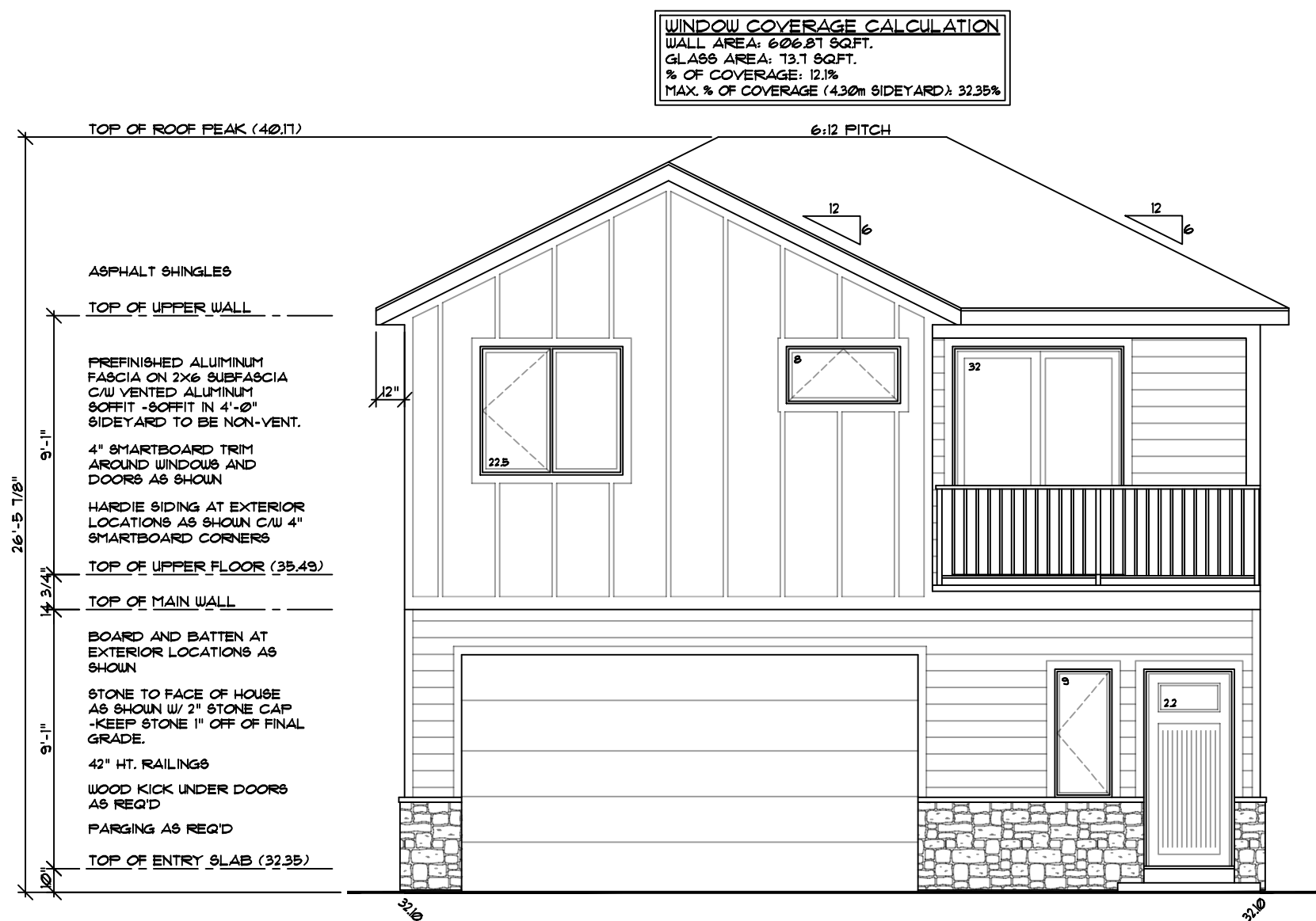
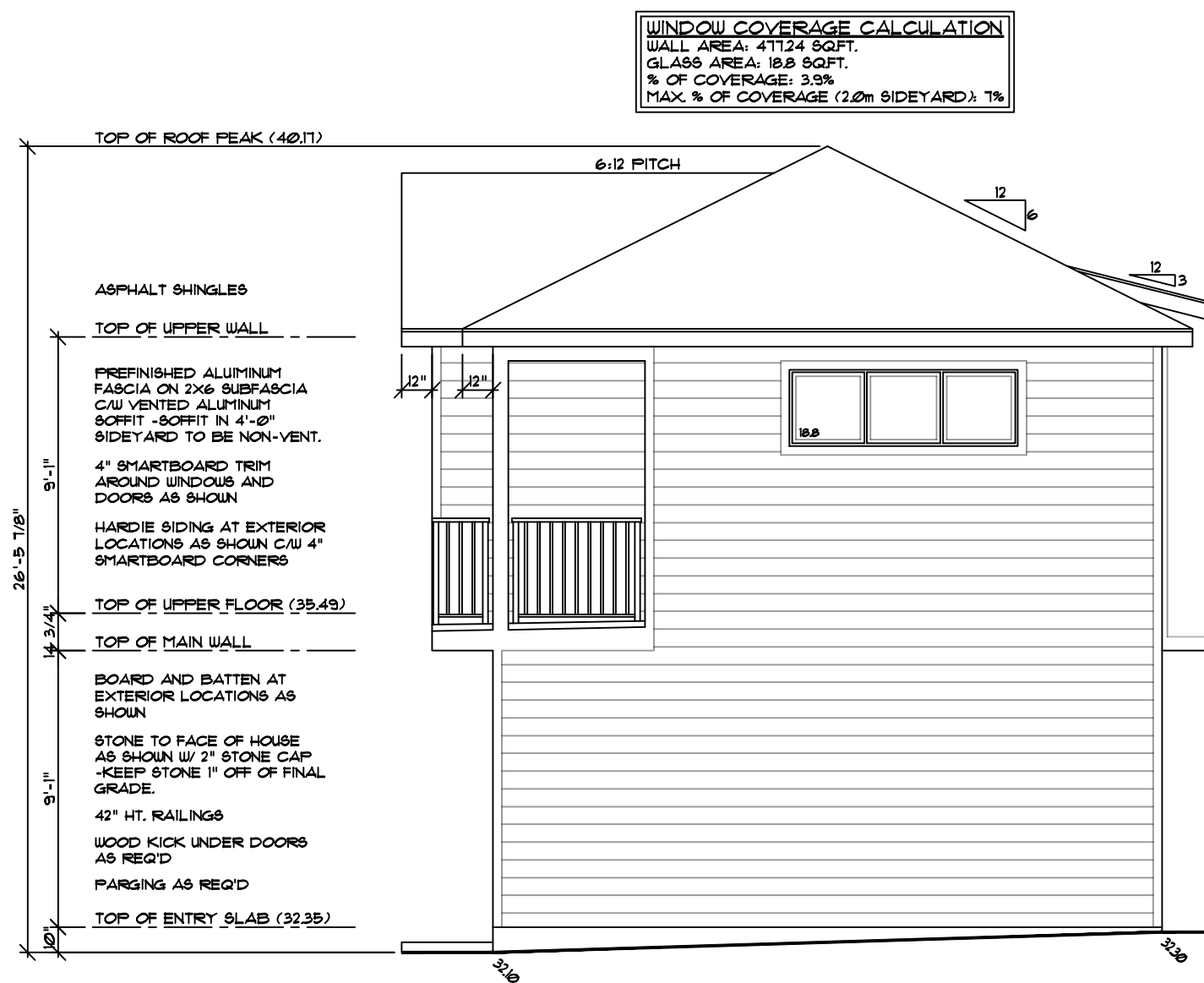
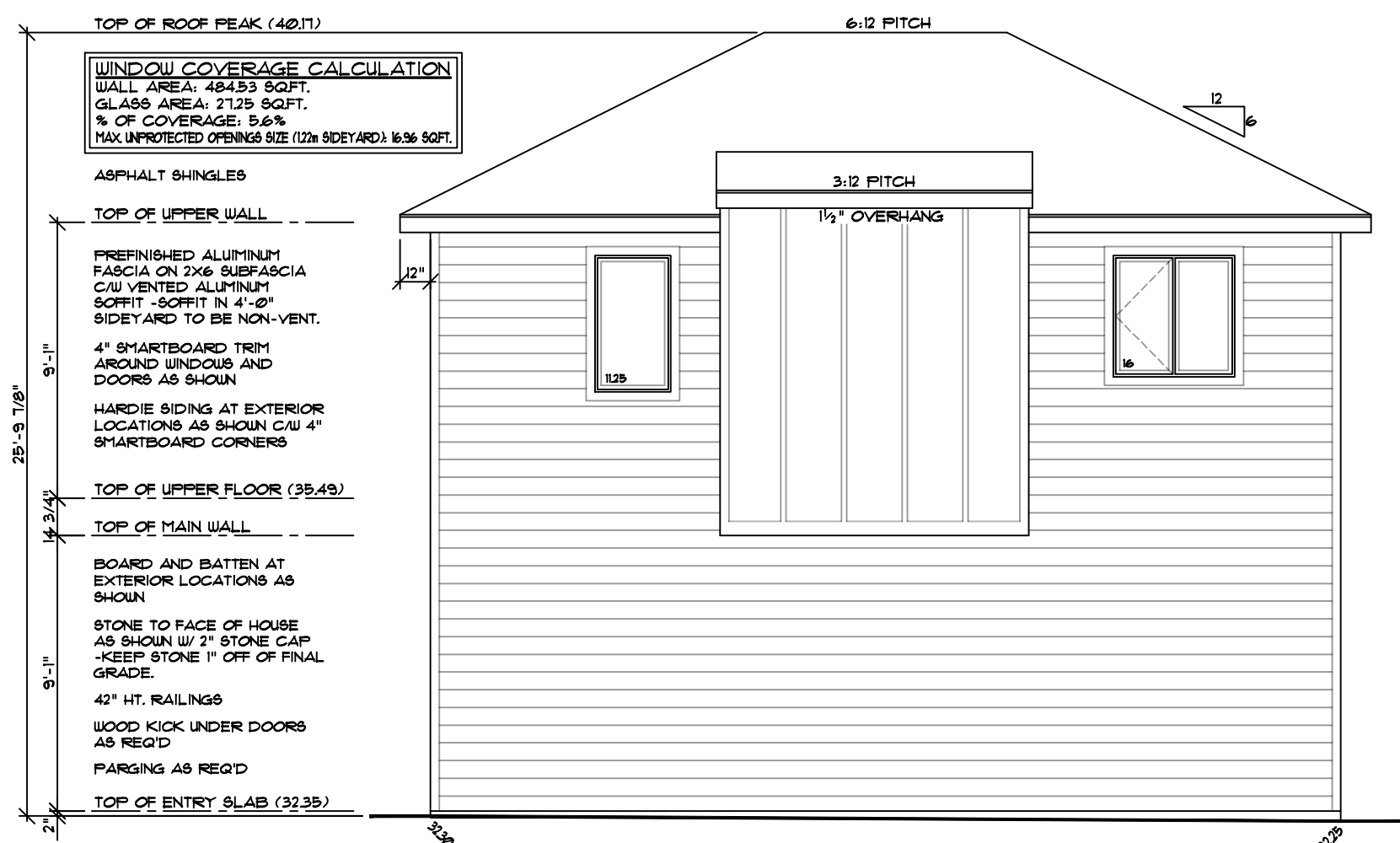




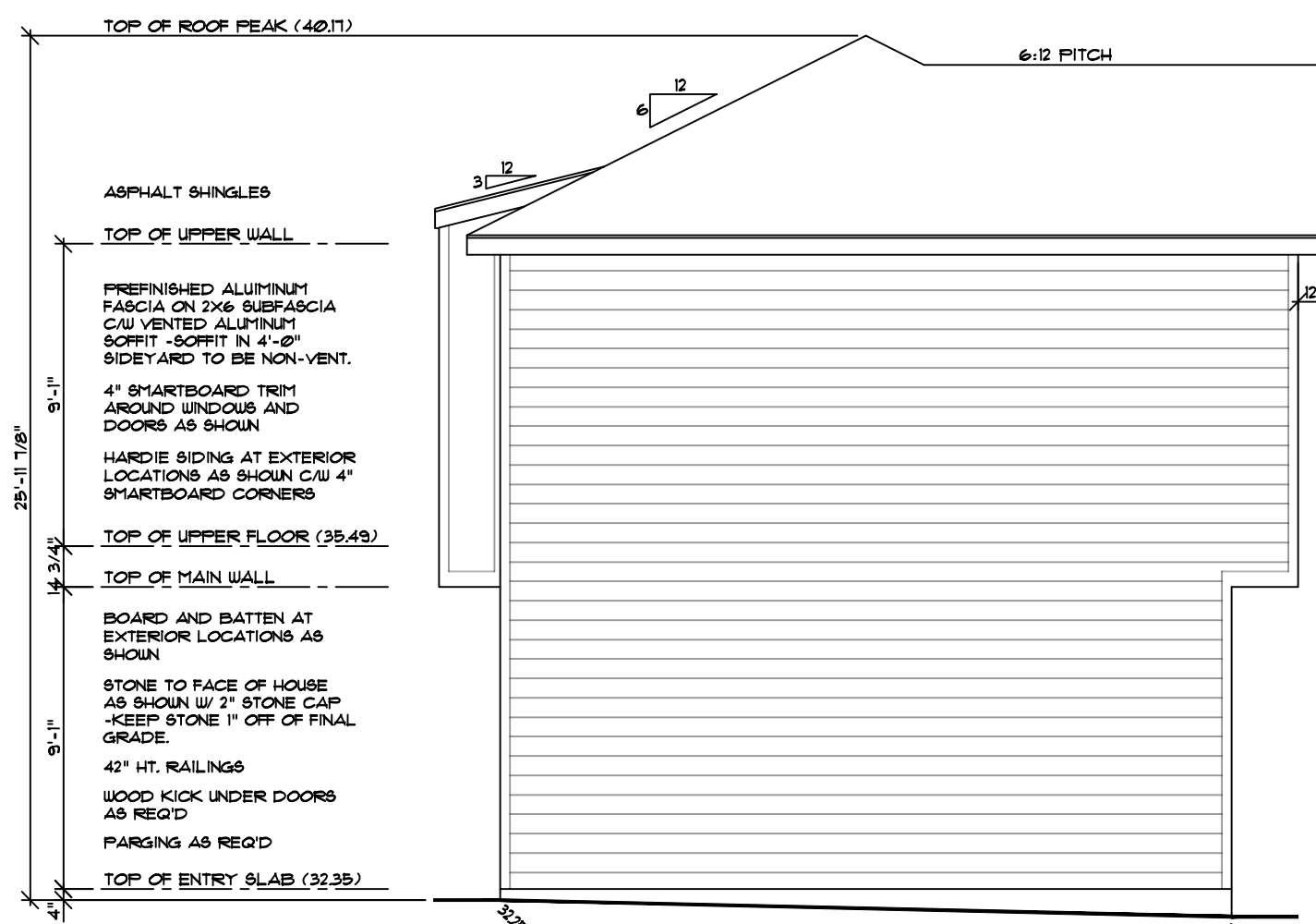
FRONT ELEVATION (NORTH)
2, 882 - 11th STREET S.W.



SIDE ELEVATION (WEST)
2, 882 - 11th STREET S.W.



REAR ELEVATION (SOUTH)
2, 882 - 11th STREET S.W.

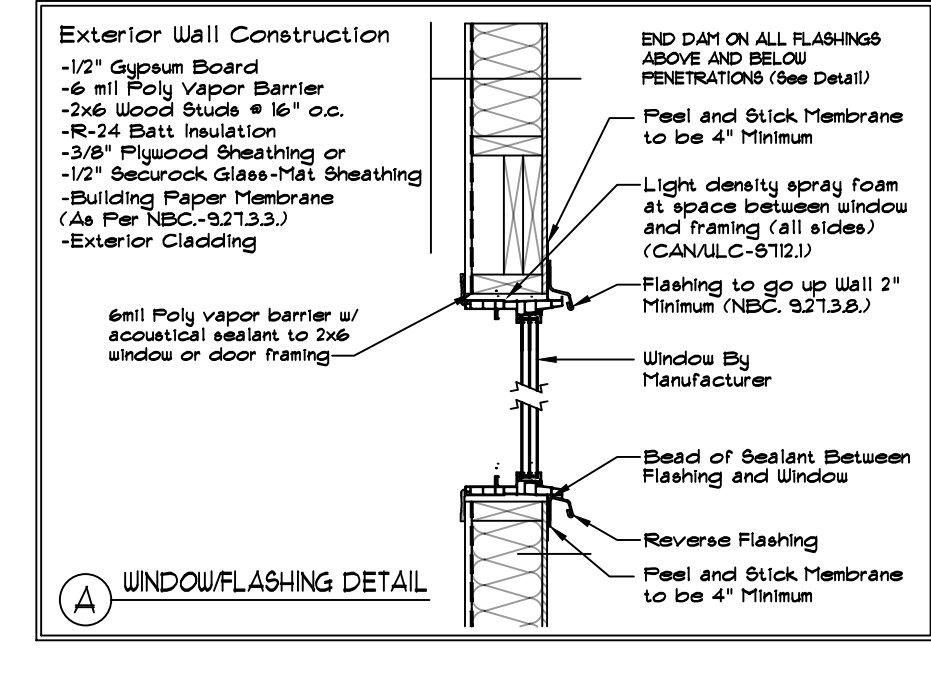
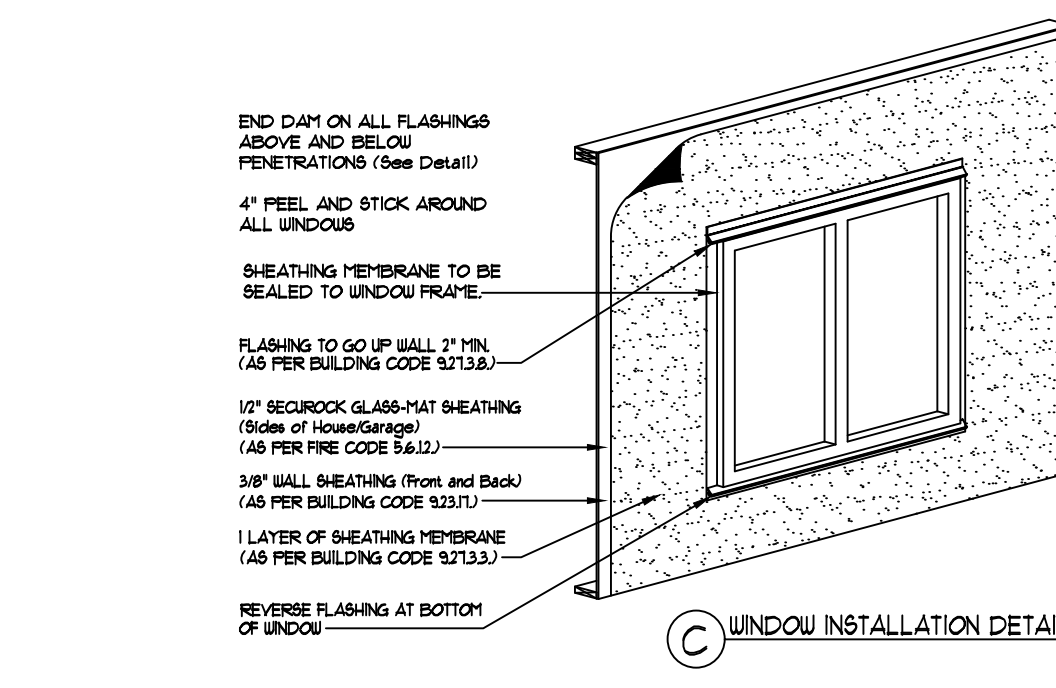
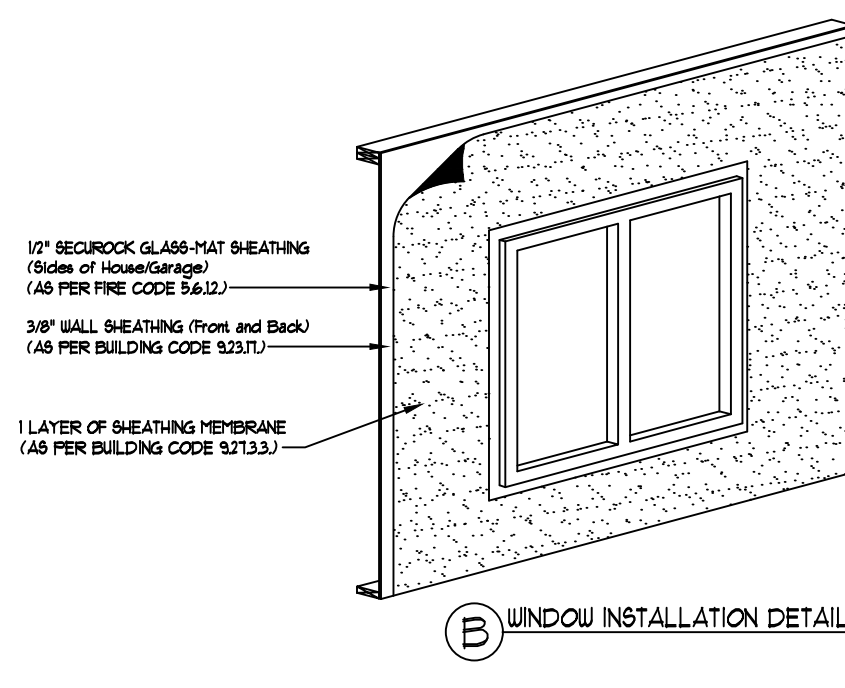
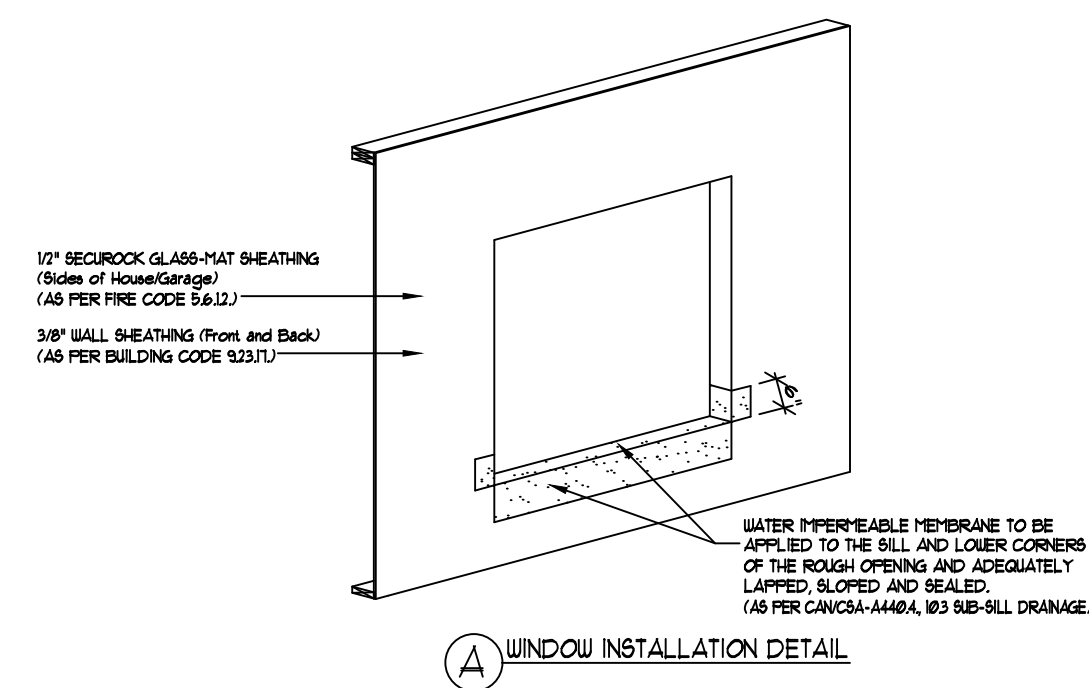
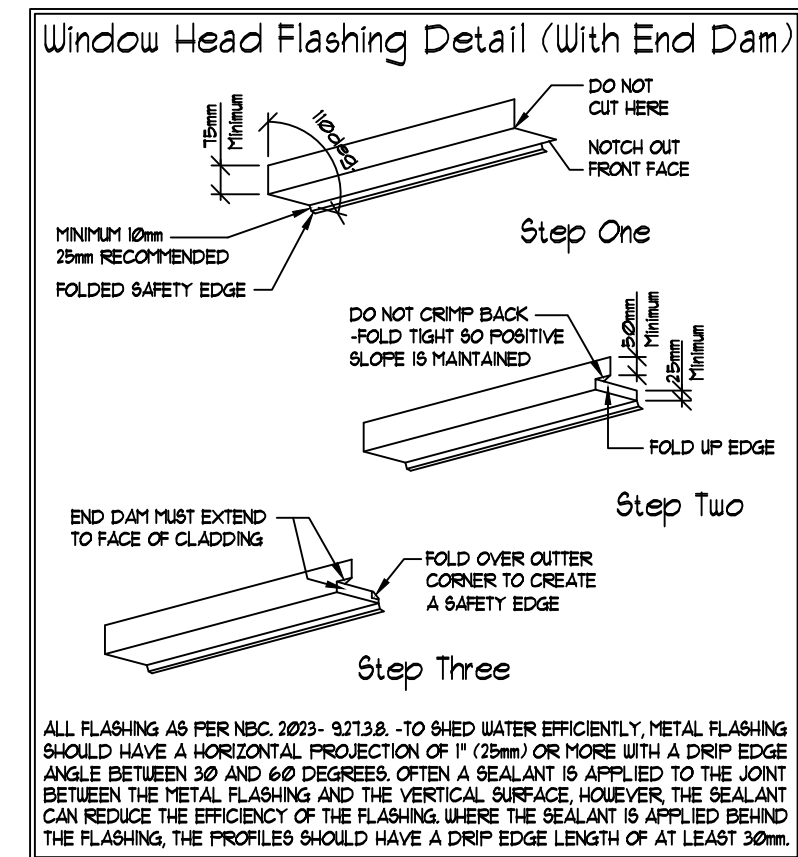


SIDE ELEVATION (EAST)
2, 882 - 11th STREET S.W.

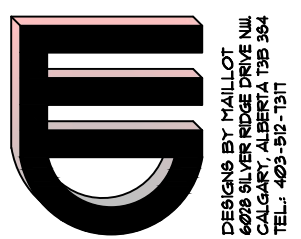
Window Fenestration Performance Rating Requirements (NBC 9.7.4.2)
For: Calgary Alberta, including: Cochrane Alberta and Airdrie Alberta Product Height: 10 Meters (Above ground to top of product) Open Terrain Type A
Performance Requirements: Performance Class R Minimum Performance Grade (PG) ^B = 30 Minimum Positive Design Pressure = 1440 Pa Minimum Negative Design Pressure = 1440 Pa Minimum Water Penetration Test Pressure = 330 Pa Minimum Canadian Air Infiltration/Exfiltration ^C = A2
Note: These calculations can be verified at codecalc.fenestrationcanada.ca . Calculations are based on AAMA/WDMA/CSA 1011.8, 2/A440-08 (NAFS-08) and CSA A44081-05 with update No. 1 (Canadian Supplement to NAFS-08)
A: Terrain Type: Definitions from NBC 2023 Open Terrain: Where open terrain is level terrain with only scattered buildings, trees or other obstructions, open water or shorelines. Rough Terrain: Where rough terrain is suburban, urban or wooded terrain extending upwind from the building uninterrupted for at least 1 km or 20 times the height of the building, whichever is greater.
B: The minimum performance grade for product classes other than R may be higher. Refer to NAFS-08 for information about product classes.
C: An A3 or Fixed rating exceeds the performance of an A2 rating.

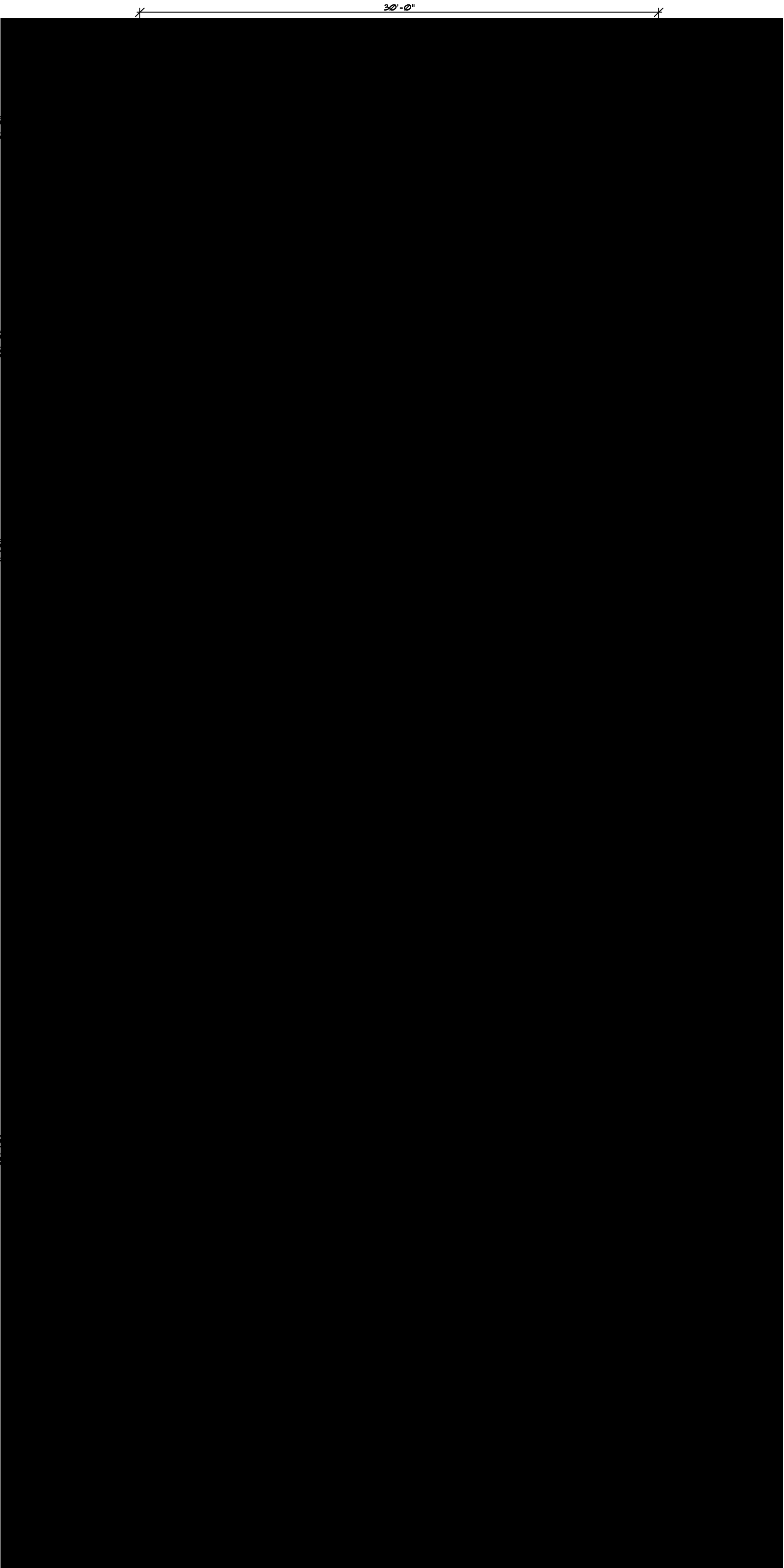
Thermal Characteristics of Windows and Doors
-As Defined by NBC (9.7.3.3) Between -15° C and -30° C Shall Have a Maximum U-Value of 1.6 and a Minimum (Temp Index) I-Value of 68.
-Skylights Shall Have a Maximum U-Value of 2.7

CAULKING NOTES:
-ALL CAULKING IS TO BE INSTALLED AS PER NBC 2023 (9.7.4.)
-CAULKING SHALL BE PROVIDED WHERE REQUIRED TO PREVENT THE ENTRY OF WATER INTO THE STRUCTURE.
-CAULKING SHALL BE PROVIDED BETWEEN MASONRY, SIDING, OR STUCCO AND THE ADJACENT DOOR AND WINDOW FRAMES OR TRIM, INCLUDING SILL, UNLESS SUCH LOCATIONS ARE COMPLETELY HIDDEN FROM THE ENTRY OF WATER.
-CAULKING SHALL BE PROVIDED AT VERTICAL JOINTS BETWEEN DIFFERENT CLADDING MATERIALS UNLESS THE JOINT IS SUITABLY LAPPED OR FLASHED TO PREVENT THE ENTRY OF ANY WATER (SEE ARTICLES 9.7.6.2., 9.20.13.2. AND 9.20.13.3.)



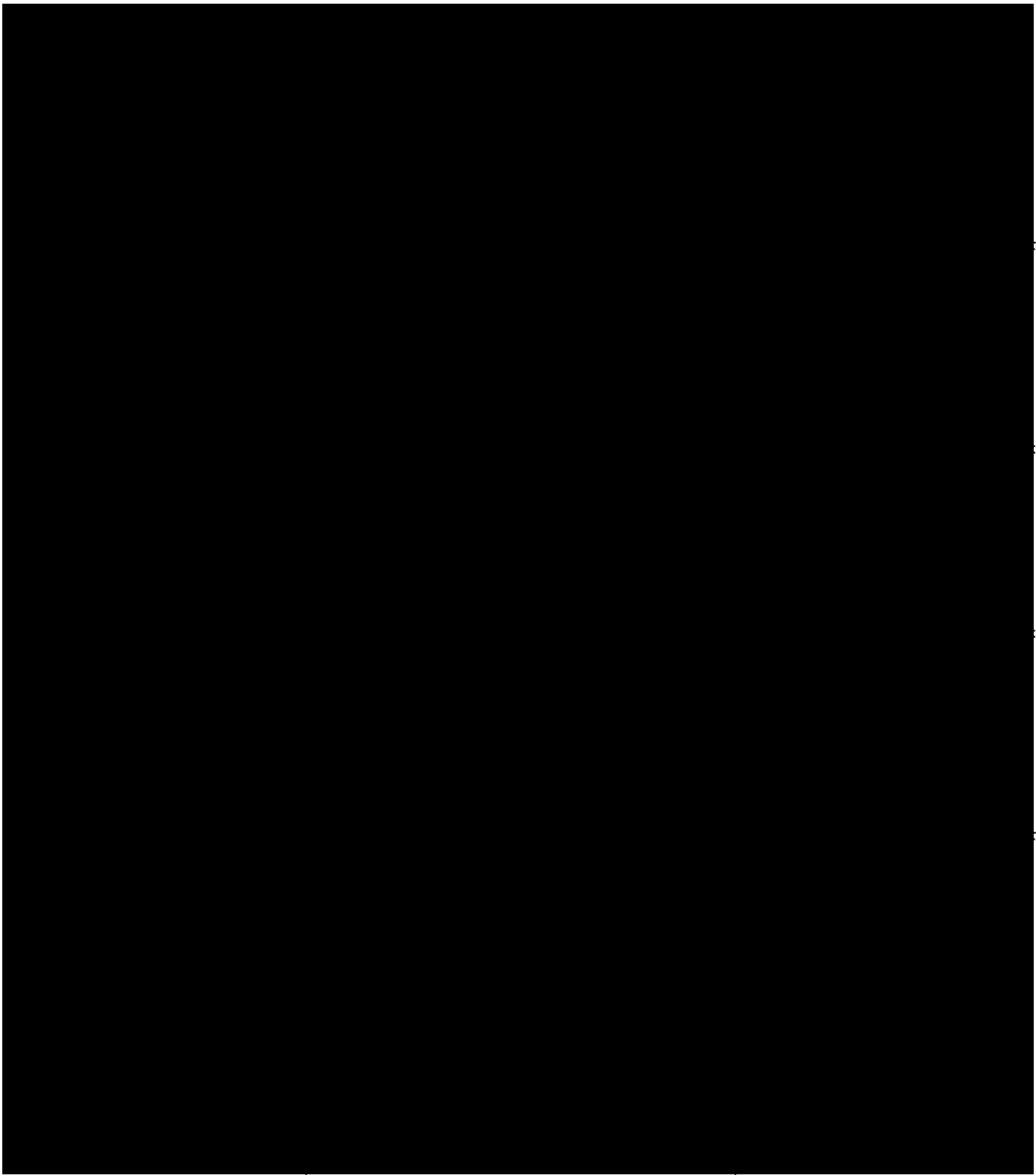
Address : 2, 882 - 11th STREET S.W. (BACKYARD SUITE)	Customer / Project :	Job # :	Model :	Page
Designed by: DARREN MAILLOT	Job # :	26-003	Model :	1
Drawn by: DARREN MAILLOT	Main Flr :	125 sq.ft.	Scale:	3/16" = 1'-0"
Revisions:	2nd Flr :	650 sq.ft.	Date :	MAY 4, 2026
DEVELOPMENT PERMIT PLANS	Total sq ft :	783 sq.ft.	BSMT. DEVL.:	N/A





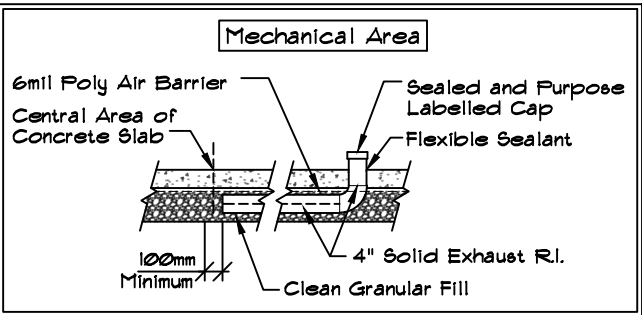
WINDOW COVERAGE CALCULATION
WALL AREA: 613.4 SQFT.
GLASS AREA: 173.9 SQFT.
% OF COVERAGE: 28%
MAX. % OF COVERAGE (8.06m SETBACK): 93.6%

PROPOSED HOUSE REAR ELEVATION (EAST)
2, 222 - 77th STREET S.W.



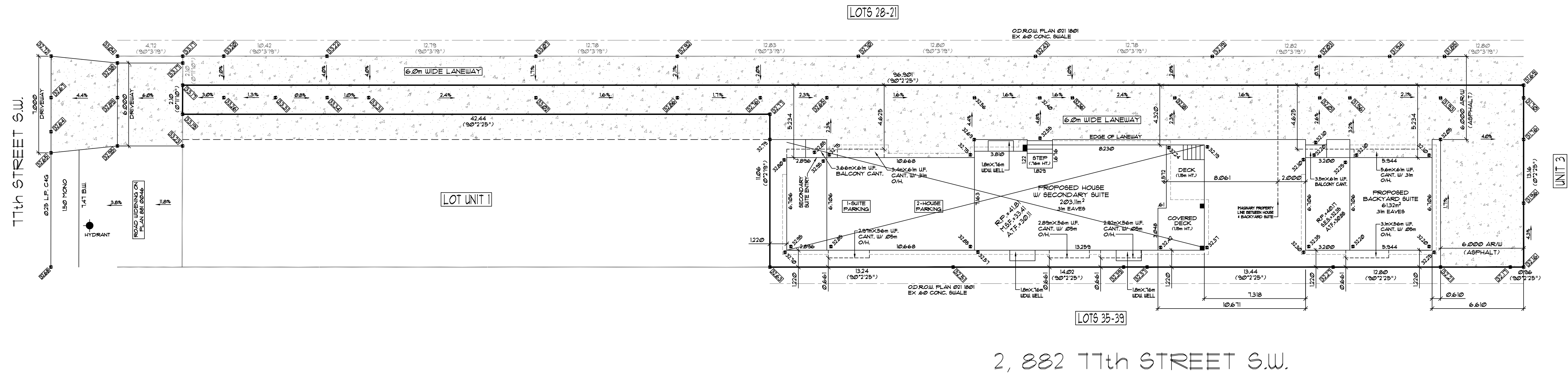
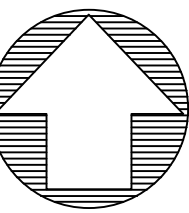
NOTE!

1. DIMENSIONS SHOWN ARE TO FACE OF MEMBER OR EXTERIOR WALL FACE UNLESS SHOWN OTHERWISE.
2. ALL BEAMS AND LINTELS ARE TO BE 2-2X10 #2 SPRUCE UNLESS NOTED OTHERWISE.
3. ELECTRICAL PANEL IS TO BE LOCATED AS SHOWN ON PLAN UNLESS NOTED OTHERWISE
4. LOCATION OF FURNACE AND HOT WATER HEATER MAY CHANGE SUBJECT TO MECHANICAL CONTRACTOR'S LAYOUT.
5. MAIN LEVEL INTERIOR DOORS ARE TO BE 80" HT. 4 UPPER LEVEL DOORS ARE TO BE 8' HT. UNLESS NOTED OTHERWISE



Note B: In addition to an under-slab lapped and taped 6 mil poly air leakage soil gas control barrier meeting NBC-925.3, Soil Gas Ingress protection is required meeting NBC-913.4.2, and 913.4.3. Provide dedicated non-perforated solid 4" PVC pipe rough-in from the central area below the slab to the Mechanical area where it shall be capped and clearly purpose-labelled. Seal slab perimeter, all penetrations and access covers with flexible sealant.
-All Rough-in slab protrusions shall be capped and sealed, and poly is to be taped with CCMC approved tape. (Not "Tuck" tape.)

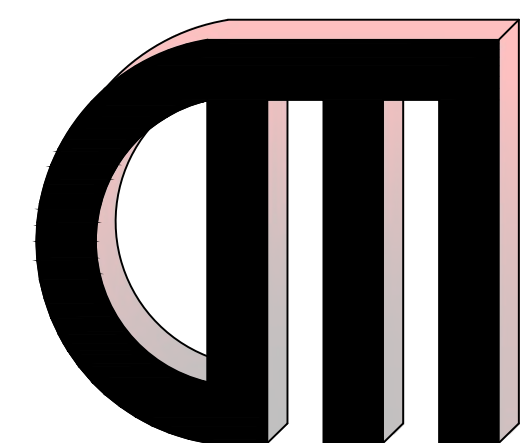
Customer / Project :			Page
Address : 2, 222 - 77th STREET S.W. (BACKYARD SUITE)	Job # :	26-003	N/A
Designed by: DARREN MAILLOT	Main Flr :	125 sqft.	3/16"=1'-0"
Drawn by: DARREN MAILLOT	2nd Flr :	658 sqft.	MAY 4, 2026
Revisions:	Total sq ft :	783 sqft.	N/A
DEVELOPMENT PERMIT PLANS			2
			3



NOTE:
PROPOSED HOUSE WITH SECONDARY SUITE IS
SHOWN FOR SETBACK AND GRADE PURPOSES
AND NOT PART OF THE DEVELOPMENT PERMIT
FOR THE BACKYARD SUITE. PROPOSED HOUSE
WITH SUITE TO BE ON A SEPARATE BUILDING
PERMIT.

4321 EXISTING GRADES
4322 PROPOSED GRADES

CUSTOMER NAME:	ADDRESS: 2, 882 77th STREET S.W.
	SUBDIVISION: WEST SPRINGS
JOB NUMBER: 26-009	LOT: UNIT 2, LOT 22
	BLOCK: B
PHASE/PLAN:	PLAN 021 0630
	SCALE: 1:150
DRAWN BY:	DARREN MAILLOT
	DATE DRAWN: MAY 4, 2026
HOUSE + BACKYARD SUITE AREA:	264.43m ²
	LOT AREA: 805.90m ²
BUILDING COVERAGE:	32.8%
	HOUSE ROOF PEAK: 41.81
TOP OF HOUSE MAIN SUBFLOOR:	33.41
	ACTUAL TOP OF HOUSE FTG.: 30.11
SUITE ROOF PEAK:	40.17
	TOP OF SUITE ENTRY SLAB: 32.35
ACTUAL TOP OF SUITE FTG.:	30.08
	FRONT YARD GRADE: AS PER PLAN
HOUSE BASEMENT HT:	9'-1" CLEAR HT.



DESIGNS BY MAILLOT
6028 SILVER RIDGE DRIVE N.W.
CALGARY, ALBERTA T3B 3S4
TEL.: 403-512-1311