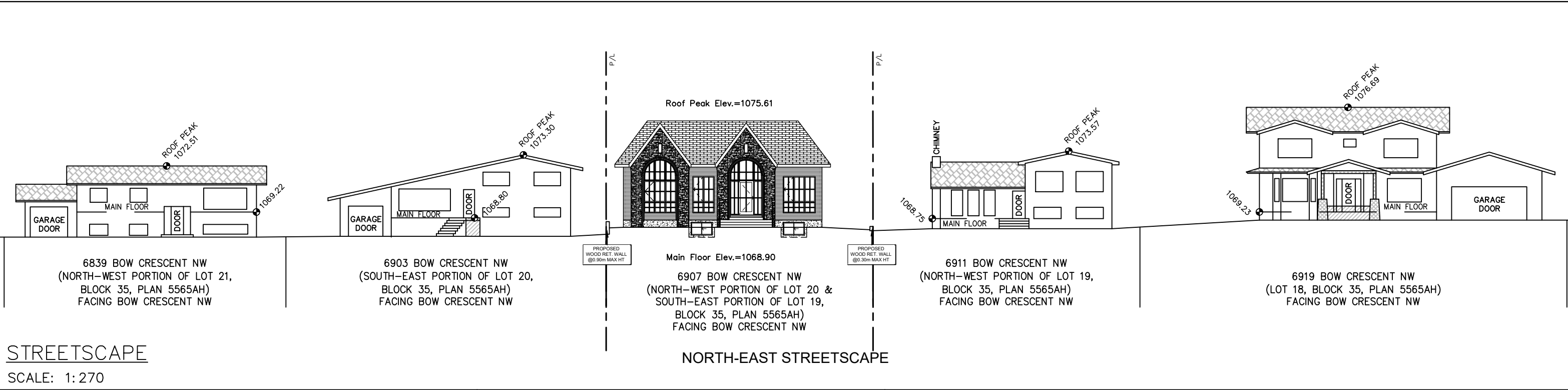
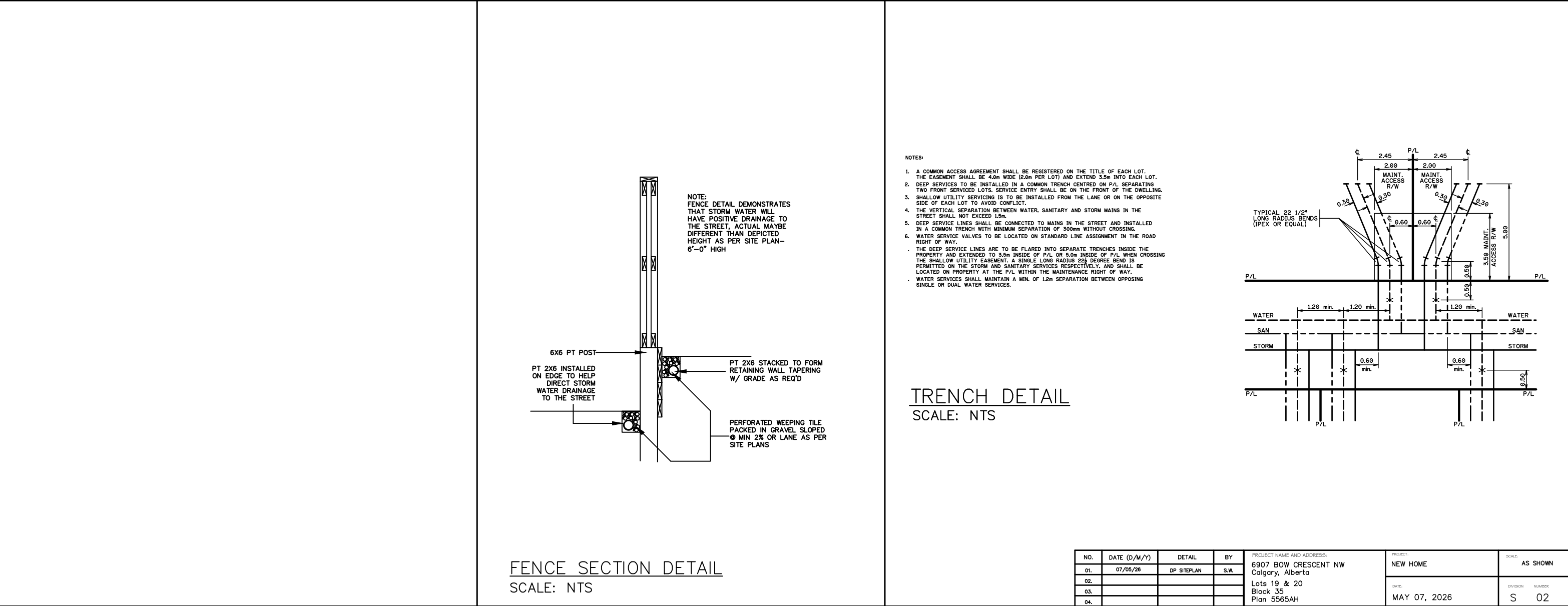




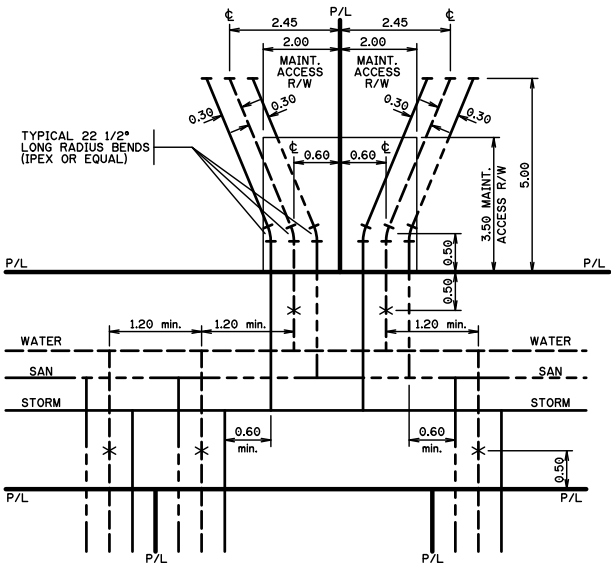
STREETSCAPE
SCALE: 1:270



FENCE SECTION DETAIL
SCALE: NTS

- NOTES:
1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
 2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
 3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
 4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 15m.
 5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
 6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
 7. THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22.5 DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
 8. WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.

TRENCH DETAIL
SCALE: NTS



NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	07/05/26	DP SITEPLAN	S.W.	6907 BOW CRESCENT NW Calgary, Alberta	NEW HOME	AS SHOWN
02.				Lots 19 & 20 Block 35	DATE:	DIVISION NUMBER
03.				Plan 5565AH	MAY 07, 2026	S 02
04.						

TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	DISPOSITION
T1	Hedge	----	1.50	3.00	On Property Line	To Stay
T2	Hedge	----	1.00	1.80	On Property Line	To Stay
T3	Hedge	----	1.00	2.00	On Property Line	To Be Removed
T4	Bush	----	2.00	4.00	In Subject Property	To Stay
T5	Bush	----	1.50	3.00	In Subject Property	To Be Removed
T6	Deciduous	0.90	16.00	12.00	On Property Line	To Stay
T7	Deciduous	0.50	5.50	5.00	In Subject Property	To Stay
T8	Deciduous	0.50	3.50	5.00	In Subject Property	To Be Removed
T9	Coniferous	0.70	8.00	14.00	In Subject Property	To Be Removed
T10	Coniferous	0.60	8.00	14.00	In Subject Property	To Be Removed
T11	Coniferous	0.70	7.00	13.00	In Subject Property	To Be Removed
T12	Coniferous	0.60	7.00	12.00	In Subject Property	To Be Removed
T13	Coniferous	0.40	7.00	6.00	In Subject Property	To Be Removed
T14	Coniferous	0.80	9.00	11.00	In Subject Property	To Be Removed
T15	Deciduous	0.50	8.00	12.00	In Adjacent Property	To Stay
T16	Deciduous	0.40	6.00	12.00	In Adjacent Property	To Stay
T17	Coniferous	0.40	5.00	13.00	In Adjacent Property	To Stay
T18	Coniferous	0.40	5.00	13.00	In Adjacent Property	To Stay
T19	Coniferous	0.40	5.50	13.00	In Adjacent Property	To Stay
T20	Coniferous	0.40	4.00	13.00	In Adjacent Property	To Stay
T21	Deciduous	0.30	7.00	12.00	In Adjacent Property	To Stay
T22	Deciduous	1.00	7.00	15.00	In Adjacent Property	To Stay
T23	Deciduous	0.30	3.50	5.00	In Adjacent Property	To Stay
T24	Deciduous	0.30	4.50	5.00	In Adjacent Property	To Stay
T25	Deciduous(Dead Tree)	0.20	----	9.00	In Adjacent Property	To Stay

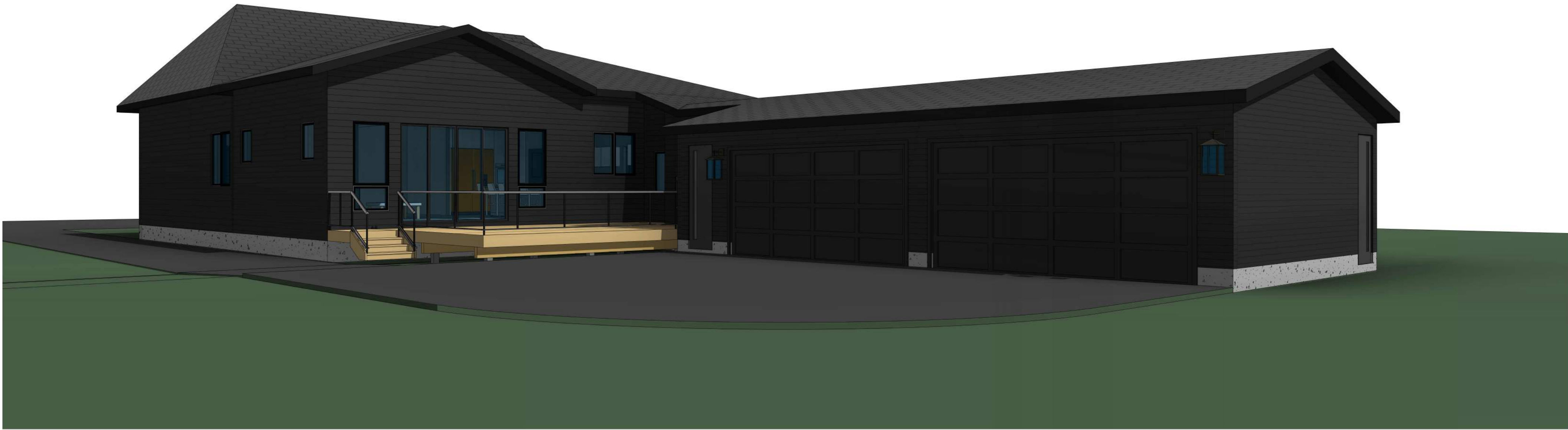
Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	DISPOSITION
T26	Deciduous	0.30	4.00	10.00	In Adjacent Property	To Stay
T27	Deciduous	0.30	4.00	10.00	In Adjacent Property	To Stay
T28	Coniferous	0.40	4.00	11.00	In Adjacent Property	To Stay
T29	Coniferous	0.10	3.00	1.50	In Subject Property	To Stay
T30	Coniferous	0.60	9.00	13.00	In Subject Property	To Be Removed
T31	Coniferous	0.40	4.00	12.00	On Property Line	To Be Removed
T32	Coniferous	0.40	5.00	13.00	On Property Line	To Be Removed
T33	Coniferous	0.30	5.00	13.00	On Property Line	To Be Removed
T34	Coniferous	0.30	5.00	13.00	On Property Line	To Be Removed
T35	Coniferous	0.20	3.50	12.00	On Property Line	To Be Removed
T36	Coniferous	0.40	7.00	13.00	On Property Line	To Be Removed
T37	Coniferous	0.30	5.00	12.00	On Property Line	To Be Removed
T38	Coniferous	0.20	5.50	11.00	On Property Line	To Be Removed
T39	Coniferous	0.20	4.50	11.00	On Property Line	To Be Removed
T40	Coniferous	0.50	8.00	13.00	On Property Line	To Be Removed
T41	Coniferous	0.40	8.00	13.00	On Property Line	To Be Removed
T42	Coniferous	0.20	4.00	8.00	On Property Line	To Be Removed
T43	Coniferous	0.30	4.00	10.00	On Property Line	To Be Removed
T44	Coniferous	0.40	6.00	12.00	On Property Line	To Be Removed
T45	Coniferous	0.30	4.00	12.00	On Property Line	To Be Removed
T46	Coniferous	0.20	4.00	11.00	In Adjacent Property	To Stay
T47	Coniferous	0.30	4.00	10.00	In Subject Property	To Stay
T48	Coniferous	0.30	4.00	10.00	In Subject Property	To Stay
T49	Deciduous	1.20	14.00	15.00	In Adjacent Property	To Stay
T50	Deciduous	0.90	5.00	13.00	In Adjacent Property	To Stay

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	DISPOSITION
T51	Deciduous	1.00	12.00	15.00	In Adjacent Property	To Stay
T52	Deciduous	1.00	12.00	15.00	In Adjacent Property	To Stay
T53	Coniferous	0.20	2.00	5.00	In Subject Property	To Stay
T54	Deciduous	0.20	3.50	5.00	In Subject Property	To Stay
T55	Deciduous	0.30	11.00	7.00	In Subject Property	To Stay
T56	Deciduous	0.20	3.00	6.00	In Subject Property	To Stay
T57	Deciduous	0.20	3.00	6.00	In Subject Property	To Stay
T58	Deciduous	0.20	4.00	5.00	In Subject Property	To Stay
T59	Deciduous	0.30	7.00	7.00	In Subject Property	To Stay
T60	Coniferous	0.50	3.50	11.00	In Subject Property	To Stay
T61	Deciduous	0.50	4.00	10.00	In Subject Property	To Stay
T62	Deciduous	0.60	5.00	12.00	In Subject Property	To Stay
T63	Deciduous(Dead Tree)	0.20	----	6.00	In Subject Property	To Stay
T64	Deciduous	0.10	3.00	4.00	In Subject Property	To Stay
T65	Deciduous	0.50	4.50	13.00	In Subject Property	To Stay
T66	Deciduous	0.50	11.00	12.00	In Subject Property	To Stay
T67	Deciduous	0.80	10.00	14.00	In Subject Property	To Stay
T68	Deciduous	0.30	3.00	7.00	In Subject Property	To Stay
T69	Deciduous(Dead Tree)	0.20	----	2.50	In Subject Property	To Stay
T70	Deciduous	0.20	5.00	10.00	In Subject Property	To Stay
T71	Deciduous	0.60	6.00	15.00	In Subject Property	To Stay
T72	Deciduous	0.50	7.00	14.00	In Subject Property	To Stay
T73	Deciduous	0.60	11.00	13.00	In Subject Property	To Stay
T74	Deciduous	0.50	12.00	15.00	In Subject Property	To Stay
T75	Deciduous	0.40	9.00	15.00	In Subject Property	To Stay

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	DISPOSITION
T76	Deciduous	0.70	7.00	15.00	In Subject Property	To Stay
T77	Deciduous	0.40	6.00	14.00	In Subject Property	To Stay
T78	Deciduous	0.30	7.00	8.00	In Subject Property	To Stay
T79	Deciduous	0.10	4.00	4.00	In Subject Property	To Stay
T80	Coniferous	0.20	4.00	11.00	In Subject Property	To Stay
T81	Coniferous	0.25	4.00	10.00	In Subject Property	To Stay
T82	Coniferous	0.20	2.00	11.00	In Subject Property	To Stay
T83	Coniferous	0.20	2.00	11.00	In Subject Property	To Stay
T84	Coniferous	0.40	3.50	12.00	In Subject Property	To Stay
T85	Coniferous	0.20	2.00	12.00	In Subject Property	To Stay
T86	Coniferous	0.20	2.00	11.00	In Subject Property	To Stay
T87	Coniferous	0.40	4.00	14.00	In Subject Property	To Stay
T88	Coniferous	0.30	5.50	11.00	In Subject Property	To Stay

EXISTING TREE SCHEDULE
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS: 6907 BOW CRESCENT NW Calgary, Alberta Lots 19 & 20 Block 35 Plan S565AH	PROJECT:	SCALE:
01.	07/05/26	DP SITEPLAN	S.W.		NEW HOME	1: 200
02.					DATE: MAY 07, 2026	DIVISION NUMBER: S 03
03.						
04.						



FLOOR AREA

BASEMENT	= 2298.00 SQ. FT.
ATTACHED GARAGE	= 1120.00 SQ. FT.
MAIN FLOOR	= 2298.00 SQ. FT.
TOTAL	= 2298.00 SQ. FT.

LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Roof Plan
A-2.0	Front & Rear Elevations
A-2.1	Left & Right Elevations

GENERAL NOTES:

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.

JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

JOHN TRINH & ASSOCIATES
Design | Drafting | Planning | Permits
www.johntrinh.ca - 403.472.8184
*We specialize in New Homes, Duplex, Renovations and Commercial projects

NO.	DATE(D/M/Y)	DETAIL	BY
01.	07/05/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NBC AE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

MUNICIPAL ADDRESS:
6907 Bow Cres N.W.
Calgary, Alberta

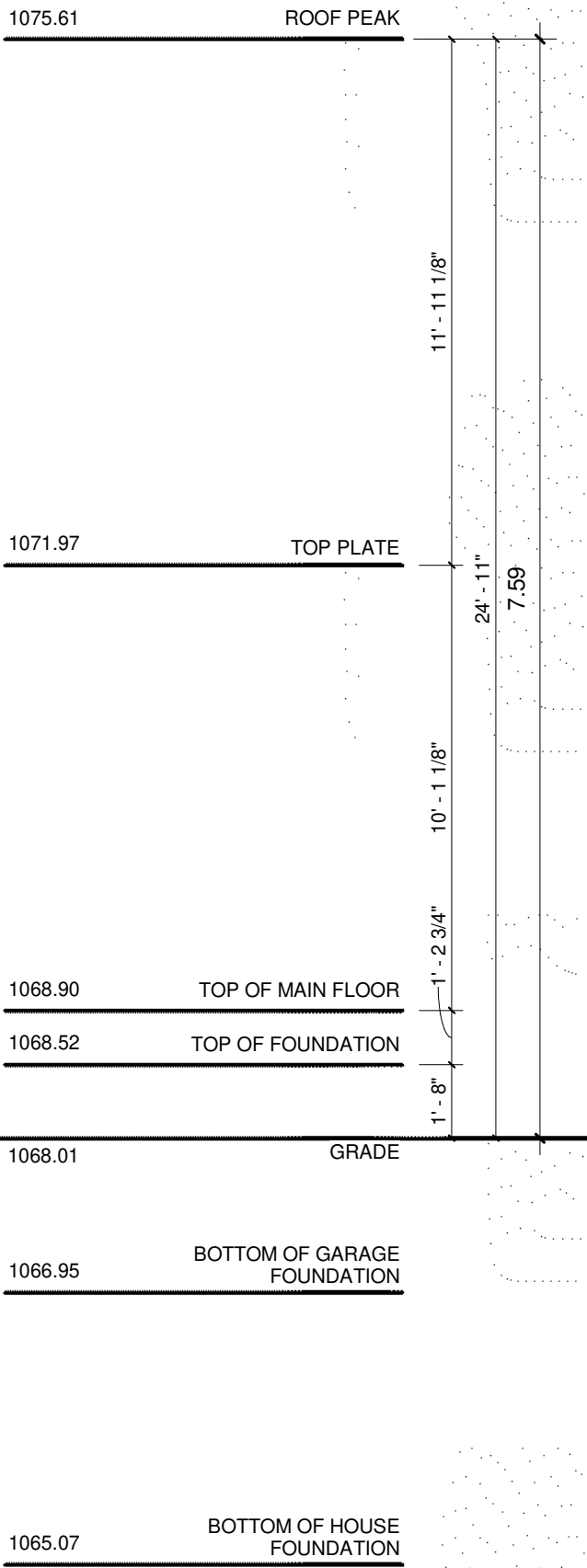
PROJECT:
NEW HOME
STATUS:
-

PROJECT NUMBER: 273 - 26
DESIGN BY: JT
DRAWN BY: JT
LAST REVISION BY:
LAST REVISION DATE: -
SCALE:

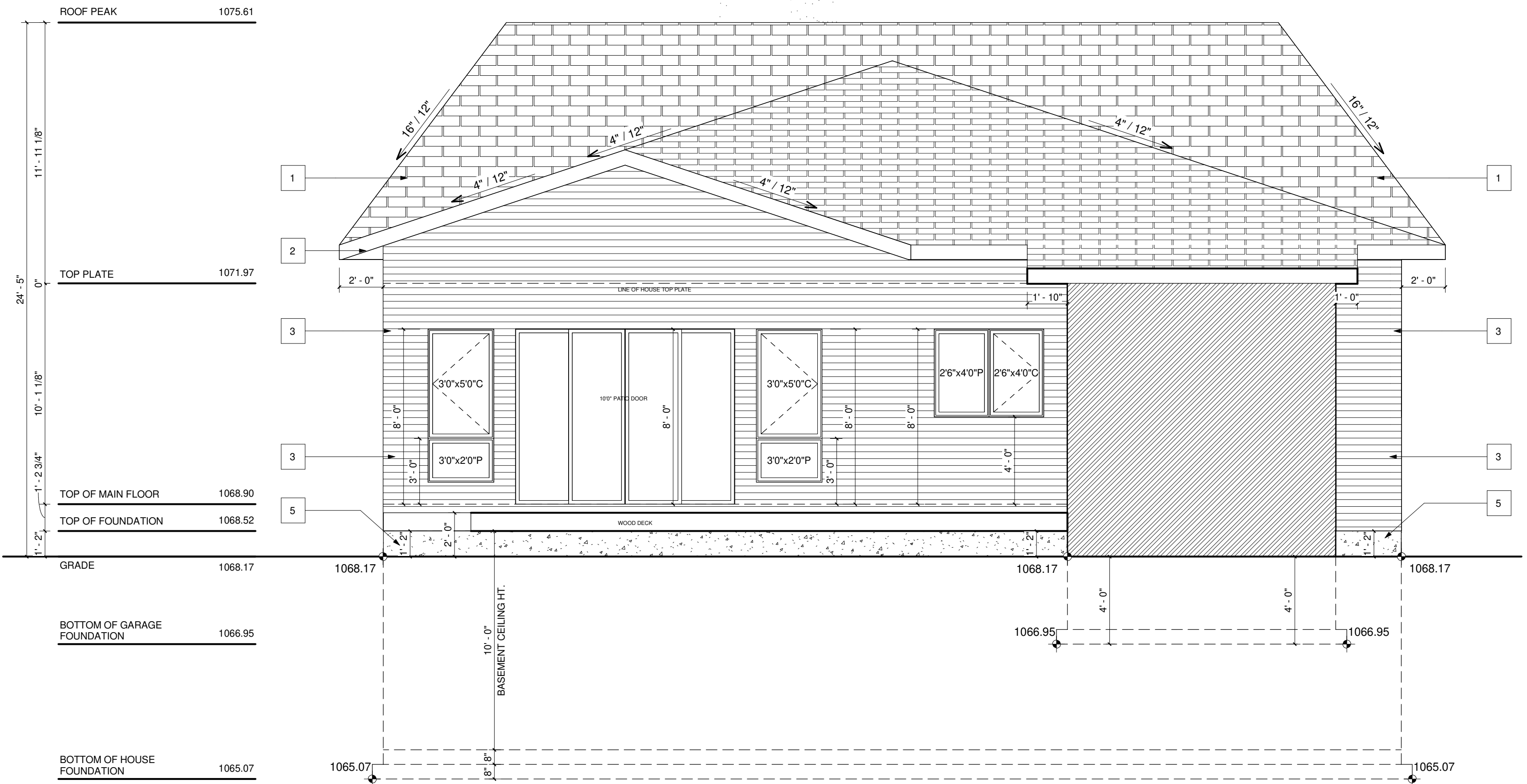
DRAWING SET:
SHEET NAME:
Cover Page
PAGE:

A-0.0

1	ASPHALT SHINGLE ROOF
2	ALUMINUM FASCIA - BLACK
3	SIDING FINISH - BLACK
4	STONE CLADDING AS SPEC'D
5	CONCRETE PAVING
6	CAST-IN-PLACE CONCRETE



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ALL OTHER APPLICABLE
CONSULTANT DRAWINGS. CONTRACTOR IS
TO CONFIRM AND COORDINATE ALL DETAILS
WITH SITE CONDITIONS AND OTHER
CONSULTANT DRAWINGS PRIOR TO
STARTING CONSTRUCTION.

JOHN TRINH & ASSOCIATES INC. ASSUMES
NO RESPONSIBILITY, IMPLIED OR DIRECT
UNLESS THE DRAWINGS BEAR THE SEAL
AND SIGNATURE OF A REGISTERED
PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	07/05/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING
ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND
WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY,
OR DISCLOSED TO, ANY OTHER PERSON OR
ORGANIZATION FOR ANY PURPOSE WITHOUT THE
WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NBC AE AND ANY OTHER GOVERNING AUTHORITIES.

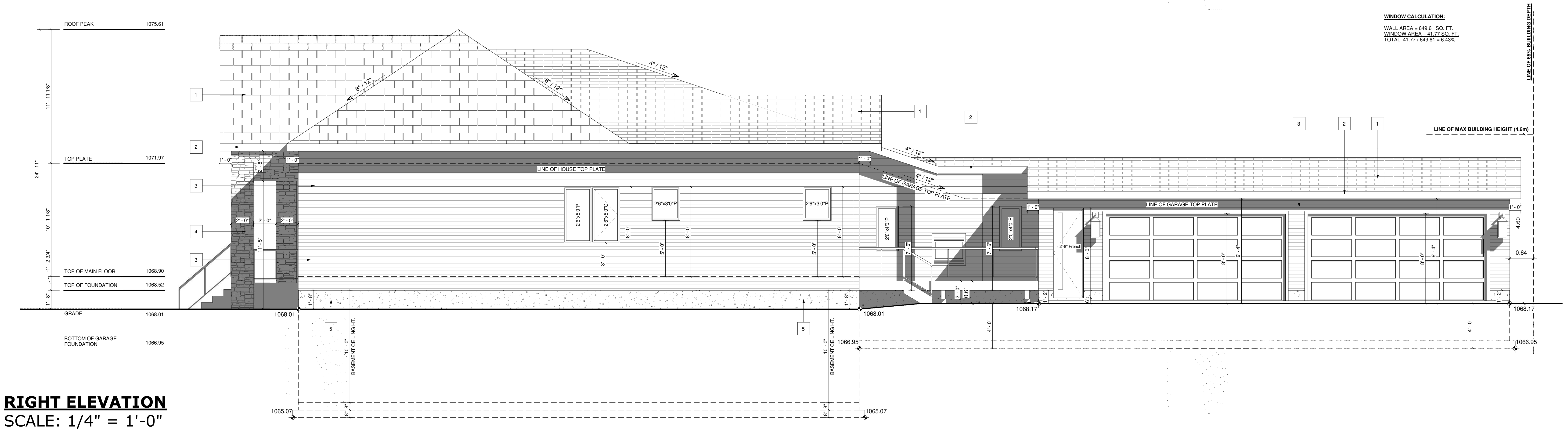
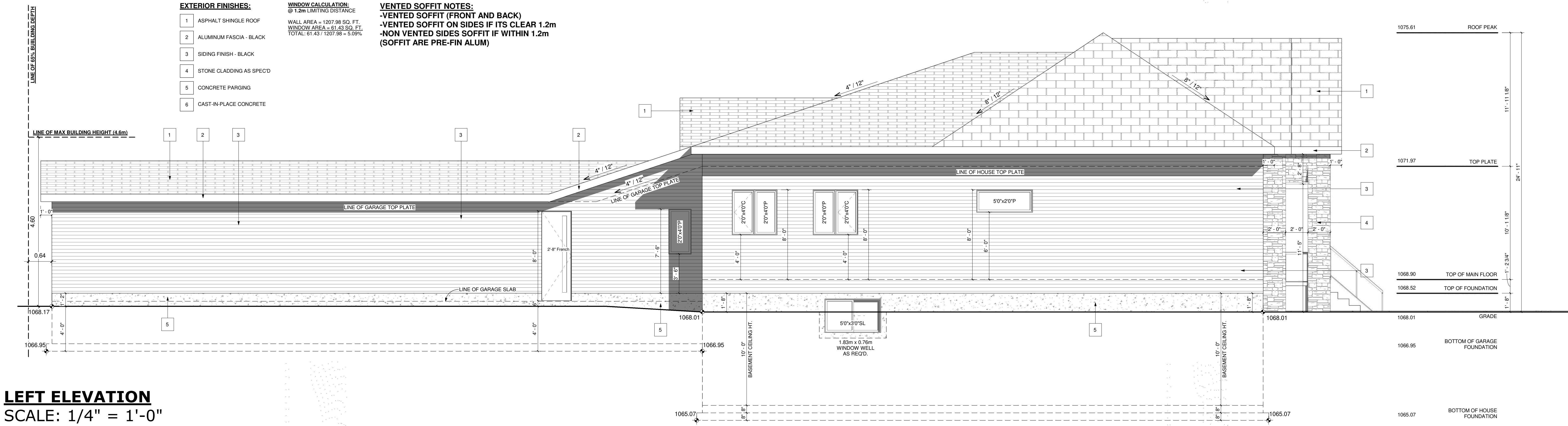
ALL FRAMING , ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

PROJECT:
NEW HOME

STATUS

LAST REVISION DATE: _____ *

A-2.0



GENERAL NOTES:	DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.				JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.			
	JOHN TRINH & ASSOCIATES Design Drafting Planning Permits www.johntrinh.ca - 403.472.8184 *We specialize in New Homes, Duplex, Renovations and Commercial projects.				COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.			
					NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.			
					ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NBC AE AND ANY OTHER GOVERNING AUTHORITIES.			
					ALL FRAMING - ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING			
					MUNICIPAL ADDRESS: 6907 Bow Cres N.W. Calgary, Alberta			
					PROJECT NUMBER: 273 - 26			
					DRAWING SET:			
					DESIGN BY: JT			
					SHEET NAME: Left & Right Elevations			
				DRAWN BY: JT				
				PROJECT: NEW HOME				
				STATUS: -				
				LAST REVISION BY:				
				LAST REVISION DATE:				
				SCALE: 1/4" = 1'-0"				
				PAGE:				