These plans and renderings are presented on the Development Map for information only without the ability to provide commentary.**

Learn more at:  
**Calgary.ca/development**

# SITE PLAN

## LEGEND

- ELEVATIONS ARE SHOWN THUS:  $\frac{1}{1000.00}$  = 1000.00 METRES. (GEODETIC)  
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM  
 AND ARE DERIVED FROM ASCMS 140368  
 ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.  
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:
- ⊗ ----- denotes Calculation points
  - ⊠ ----- denotes Water Valve
  - ⊡ ----- denotes Gas Valve
  - ⊙ ----- denotes Manhole
  - ⊕ ----- denotes Tree
  - ⊛ ----- denotes Power Pole
  - ⊚ ----- denotes Sign
  - ☀ ----- denotes Light Standard
  - X-X- denotes Fence
  - S- denotes Sanitary Line
  - ST- denotes Storm Line
  - W- denotes Water Line
  - G- denotes Gas Line
  - E- denotes Electrical Line
  - AGT- denotes A.G.T Line
  - URW- denotes Utility Right of Way Line
  - PL- denotes Property Line
  - ⊔ ----- denotes Door
  - ⊖ ----- denotes Main Floor Windows
  - ⊖ ----- denotes Second Floor Windows
  - ⊖ ----- denotes Basement Floor Windows
  - ▨ ----- denotes Shed Hatch
  - ▨ ----- denotes Detached Garage Hatch
  - ▨ ----- denotes Main Building Hatch
  - ▨ ----- denotes Concrete and Asphalt Hatch
  - ▨ ----- denotes Wood Hatch

'Cant.' denotes Cantilevers  
 'Enc.' denotes Encroach(es)  
 'BW' denotes Back of Walkway  
 'BOW' denotes Bottom of Wall  
 'Conc.' denotes Concrete  
 'Ret.' denotes Retaining  
 'BC' denotes Back of Curb  
 'TOW' denotes Top of Wall

**Disclaimer**  
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

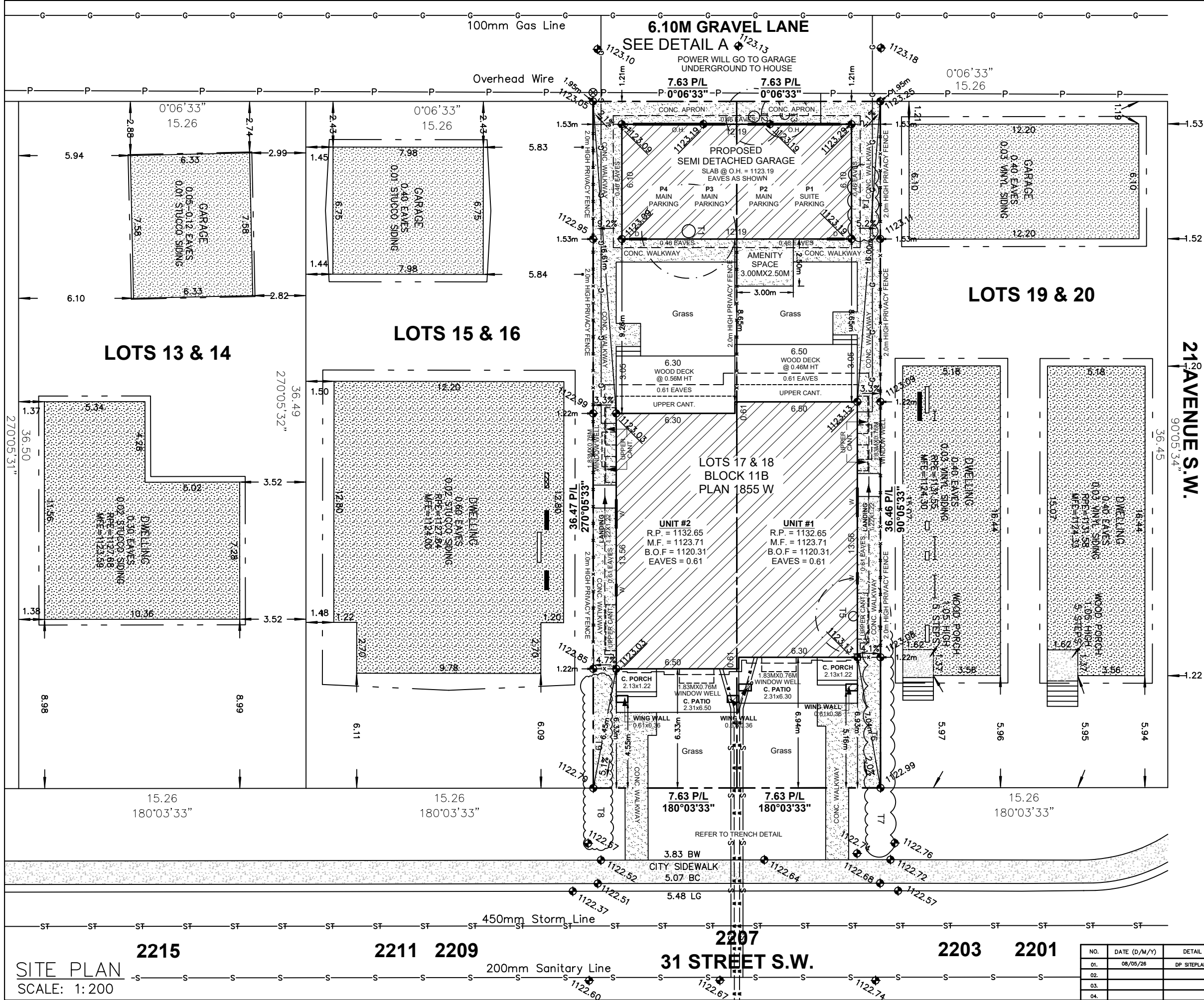
LAND USE: R-CG Residential  
 Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:  
 LOTS 17 & 18  
 BLOCK 11B  
 PLAN 1855 W

MUNICIPAL ADDRESS:  
 2207 31 STREET S.W.  
 Calgary, Alberta

LOT COVERAGE DETAIL: (SINGLE LOT AND HOUSE)	LOT COVERAGE DETAIL: (UNIT #1)	LOT COVERAGE DETAIL: (UNIT #2)
LOT SIZE: 556.007 SQ M HOUSE SIZE: 173.760 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M WING WALL: 0.885 SQ M GARAGE: 74.322 SQ M TOTAL: 248,967/556.007 = 44.78%	LOT SIZE: 277.978 SQ M HOUSE SIZE: 86.880 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M WING WALL: 0.488 SQ M GARAGE: 37.161 SQ M TOTAL: 124,529/277.978 = 44.80%	LOT SIZE: 278.029 SQ M HOUSE SIZE: 86.880 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M WING WALL: 0.397 SQ M GARAGE: 37.161 SQ M TOTAL: 124,438/278.029 = 44.75%

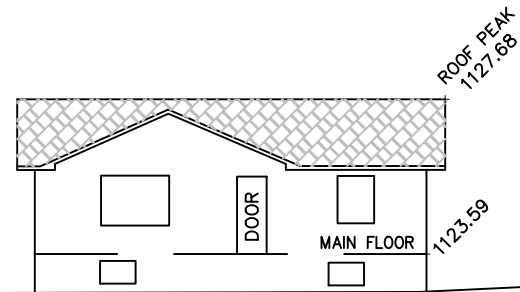


2215  
 SITE PLAN  
 SCALE: 1:200

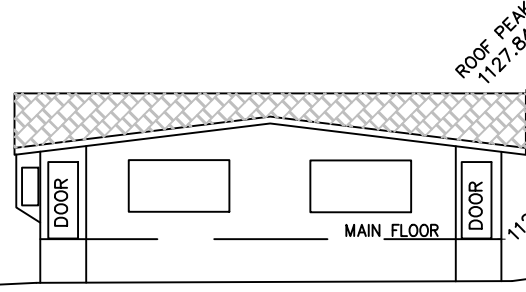
2211 2209  
 2207  
 31 STREET S.W.  
 2203 2201

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	08/05/26	DP SITEPLAN	S.W.	2207 31 STREET S.W. Calgary, Alberta	SEMI DETACHED HOUSE	1:200
02.				Lots 17 & 18 Block 11B Plan 1855 W	DATE:	DIVISION NUMBER
03.					MAY 08, 2026	S 01
04.						

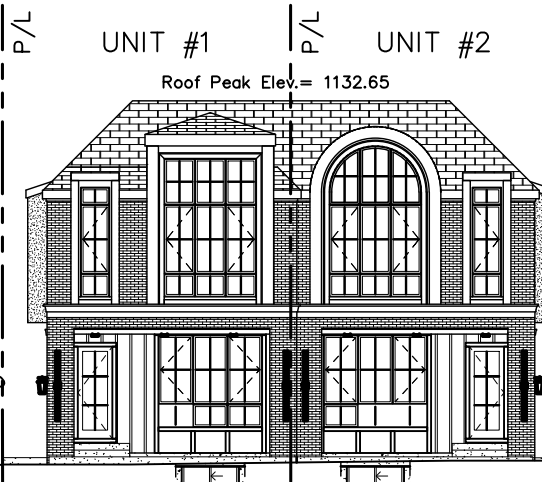
LOT 42  
BLOCK 11B  
PLAN 131 3231



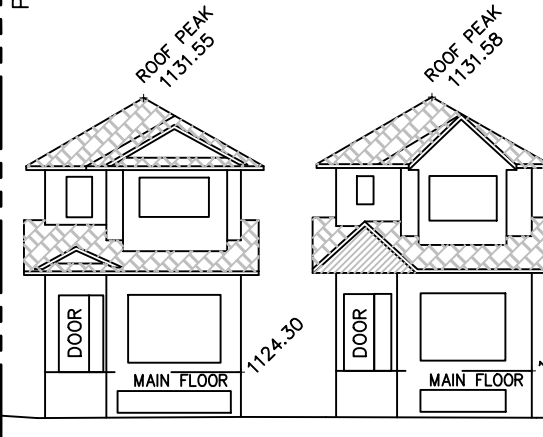
2215 31 STREET S.W.  
(LOTS 13 & 14, BLOCK 11B, PLAN 1855 W)  
FACING 31 STREET S.W.



2211 & 2209 31 STREET S.W.  
(LOTS 15 & 16, BLOCK 11B, PLAN 1855 W)  
FACING 31 STREET S.W.



2207 31 STREET S.W.  
(LOTS 17 & 18, BLOCK 11B, PLAN 1855 W)  
FACING 31 STREET S.W.



2203 & 2201 31 STREET S.W.  
(LOTS 19 & 20, BLOCK 11B, PLAN 1855 W)  
FACING 31 STREET S.W.

21 AVENUE S.W.

STREETSCAPE

SCALE: 1:200

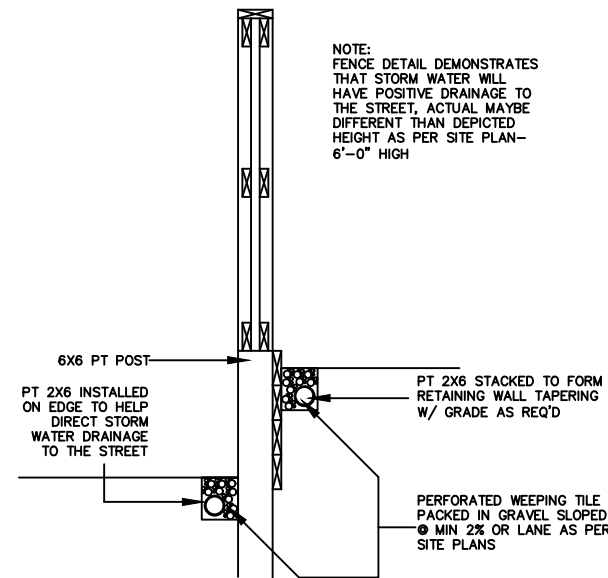
EAST STREETSCAPE

TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Disposition
T1	Deciduous	0.70	5.00	4.00	In Subject Property	To be Removed
T2	Deciduous	0.60	3.00	4.00	In Subject Property	To be Removed
T3	Deciduous	0.50	2.50	4.00	In Subject Property	To be Removed
T4	Hedge	-	1.50	1.80	In Subject Property	To be Removed
T5	Deciduous	0.50	4.00	3.00	In Subject Property	To be Removed
T6	Hedge	-	1.50	1.50	On Property Line	To Stay
T7	Hedge	-	1.50	1.50	In City Property	To Stay
T8	Hedge	-	1.50	1.50	In City Property	To Stay
T9	Hedge	-	1.50	1.50	On Property Line	To Stay

SEMI DETACHED SQFT:

	UNIT #1	UNIT #2
BASEMENT	935.17 SQ FT	935.17 SQ FT
MAIN FLOOR	935.17 SQ FT	935.17 SQ FT
UPPER FLOOR	1033.00 SQ FT	1033.00 SQ FT
TOTAL AREA	1968.17 SQ FT	1968.17 SQ FT

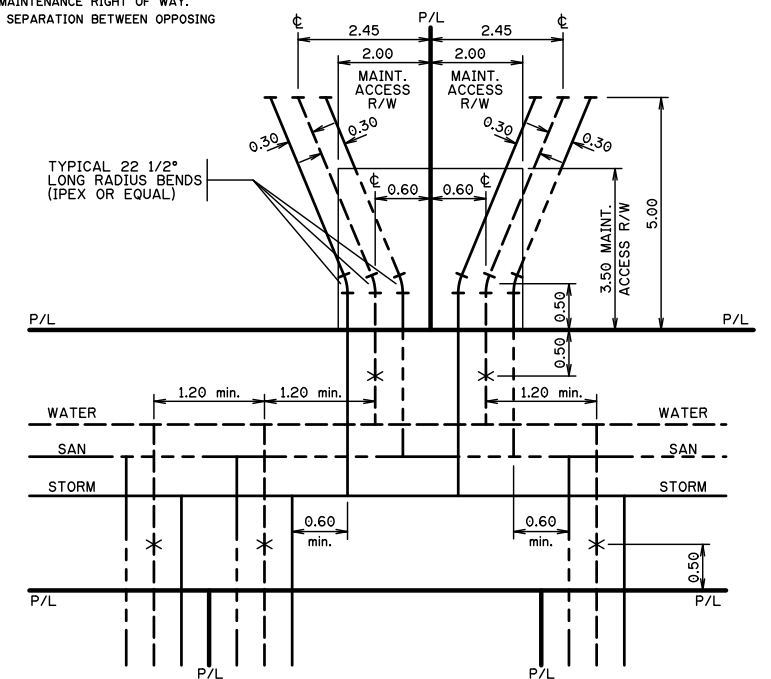


FENCE SECTION DETAIL

SCALE: NTS

NOTES:

- A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
- DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
- SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
- THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
- DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
- WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
- THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22 1/2 DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
- WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



TRENCH DETAIL

SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	08/05/26	DP SITEPLAN	S.W.	2207 31 STREET S.W. Calgary, Alberta	SEMI DETACHED HOUSE	AS SHOWN
02.				Lots 17 & 18 Block 11B		
03.				Plan 1855 W		
04.						
					DATE:	DIVISION NUMBER
					MAY 08, 2026	S 02



**FLOOR AREA - UNIT #1**  
 BASEMENT = 935.17 SQ. FT.  
 MAIN = 935.17 SQ. FT.  
 UPPER = 1033.00 SQ. FT.  
 TOTAL = 1968.17 SQ. FT.

**FLOOR AREA - UNIT #2**  
 BASEMENT = 935.17 SQ. FT.  
 MAIN = 935.17 SQ. FT.  
 UPPER = 1033.00 SQ. FT.  
 TOTAL = 1968.17 SQ. FT.

### LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Section

PROJECT NOTES:

DO NOT SCALE DRAWINGS.  
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.  
 CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

### ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	11/05/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



COPYRIGHT:  
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:  
 X \_\_\_\_\_

PRINTED: 2026-05-11 11:01:42 AM

PROJECT NAME:  
 2207 - 31 ST SW  
 CALGARY, ALBERTA

DESIGNER: JT JOB #: #269-26

SCALE: AS SHOWN SHEET: A-0.0



**EXTERIOR FINISHES:**

- |   |                         |   |                                   |
|---|-------------------------|---|-----------------------------------|
| 1 | ASPHALT SHINGLES        | 5 | BOARD & BATTEN - DARK GRAY/BLACK  |
| 2 | 8" ALUMNIMUM FASCIA     | 6 | VERTICAL SIDING - DARK GRAY/BLACK |
| 3 | STUCCO FINISHES - WHITE | 7 | CONC. PARGING                     |
| 4 | BRICK FINISH - WHITE    | 8 | CAST IN PLACE CONCRETE            |

**VENTED SOFFIT NOTES:**

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

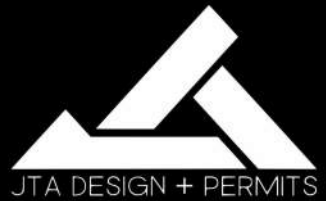
PROJECT NOTES:

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.  
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	11/05/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



**COPYRIGHT:**  
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: **SEMI DETACHED**

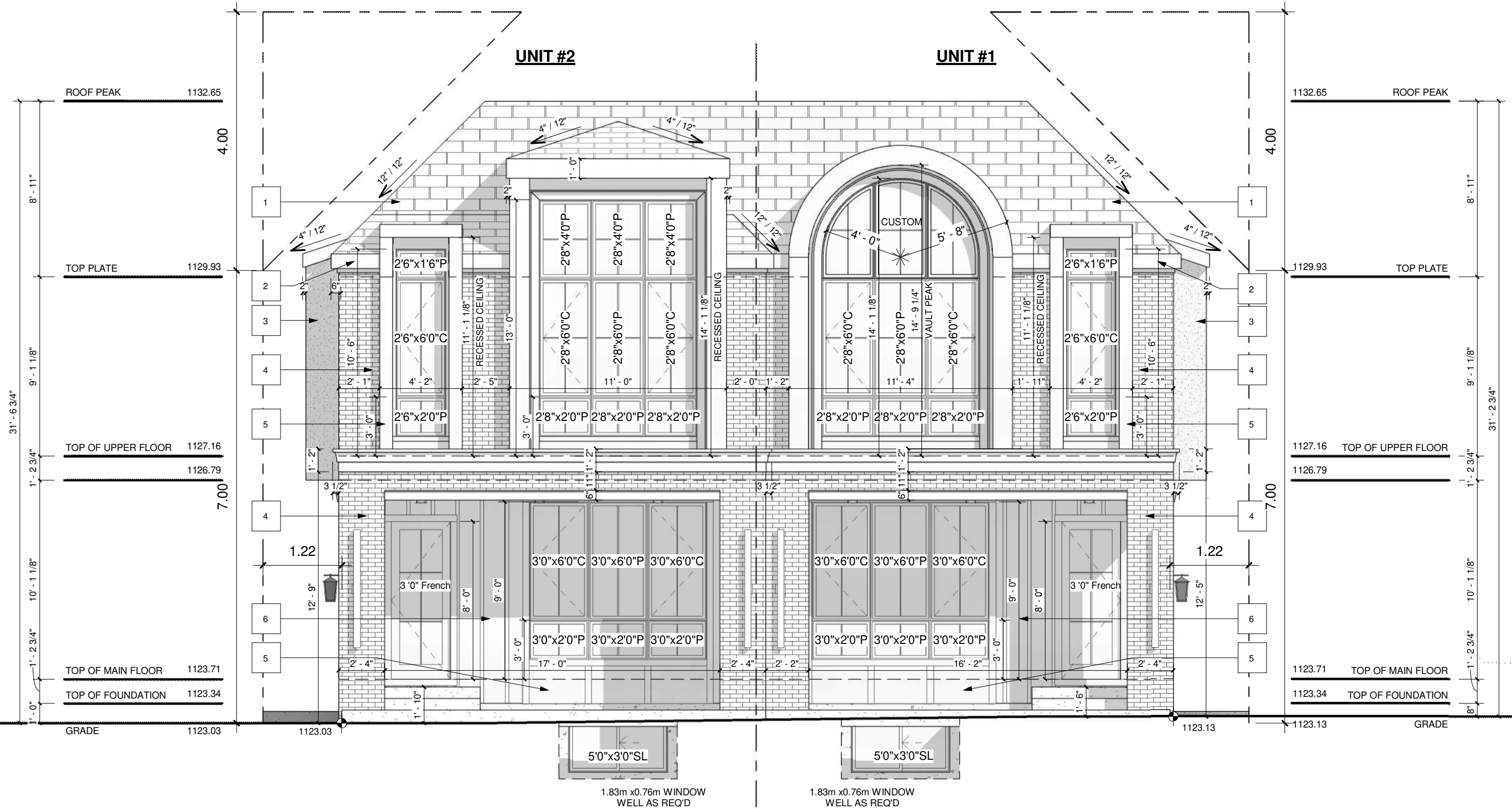
STATUS: -  
SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-05-11 11:01:47 AM

PROJECT NAME:  
2207 - 31 ST SW  
CALGARY, ALBERTA

DESIGNER: JT      JOB #: #269-26

SCALE: AS SHOWN      SHEET: A-2.0



**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- |   |                         |   |                                   |
|---|-------------------------|---|-----------------------------------|
| 1 | ASPHALT SHINGLES        | 5 | BOARD & BATTEN - DARK GRAY/BLACK  |
| 2 | 8" ALUMNIMUM FASCIA     | 6 | VERTICAL SIDING - DARK GRAY/BLACK |
| 3 | STUCCO FINISHES - WHITE | 7 | CONC. PARGING                     |
| 4 | BRICK FINISH - WHITE    | 8 | CAST IN PLACE CONCRETE            |

**VENTED SOFFIT NOTES:**

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

PROJECT NOTES:

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.  
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	11/05/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



**COPYRIGHT:**  
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: **SEMI DETACHED**

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-05-11 11:01:48 AM

PROJECT NAME:  
2207 - 31 ST SW  
CALGARY, ALBERTA

DESIGNER: JT      JOB #: #269-26

SCALE: AS SHOWN      SHEET: A-2.1



**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- |                           |                                     |
|---------------------------|-------------------------------------|
| 1 ASPHALT SHINGLES        | 5 BOARD & BATTEN - DARK GRAY/BLACK  |
| 2 8" ALUMNIMUM FASCIA     | 6 VERTICAL SIDING - DARK GRAY/BLACK |
| 3 STUCCO FINISHES - WHITE | 7 CONC. PARGING                     |
| 4 BRICK FINISH - WHITE    | 8 CAST IN PLACE CONCRETE            |

**WINDOW CALCULATION**  
 WALL AREA= 1042.18 SQ. FT.  
 WINDOW AREA = 65.50 SQ. FT.  
 TOTAL: 65.50 / 1042.18 = 6.28%

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)

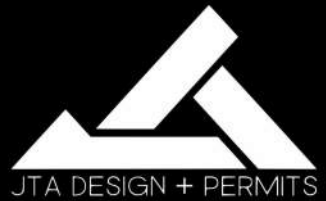
PROJECT NOTES:

DO NOT SCALE DRAWINGS.  
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.  
 CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	11/05/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



**COPYRIGHT:**  
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: **SEMI DETACHED**

STATUS: -

SIGNATURES:  
 X \_\_\_\_\_

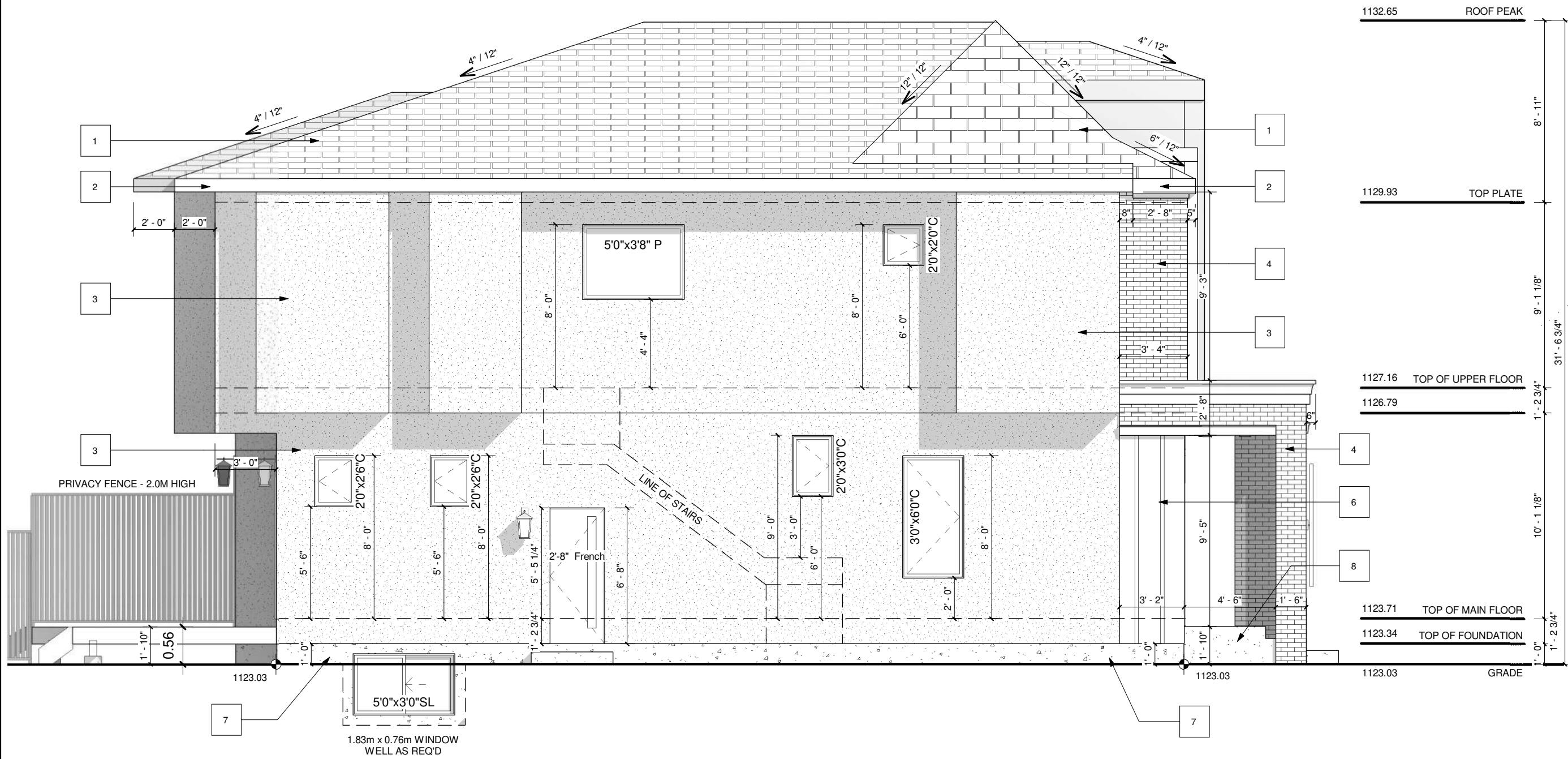
PRINTED: 2026-05-11 11:01:50 AM

PROJECT NAME:  
 2207 - 31 ST SW  
 CALGARY, ALBERTA

DESIGNER: JT JOB #: #269-26

SCALE: AS SHOWN SHEET: A-2.2

**UNIT #2**



**LEFT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- |                           |                                     |
|---------------------------|-------------------------------------|
| 1 ASPHALT SHINGLES        | 5 BOARD & BATTEN - DARK GRAY/BLACK  |
| 2 8" ALUMNIMUM FASCIA     | 6 VERTICAL SIDING - DARK GRAY/BLACK |
| 3 STUCCO FINISHES - WHITE | 7 CONC. PARGING                     |
| 4 BRICK FINISH - WHITE    | 8 CAST IN PLACE CONCRETE            |

**WINDOW CALCULATION**  
 WALL AREA= 1042.18 SQ. FT.  
 WINDOW AREA = 65.50 SQ. FT.  
 TOTAL: 65.50 / 1042.18 = 6.28%

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)

PROJECT NOTES:

DO NOT SCALE DRAWINGS.  
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.  
 CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	11/05/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



**COPYRIGHT:**  
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:  
 X \_\_\_\_\_

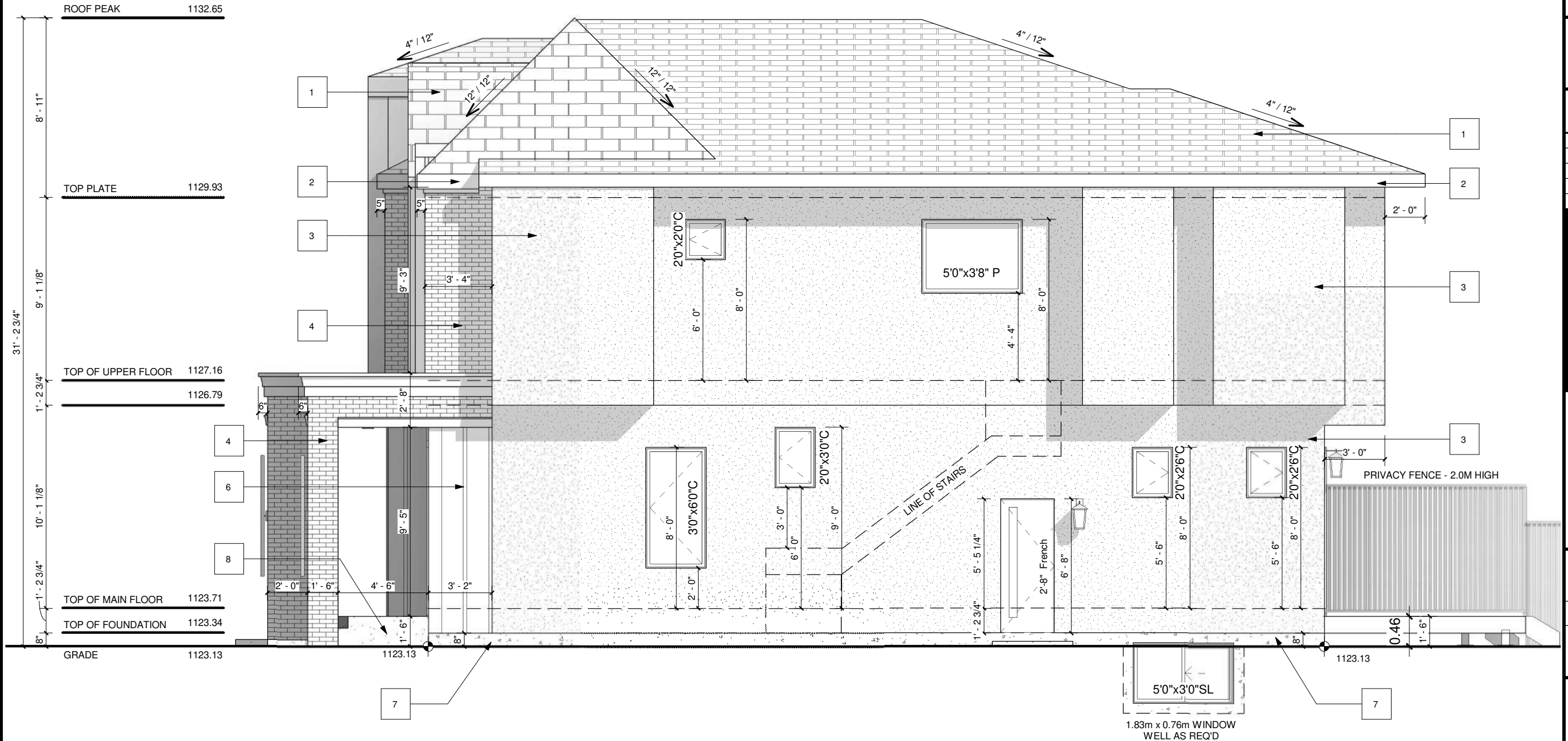
PRINTED: 2026-05-11 11:01:52 AM

PROJECT NAME:  
 2207 - 31 ST SW  
 CALGARY, ALBERTA

DESIGNER: JT JOB #: #269-26

SCALE: AS SHOWN SHEET: A-2.3

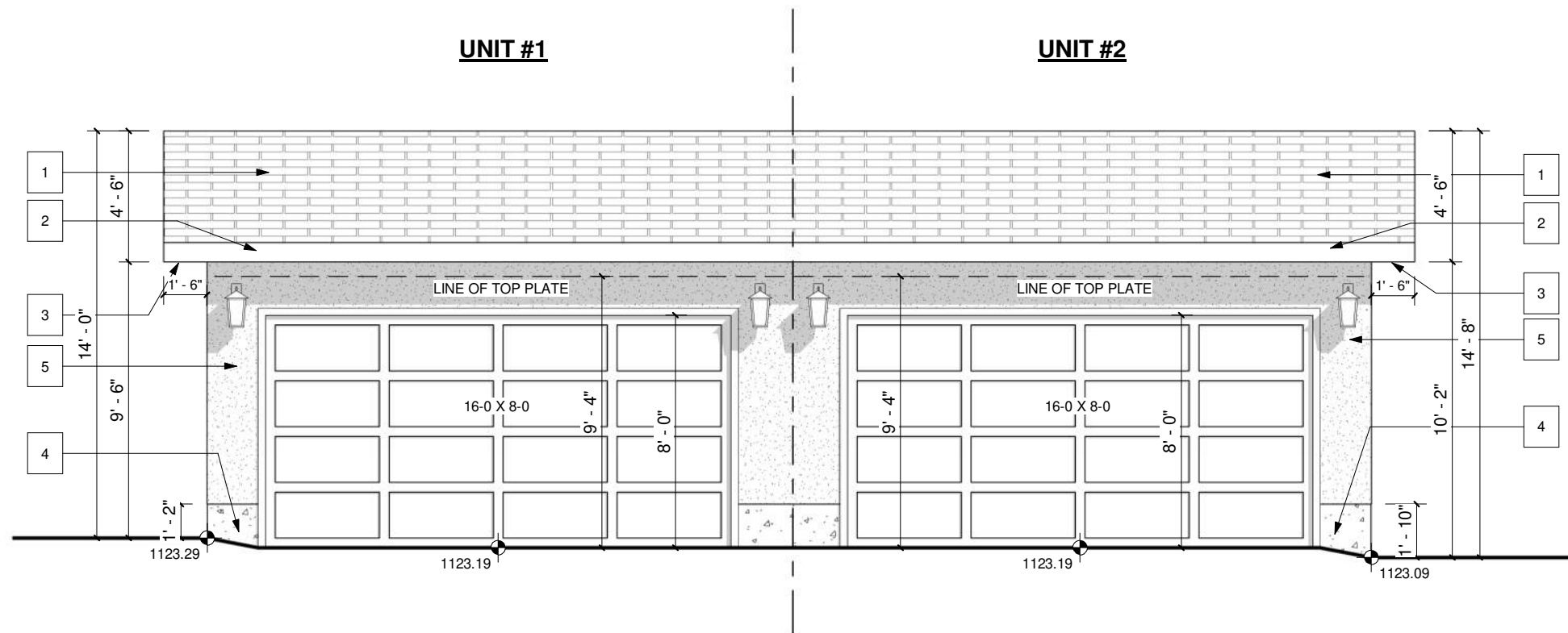
**UNIT #1**



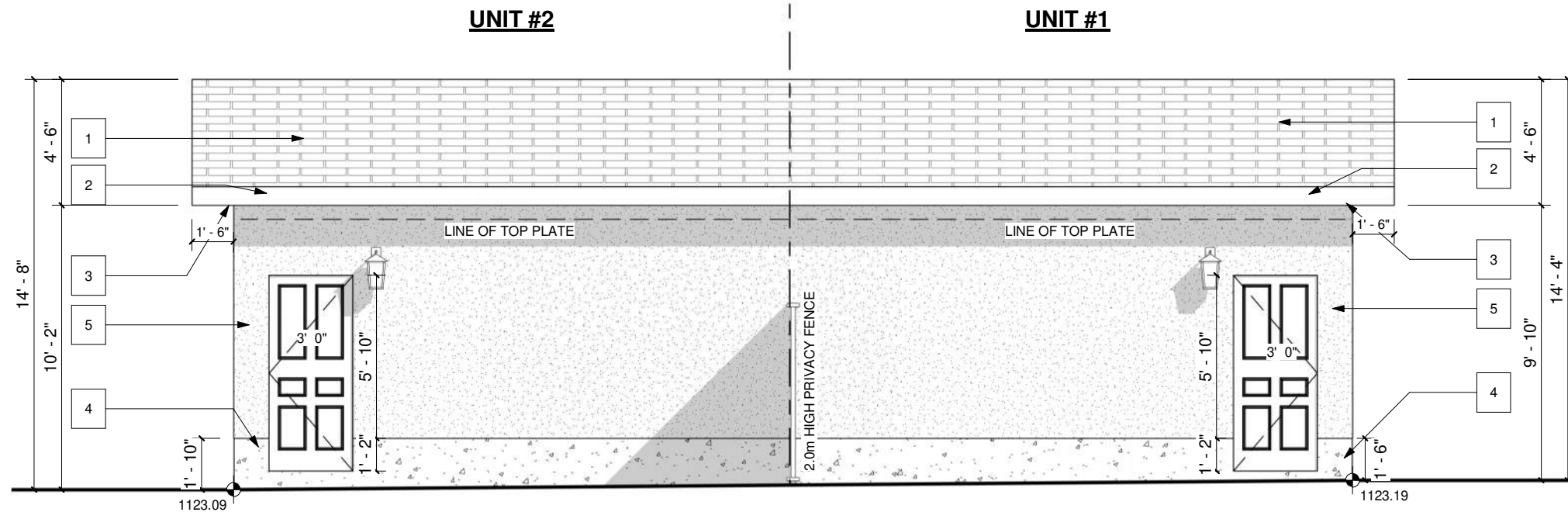
**RIGHT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 8" ALUMINUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PAVING
- 5 STUCCO FINISH



**GARAGE FRONT - BACK LANE**  
SCALE: 3/16" = 1'-0"



**GARAGE REAR**  
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.  
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	11/05/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



COPYRIGHT:  
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-05-11 11:01:53 AM

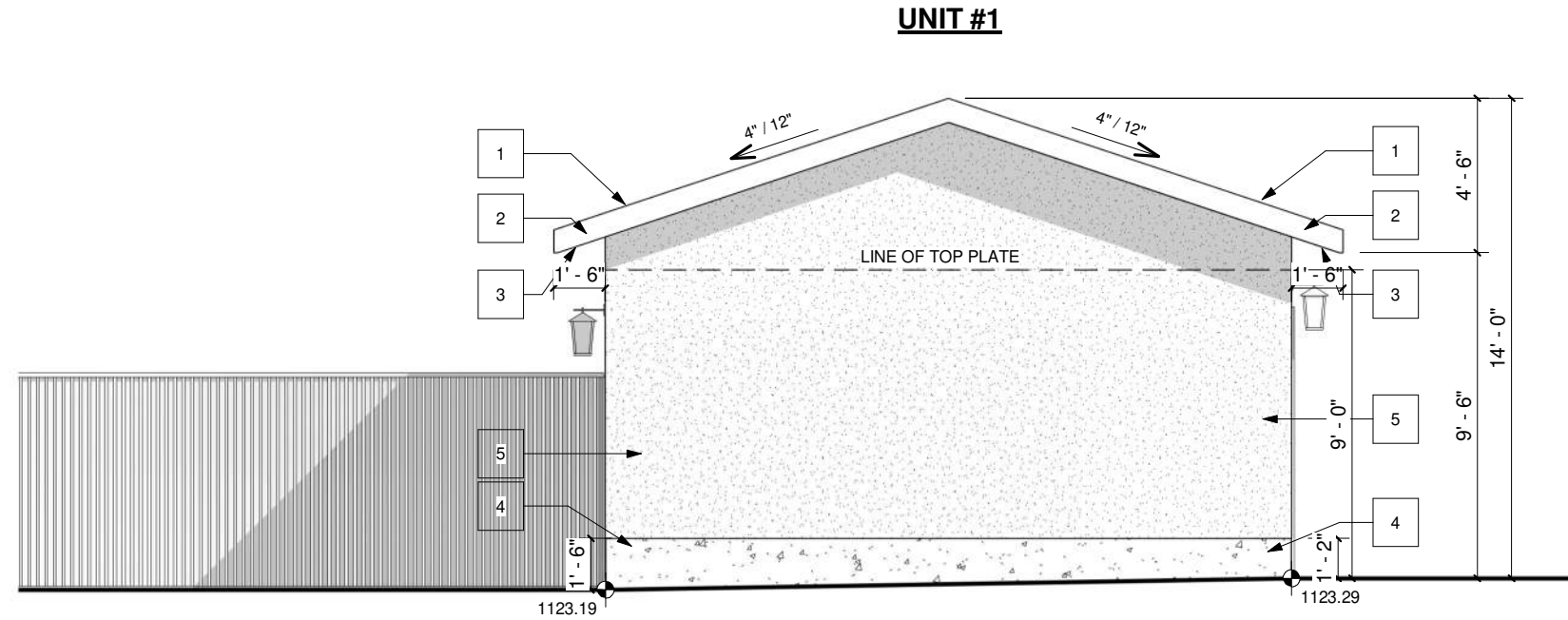
PROJECT NAME:  
2207 - 31 ST SW  
CALGARY, ALBERTA

DESIGNER: JT JOB #: #269-26

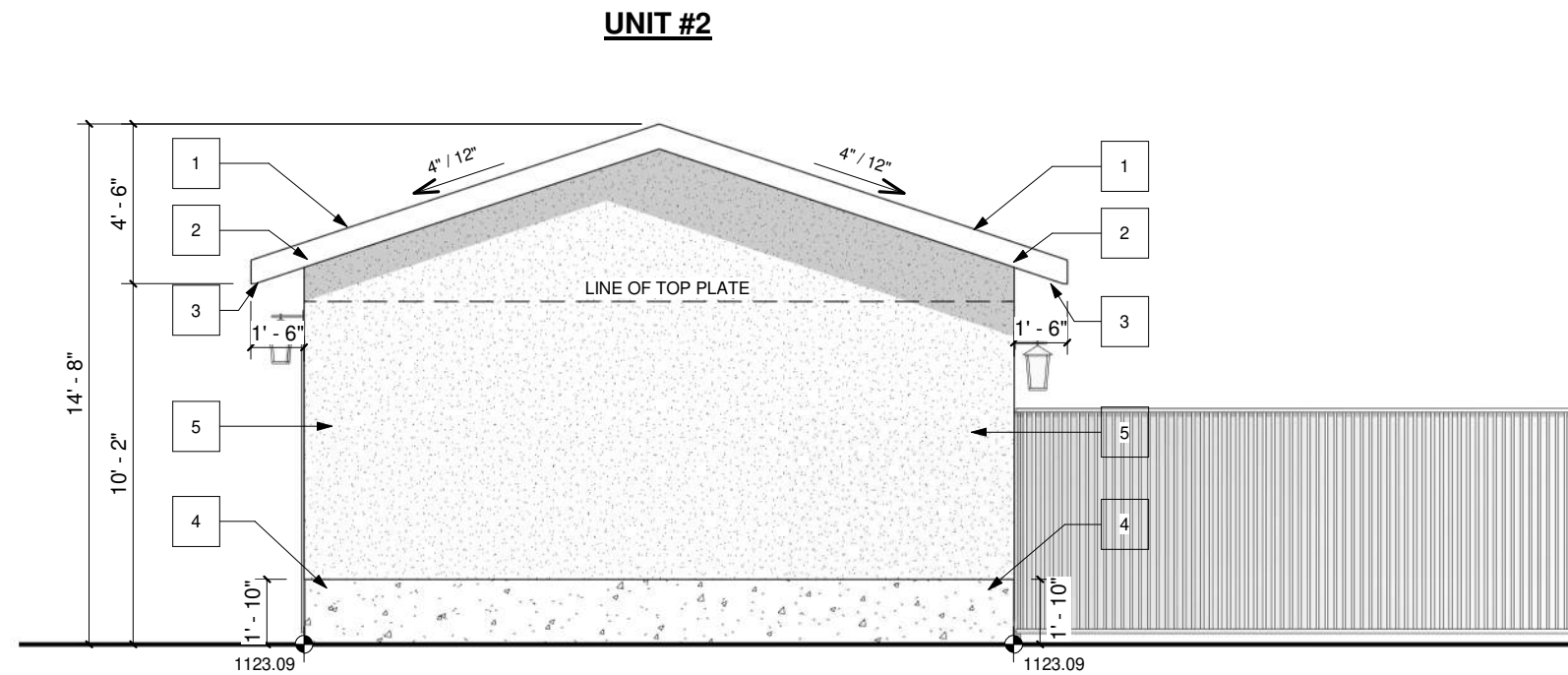
SCALE: AS SHOWN SHEET: A-3.1

**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 8" ALUMINUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PAVING
- 5 STUCCO FINISH



**GARAGE LEFT**  
SCALE: 3/16" = 1'-0"



**GARAGE RIGHT**  
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.  
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	11/05/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



COPYRIGHT:  
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-05-11 11:01:53 AM

PROJECT NAME:  
2207 - 31 ST SW  
CALGARY, ALBERTA

DESIGNER: JT JOB #: #269-26

SCALE: AS SHOWN SHEET: A-3.2