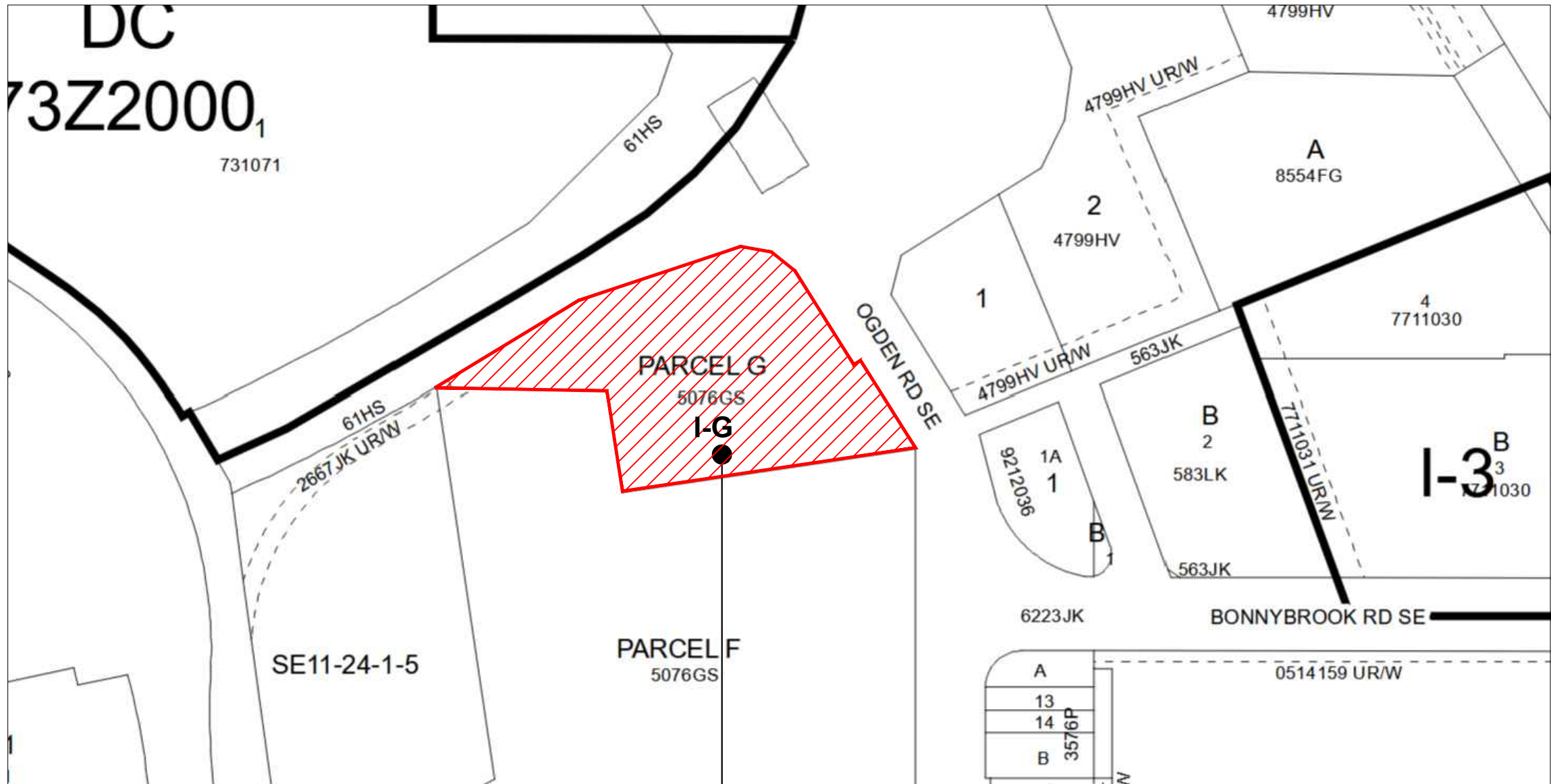


OGDEN ROAD DEVELOPMENT

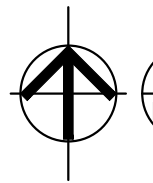
#2807 OGDEN ROAD, SE CALGARY AB

ISSUED FOR DEVELOPMENT PERMIT

MAY 2026



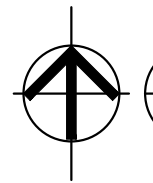
2807 OGDEN ROAD SE
CALGARY, AB



1
DP000
ZONING MAP
SCALE: NTS



2807 OGDEN ROAD SE
CALGARY, AB



2
DP000
AERIAL PHOTO
SCALE: NTS



ARTISTIC RENDERING ONLY

3
DP000
PERSPECTIVE VIEW
SCALE: NTS

ELECTRICAL

TOWER ENGINEERING GROUP
200, 2139 4th AVENUE NW
CALGARY, AB T2N 0N6
[P] 403.235.2655

ELECTRICAL:
E0.0 - ELECTRICAL SITE PLAN
E0.1 - ELECTRICAL PHOTOMETRICS PLAN
E0.2 - ELECTRICAL PHOTOMETRICS PLAN

CIVIL

RICHVIEW ENGINEERING INC
203, 1010 1ST AVE NE
CALGARY, AB T2E 7W7
[P] 403.230.3218

CIVIL:
01 - SITE SERVICING PLAN
02 - SITE GRADING PLAN

ARCHITECTURAL

COLLABOR8 ARCHITECTURE + DESIGN INC
203, 1010 1ST AVE NE
CALGARY, AB T2E 7W7
[P] 403.233.8448

ARCHITECTURAL:
DP000 - COVER SHEET & SITE INFORMATION
DP001 - EXISTING SITE PHOTOS
DP100 - EXISTING/DEMO SITE PLAN
DP101 - PROPOSED SITE PLAN
DP102 - SITE DETAILS
DP103 - EARTH BIN & MENU BOARD DETAILS
DP104 - SIGNAGE DRAWINGS
DP105 - VEHICLE ACCESS PLANS
L100 - PROPOSED LANDSCAPE PLAN
L101 - LANDSCAPE DETAILS
DP200 - PROPOSED FLOOR/ROOF PLANS
DP201 - PROPOSED GAS PUMP/CANOPY FLOOR PLAN
DP300 - PROPOSED BUILDING ELEVATIONS
DP301 - PROPOSED GAS PUMP/CANOPY ELEVATIONS
DP400 - PROPOSED BUILDING SECTION

MUNICIPAL ADDRESS: #2807 OGDEN ROAD SE CALGARY, AB

LEGAL ADDRESS: PARCEL G; PLAN 5076GS

ZONING: I-G - INDUSTRIAL GENERAL

PROPOSED BUILDING USE: MIXED USE COMMERCIAL: RESTAURANTS - FOOD SERVICE ONLY, COMMERCIAL RETAIL UNIT AND GAS STATION

EXISTING BUILDING USE: - INDUSTRIAL

SETBACKS: NORTH: 6.0m, SOUTH: 1.2m, EAST: 6.0m
WEST: 1.2m

MAXIMUM BUILDING HEIGHT: N/A
EXISTING BUILDING HEIGHT: ±4m (1 STOREY)
PROPOSED BUILDING HEIGHT: ±5.3m (1 STOREY)

PROJECT DESCRIPTION: THE PROJECT WILL COMMENCE WITH THE DEMOLITION OF TWO EXISTING SMALL BUILDINGS TO PREPARE THE SITE FOR REDEVELOPMENT. THE PROPOSED DEVELOPMENT INCLUDES A DRIVE-THROUGH RESTAURANT, TWO ADDITIONAL SMALL RESTAURANT UNITS, AND A GAS BAR WITH INTEGRATED CONVENIENCE STORE. AS PART OF THE OVERALL SITE AND TRANSPORTATION IMPROVEMENTS, MODIFICATIONS TO THE ADJACENT ROADWAY INFRASTRUCTURE ALONG OGDEN ROAD WILL BE UNDERTAKEN, INCLUDING THE INSTALLATION OF TRAFFIC SIGNALS AND RECONFIGURATION OF THE STREET LAYOUT TO SUPPORT SAFE AND EFFICIENT VEHICULAR ACCESS TO THE SITE. THE DEVELOPMENT IS INTENDED TO PROVIDE A COORDINATED COMMERCIAL NODE WITH IMPROVED ACCESS, CIRCULATION, AND SERVICING FOR BOTH VEHICLES AND PEDESTRIANS

SITE AREA:
TOTAL SITE AREA ±6,740m² (±72,550 ft²)

BUILDING AREA
BUILDING: ±734.74m² (±7,908.68 sq.ft)
TOTAL: ±734.74m² (±7,908.68 sq.ft)

WASTE & RECYCLING FOR THE PROPOSED TENANTS:
- 9m³ FOR EVERY 1000m² OF GROSS FLOOR AREA = 6.7m³

PROVIDED 1 WASTE BINS 6.5m³
PROVIDED 1 RECYCLING 6.5m³
PROVIDED 6 COMPOST 65 GALLON CART

PRIVATE WASTE, RECYCLING AND COMPOST PICK UP.

PROVIDED BICYCLE STALLS 4

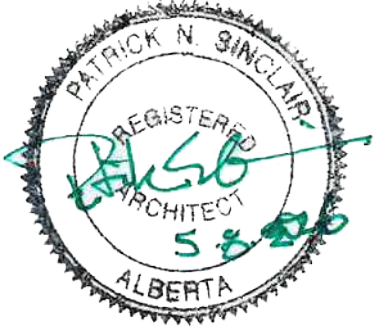
LAND USE BYLAW PARKING CALCULATIONS			
TENANT NAME & GROSS FLOOR AREA	TABLE 4.6(B)	STALL CALCULATIONS	REQUIRED STALLS
GAS BAR & C-STORE 228.98m ²	(n) 1.0 per 30m ² GFA	8	8.0
RESTAURANTS 230.04m ²	(v) restaurant 1.0 per 4 seats	5	5.0
DRIVE THROUGH RESTAURANT 263.34m ²	(n) 3.4 per 100m ² GFA	9	9.0
		TOTAL REQUIRED STALLS	22
		TOTAL PROVIDED STALLS	42

© Copyright Reserved. This drawing and design are, and at all times remain, the property of collabor8 Architecture + Design (Alberta) Inc. and can be reproduced only with written consent. This drawing must not be scaled. Contractors shall verify all dimensions prior to commencement of work, and all omissions and discrepancies shall be reported to the architect.

ISSUED FOR:
01 2026.04.15 CLIENT REVIEW
02 2026.05.08 DP SUBMISSION

collabor8 Architecture +
Design (Alberta) Inc.
#15872
issued pursuant to the
Architects Act (Alberta)

SEAL:



CLIENT:

PROJECT:
2807 OGDEN ROAD SE
SITE REDEVELOPMENT

2807 OGDEN ROAD SE
CALGARY, AB

CONSULTANTS:

SHEET TITLE:

COVER SHEET
& SITE INFORMATION

DATE: JANUARY 2026
SCALE: AS SHOWN
DRAWN BY: RR/PA
PROJECT No: 25.36.01

✓ **VANCOUVER**
t 604.687.3390
e office@c-8.ca
a The Marine Building
180, 355 Burrard St.
Vancouver, BC
Canada V6C 2G8
✓ **CALGARY**
t 403.233.8448
e office@c-8.ca
a 203, 1010 - 1st Ave NE
Calgary, AB
Canada T2E 7W7

DRAWING No:

DP000

collabor8
ARCHITECTURE + DESIGN (ALBERTA) INC.



1
DP001
AERIAL PHOTO - NE CORNER
SCALE: NTS



2
DP001
AERIAL PHOTO - NORTH CORNER
SCALE: NTS



3
DP001
AERIAL PHOTO - EAST CORNER
SCALE: NTS



4
DP001
AERIAL PHOTO - SE CORNER
SCALE: NTS



5
DP001
AERIAL PHOTO - SW CORNER
SCALE: NTS



6
DP001
KEY PLAN
SCALE: NTS

© Copyright Reserved. This drawing and design are, and at all times remain, the property of collabor8 Architecture + Design (Alberta) Inc., and can be reproduced only with written consent. This drawing must not be scaled. Contractors shall verify all dimensions prior to commencement of work, and all omissions and discrepancies shall be reported to the architect.

ISSUED FOR:
01 2026.04.15 CLIENT REVIEW
02 2026.05.08 DP SUBMISSION

SEAL:

CLIENT:

PROJECT:
2807 OGDEN ROAD SE
SITE REDEVELOPMENT

2807 OGDEN ROAD SE
CALGARY, AB
CONSULTANTS:

SHEET TITLE:
EXISTING SITE PHOTOS

DATE: JANUARY 2026
SCALE: AS SHOWN
DRAWN BY: RR/PA
PROJECT No: 25.36.01

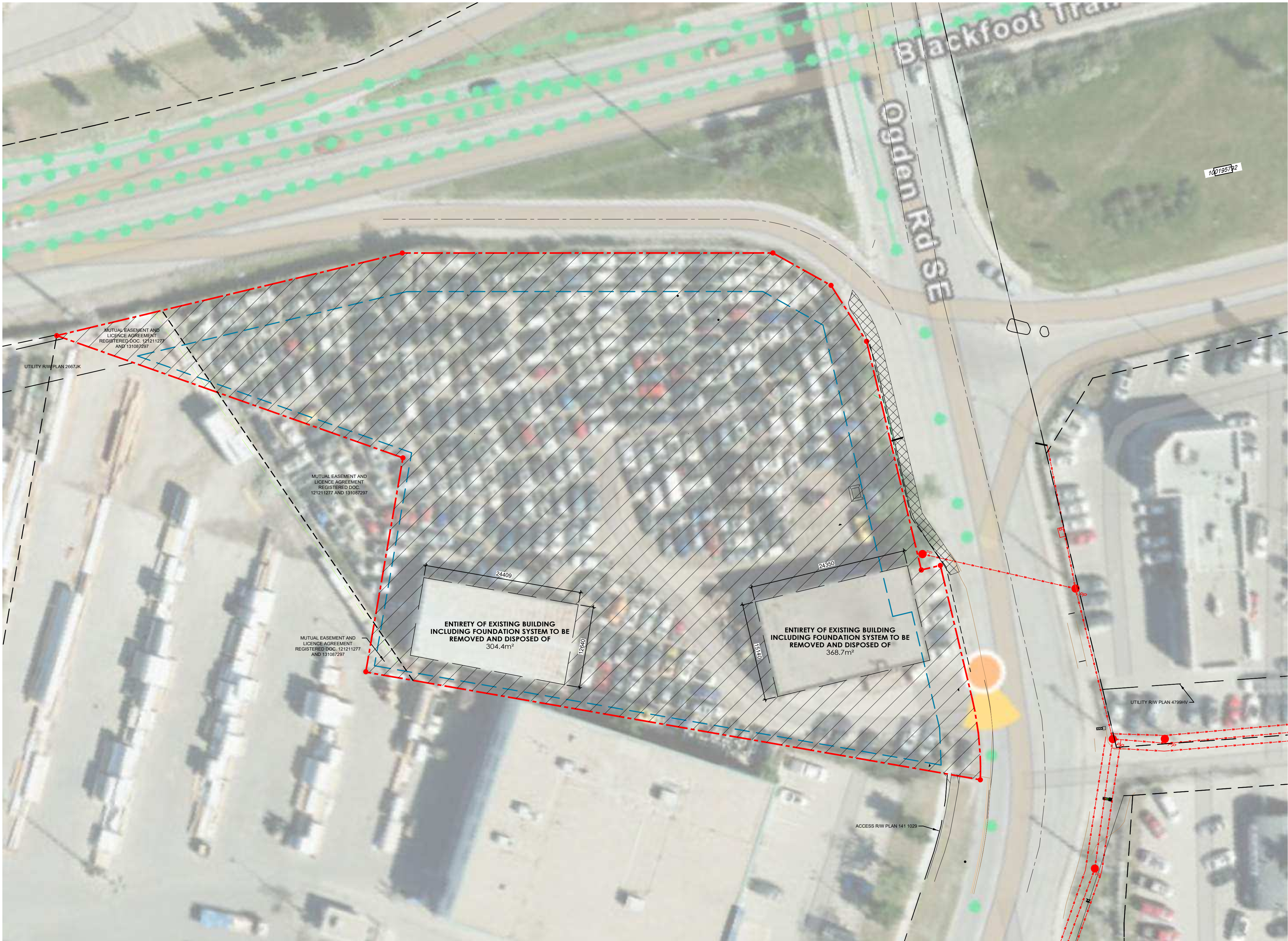
☐ VANCOUVER
t 604.687.3390
e office@c-8.ca
a The Marine Building
180, 355 Burrard St.
Vancouver, BC
Canada V6C 2G8

☒ CALGARY
t 403.233.8448
e office@c-8.ca
a 203, 1010 - 1st Ave NE
Calgary, AB
Canada T2E 7W7

DRAWING No:

DP001

collabor8
ARCHITECTURE + DESIGN (ALBERTA) INC.



1 DEMOLITION PLAN
DP100 SCALE: 1:350



SHEET LEGEND

HATCH INDICATES AREA WHERE EXISTING ASPHALT/CONCRETE TO BE REMOVED AND DISPOSED OF

HATCH INDICATES AREA WHERE EXISTING SIDEWALK TO BE REMOVED AND DISPOSED OF

PROPERTY LINE

SETBACK

BUILDINGS TO BE DEMOLISHED AND REMOVED FROM THE PROPERTY



EXISTING POWER POLE

EXISTING OVERHEAD POWER LINE TO BE UPGRADED

DEMOLITION NOTES:

- DEMOLISHING AND REMOVAL OF THE TWO EXISTING BUILDINGS IN THEIR ENTIRETY, INCLUDING ALL ASSOCIATED FOUNDATIONS, SLABS, DEBRIS, AND BELOW-GRADE REMNANTS UNLESS NOTED OTHERWISE.
- EXISTING SITE COMPONENTS TO REMAIN SHALL BE CAREFULLY SALVAGED, PROTECTED, AND RELOCATED TO THE DESIGNATED NEW LOCATION AS INDICATED ON THE DRAWINGS OR BY THE OWNER.
- REMOVAL OF EXISTING ASPHALT PAVING, BASE, AND RELATED APPURTENANCES IN AREAS AFFECTED BY DEMOLITION AND NEW WORK.
- SITE SHALL BE MAINTAINED IN A SECURE CONDITION THROUGHOUT DEMOLITION AND CONSTRUCTION. PROVIDE AND MAINTAIN TEMPORARY FENCING, BARRICADES, AND SIGNAGE TO PREVENT UNAUTHORIZED ENTRY AND TRESPASS.
- EXISTING PUBLIC SIDEWALKS AND ANY AFFECTED CITY OF CALGARY FRONTAGE IMPROVEMENTS SHALL BE REMOVED AND RECONSTRUCTED TO MATCH CITY STANDARDS AND ADJACENT CONDITIONS, UNLESS OTHERWISE DIRECTED BY THE CITY.
- EXISTING OVERHEAD POWER LINES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER FOR REPLACEMENT, RELOCATION, OR RAISING TO THE REQUIRED CLEARANCE PRIOR TO OR DURING CONSTRUCTION, AS APPLICABLE.
- EXISTING MUNICIPAL UTILITY CONNECTIONS SHALL BE DISCONNECTED, DECOMMISSIONED, OR ABANDONED AS REQUIRED PRIOR TO DEMOLITION AND CONSTRUCTION, AND ALL REQUIRED UTILITY CLEARANCE/SIGN-OFF SHALL BE OBTAINED BEFORE WORK BEGINS.
- ALL ADJACENT PROPERTIES, PUBLIC WALKWAYS, STREETS, CURBS, UTILITIES, TREES, LANDSCAPING, AND OTHER IMPROVEMENTS SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- ANY AREAS ADJACENT TO OR AFFECTED BY NEW CONSTRUCTION, DEMOLITION, OR UTILITY WORK SHALL BE PATCHED, REPAIRED, REFINISHED, AND MADE GOOD TO MATCH EXISTING OR NEW CONDITIONS, AS APPLICABLE
- SAFE ACCESS AND EGRESS FOR WORKERS, OCCUPANTS, INSPECTORS, EMERGENCY RESPONDERS, AND REQUIRED SITE OPERATIONS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK.

© Copyright Reserved. This drawing and design are, and at all times remain, the property of collabor8 Architecture + Design (Alberta) Inc. and can be reproduced only with written consent. This drawing must not be scaled. Contractors shall verify all dimensions prior to commencement of work, and all omissions and discrepancies shall be reported to the architect.

ISSUED FOR:
01 2026.04.15 CLIENT REVIEW
02 2026.05.08 DP SUBMISSION

SEAL:

CLIENT:

PROJECT:
2807 OGDEN ROAD SE
SITE REDEVELOPMENT

2807 OGDEN ROAD SE
CALGARY, AB

CONSULTANTS:

SHEET TITLE:
EXISTING/DEMO
SITE PLAN

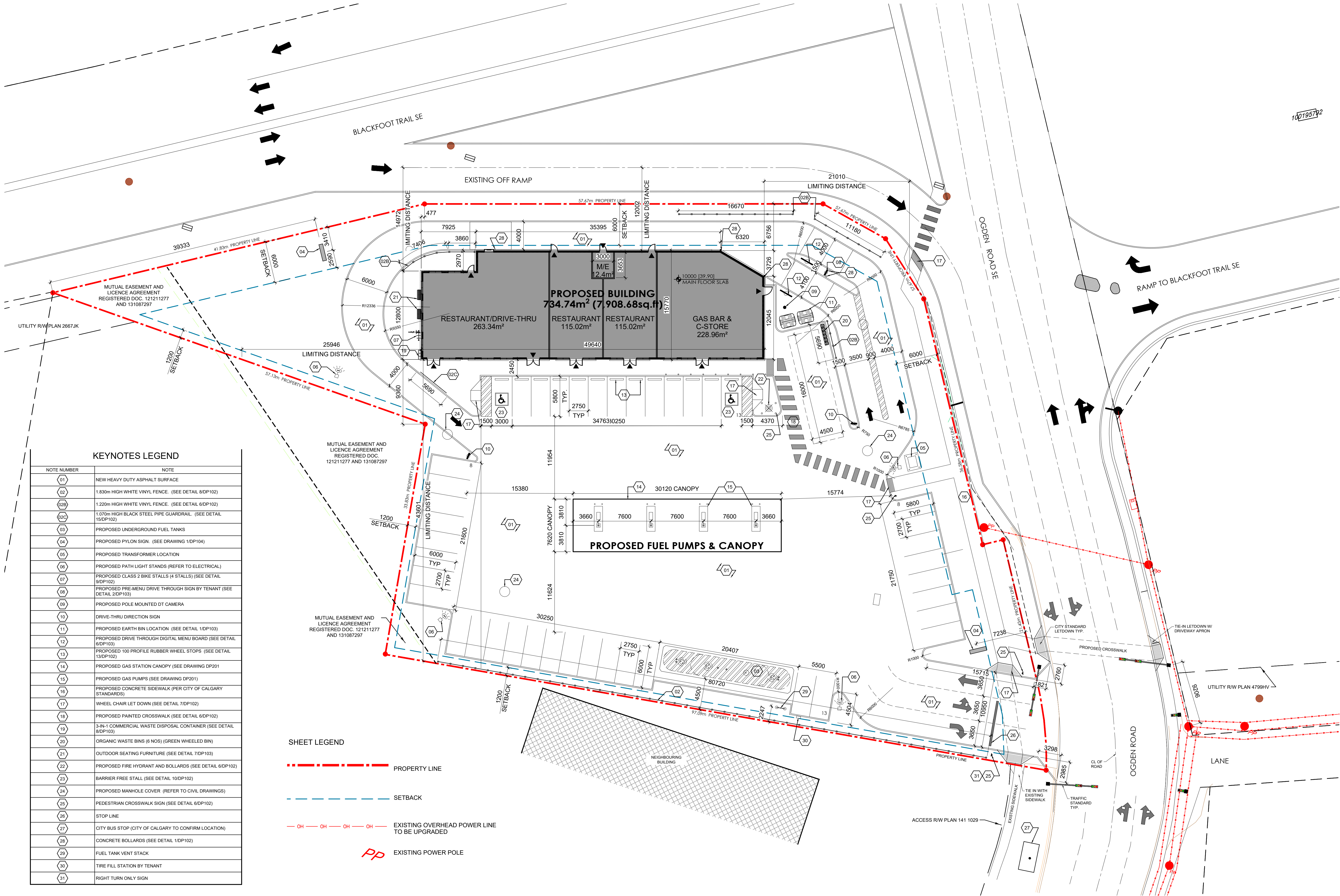
DATE: JANUARY 2026
SCALE: AS SHOWN
DRAWN BY: RR/PA
PROJECT No: 25.36.01

☐ VANCOUVER
t 604.687.3390
e office@c-8.ca
a The Marine Building
180, 355 Burrard St.
Vancouver, BC
Canada V6C 2G8
☒ CALGARY
t 403.233.8448
e office@c-8.ca
a 203, 1010 - 1st Ave NE
Calgary, AB
Canada T2E 7W7

DRAWING No:

DP100

collabor8
ARCHITECTURE + DESIGN (ALBERTA) INC.



KEYNOTES LEGEND	
NOTE NUMBER	NOTE
01	NEW HEAVY DUTY ASPHALT SURFACE
02	1.830m HIGH WHITE VINYL FENCE. (SEE DETAIL 6/DP102)
02B	1.220m HIGH WHITE VINYL FENCE. (SEE DETAIL 6/DP102)
02C	1.070m HIGH BLACK STEEL PIPE GUARDRAIL. (SEE DETAIL 15/DP102)
03	PROPOSED UNDERGROUND FUEL TANKS
04	PROPOSED PYLON SIGN. (SEE DRAWING 1/DP104)
05	PROPOSED TRANSFORMER LOCATION
06	PROPOSED PATH LIGHT STANDS (REFER TO ELECTRICAL)
07	PROPOSED CLASS 2 BIKE STALLS (4 STALLS) (SEE DETAIL 9/DP102)
08	PROPOSED PRE-MENU DRIVE THROUGH SIGN BY TENANT (SEE DETAIL 2/DP103)
09	PROPOSED POLE MOUNTED DT CAMERA
10	DRIVE-THRU DIRECTION SIGN
11	PROPOSED EARTH BIN LOCATION (SEE DETAIL 1/DP103)
12	PROPOSED DRIVE THROUGH DIGITAL MENU BOARD (SEE DETAIL 6/DP103)
13	PROPOSED 100 PROFILE RUBBER WHEEL STOPS (SEE DETAIL 13/DP102)
14	PROPOSED GAS STATION CANOPY (SEE DRAWING DP201)
15	PROPOSED GAS PUMPS (SEE DRAWING DP201)
16	PROPOSED CONCRETE SIDEWALK (PER CITY OF CALGARY STANDARDS)
17	WHEEL CHAIR LET DOWN (SEE DETAIL 7/DP102)
18	PROPOSED PAINTED CROSSWALK (SEE DETAIL 6/DP102)
19	3-IN-1 COMMERCIAL WASTE DISPOSAL CONTAINER (SEE DETAIL 8/DP103)
20	ORGANIC WASTE BINS (6 NOS) (GREEN WHEELED BIN)
21	OUTDOOR SEATING FURNITURE (SEE DETAIL 7/DP103)
22	PROPOSED FIRE HYDRANT AND BOLLARDS (SEE DETAIL 6/DP102)
23	BARRIER FREE STALL (SEE DETAIL 10/DP102)
24	PROPOSED MANHOLE COVER (REFER TO CIVIL DRAWINGS)
25	PEDESTRIAN CROSSWALK SIGN (SEE DETAIL 6/DP102)
26	STOP LINE
27	CITY BUS STOP (CITY OF CALGARY TO CONFIRM LOCATION)
28	CONCRETE BOLLARDS (SEE DETAIL 1/DP102)
29	FUEL TANK VENT STACK
30	TIRE FILL STATION BY TENANT
31	RIGHT TURN ONLY SIGN

SHEET LEGEND	
	PROPERTY LINE
	SETBACK
	EXISTING OVERHEAD POWER LINE TO BE UPGRADED
	EXISTING POWER POLE

collabor8 Architecture + Design (Alberta) Inc. #15872 issued pursuant to the Architects Act, Alberta

SEAL:

CLIENT:

PROJECT: 2807 OGDEN ROAD SE SITE REDEVELOPMENT

2807 OGDEN ROAD SE CALGARY, AB

CONSULTANTS:

SHEET TITLE: PROPOSED SITE PLAN

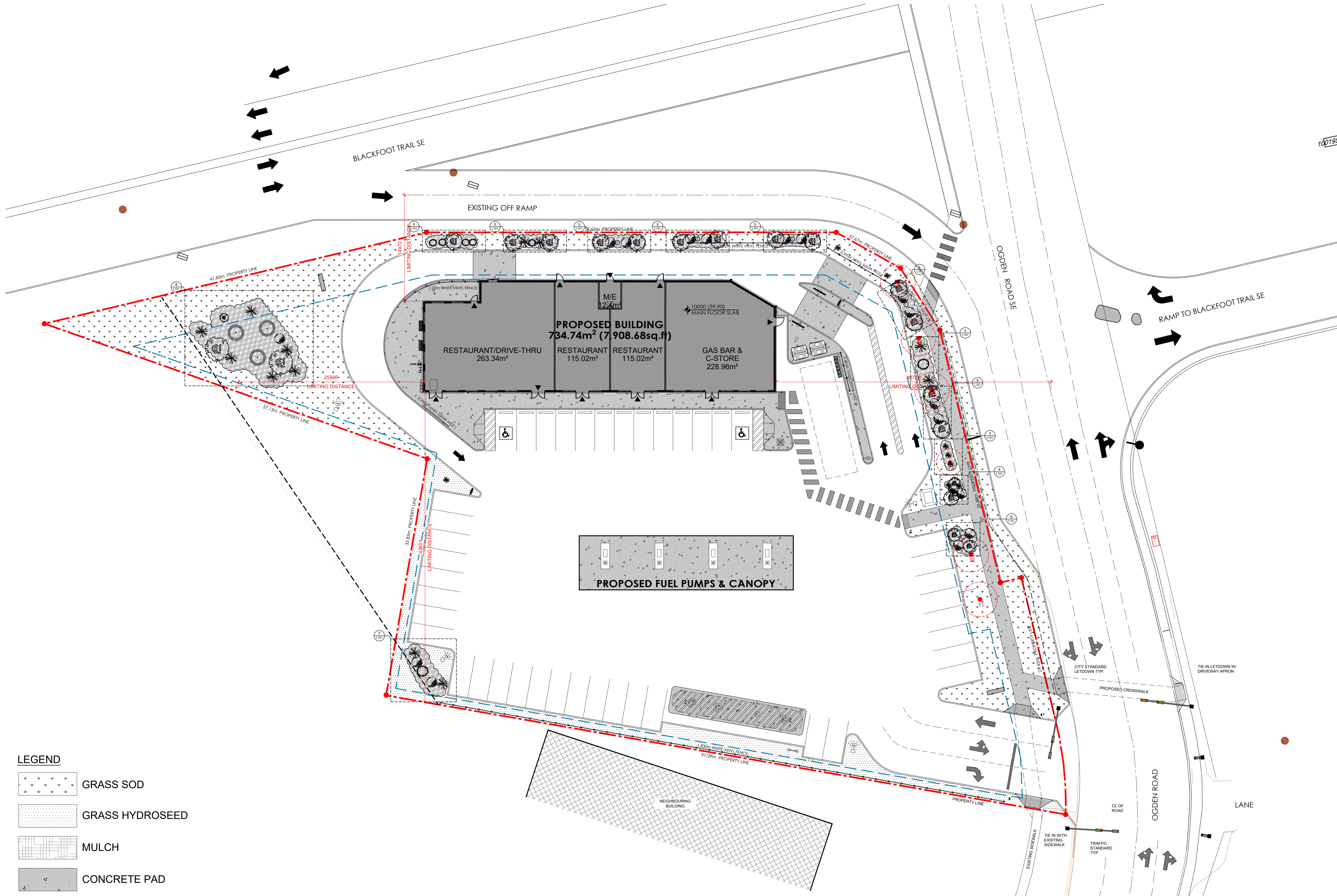
DATE: JANUARY 2026
SCALE: AS SHOWN
DRAWN BY: RR/PA
PROJECT No: 25.36.01

☐ VANCOUVER
t 604.687.3390
e office@c-8.ca
a The Marine Building
180, 385 Burrard St.
Vancouver, BC
Canada V6C 2G8

☒ CALGARY
t 403.233.8448
e office@c-8.ca
a 203, 1010 - 1st Ave NE
Calgary, AB
Canada T2E 7W7

collabor8 ARCHITECTURE + DESIGN (ALBERTA) INC.

DRAWING No: DP101



- LEGEND**
- GRASS SOD
 - GRASS HYDROSEED
 - MULCH
 - CONCRETE PAD

EXISTING TREE LEGEND									
EXISTING TREE LEGEND									
SYMBOL	KEY	QTY	UNIT	COMMON NAME	REFERENCE CODE	CALIPER	HEIGHT (m)	CONIFEROUS/ DECIDUOUS	NOTES
	T1	1	EACH	POPULAR SPECIES	T-32022713	240mm	4.5m	D	TO BE REMOVED
	T2	1	EACH	POPULAR SPECIES	T-32022712	470mm	4.5m	D	TO BE REMOVED
	T3	1	EACH	ASH GREEN	T-32022710	40mm	3.0m	D	TO BE REMOVED
	T4	1	EACH	-	T-32019347	300mm	3.0m	D	TO BE REMOVED
	T5	1	EACH	-	T-32022186	300mm	3.0m	D	TO BE REMOVED
	T6	1	EACH	POPULAR SPECIES	T-32022185	250mm	4.5m	D	TO BE REMOVED

NEW TREE LEGEND										
SYMBOL	KEY	QTY	UNIT	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT (m)	SPREAD (m)	CONIFEROUS/ DECIDUOUS	NOTES
		18	EACH	POPULUS TREMULA 'ERECTA'	SWEDISH COLUMNAR ASPEN	50mm	2m	1.8m	D	
		3	EACH	PINUS LONGAeva	BRISTLECONE PINE	50mm	2.0m	3.0m	C	
		3	EACH	PICEA PUNGENS 'FASTIGIATA'	COLUMNAR COLORADO SPRUCE	75mm	3.0m	2.0m	C	
TOTAL NEW TREES		24								

NEW SHRUB & GRASS LEGEND										
		8	EACH	JUNIPERUS SABINA	SAVIN JUNIPER		0.75m	0.75m		
		20	EACH	VIBURNUM LATANA	WAYFARING TREE		0.3m	1.5m		
		20	EACH	SYMPHORICAPOS ALBA	SNOWBERRY		1.5m	1.5m		
TOTAL NEW SHRUBS		48								

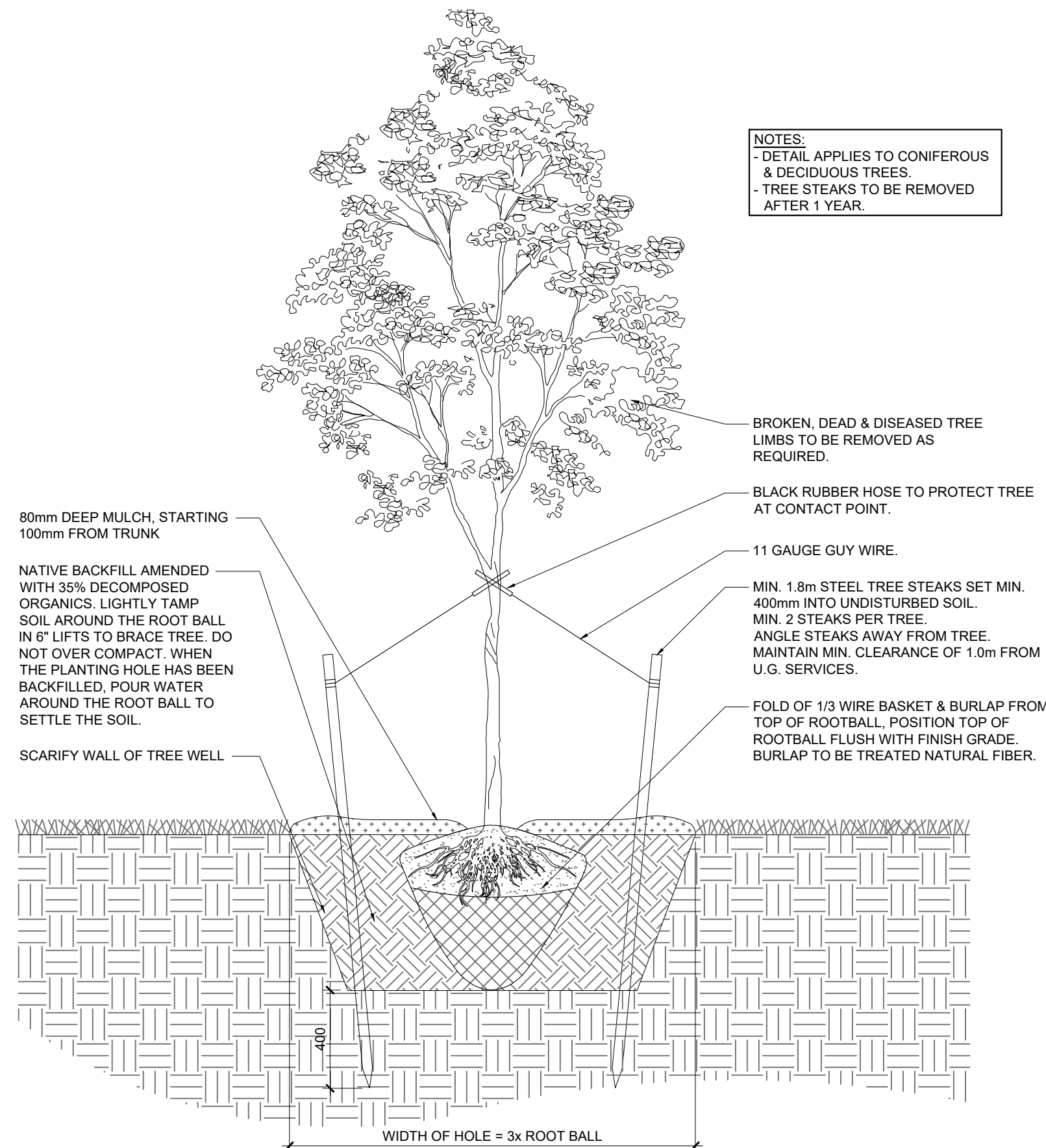
LANDSCAPE GENERAL NOTES	
1)	ALL BEDS & PLANTERS TO HAVE 80mm NEW BARK MULCH INSTALLED
LANDSCAPE PLAN NOTES	
	ALL NEW BEDS AND PLANTERS ARE TO BE IRRIGATED AND CONNECT TO EXISTING IRRIGATION SYSTEM

LANDSCAPE REQUIREMENTS

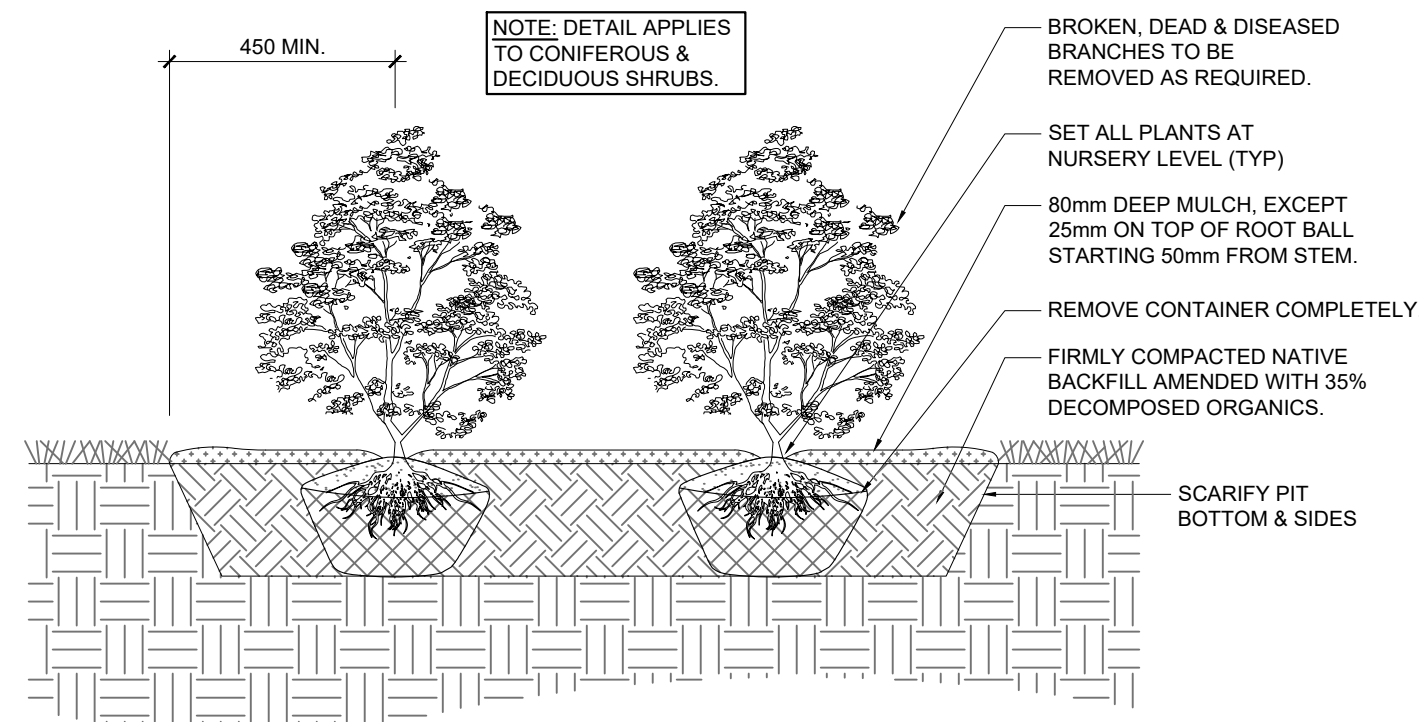
- PLANTING REQUIREMENTS**
- 1 ALL PLANT MATERIALS MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.
- 2 A MINIMUM OF 25.0 PER CENT OF ALL TREES REQUIRED MUST BE CONIFEROUS.
- 3 DECIDUOUS TREES MUST HAVE A MINIMUM CALLIPER OF 50 MILLIMETRES AND AT LEAST 50.0 PER CENT OF THE PROVIDED DECIDUOUS TREES MUST HAVE A MINIMUM CALLIPER OF 75 MILLIMETRES AT THE TIME OF PLANTING.
- 4 CONIFEROUS TREES MUST HAVE A MINIMUM HEIGHT OF 2.0 METRES AND AT LEAST 50.0 PER CENT OF THE PROVIDED CONIFEROUS TREES MUST BE A MINIMUM OF 3.0 METRES IN HEIGHT AT THE TIME OF PLANTING.
- 5 SHRUBS MUST BE A MINIMUM HEIGHT OR SPREAD OF 0.6 METRES AT THE TIME OF PLANTING.
- 6 SOFT SURFACED LANDSCAPED AREAS MAY INCLUDE URBAN AGRICULTURE.
- 7 WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A STREET, EXPRESSWAY OR MAJOR STREET, THE SETBACK AREA MUST:
- A BE A SOFT SURFACED LANDSCAPED AREA; AND
- B PROVIDE A MINIMUM OF 1.0 TREES AND 2.0 SHRUBS:
- I FOR EVERY 35.0 SQUARE METRES; OR
- II FOR EVERY 50.0 SQUARE METRES, WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM.

CALCULATIONS
LANDSCAPE SETBACK AREA = 1,173.97m²
NUMBER OF PLANTINGS REQUIRED = 1,173.97/50 = 23.47 = 24 TREES / 48 SHRUBS
OF 3M 75MM CALIPER CONIFEROUS TREES = 3
OF 2M 50MM CALIPER CONIFEROUS TREES = 3
OF 2M 50MM CALIPER DECIDUOUS TREES = 18
OF SHRUBS MIN HEIGHT OR SPREAD OF 0.6M = 48

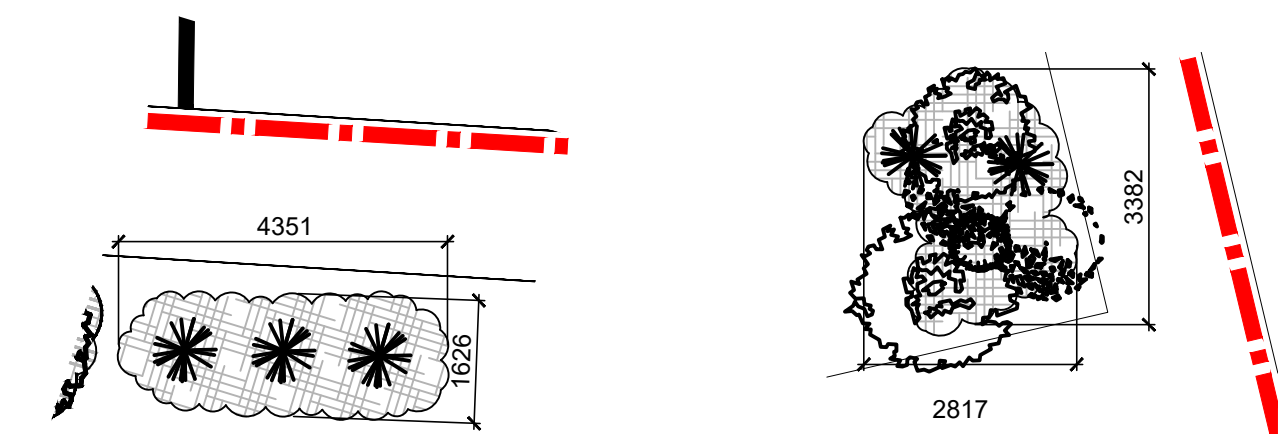
- NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CNTA STANDARDS FOR NURSERY STOCK, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES.
- * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS.
- * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CNTA STANDARDS FOR NURSERY STOCK - DEFINITION OF CONDITIONS OF AVAILABLE.
- NOTE: CONTRACTOR TO CONTACT CITIES UTILITY DIVISION FOR APPROVAL OF LAYOUT PRIOR TO PLANTING IN UNITY R.O.W.
- NOTE: CONTRACTOR TO PROVIDE SEPARATE PRICE FOR DESIGN BUILD LOW WATER IRRIGATION SYSTEM FOR ALL SOFT LANDSCAPE AREAS AS PER CTC SPECIFICATION SECTION 02010 - REVIEW MECH DRAWING FOR WATER CONNECTION LOCATION - EXTEND CONNECTION TO LANDSCAPE BED FOR SERVICING.
- NOTE: ALL TREES IN GRASS AREAS TO HAVE FIBRE MULCH (100mm DEPTH) MULCH TO BE UNTREATED FIBRES OR CHIPS PROVIDE SAMPLE FOR APPROVAL.
PLACE 75mm DEPTH WOOD MULCH AS PER DETAIL. CUT 1000 X 1000 OPENING WHERE TREES ARE TO BE INSTALLED.
- MINIMUM GROWING MEDIUM DEPTHS AS FOLLOWS:
150mm FOR SOODED AREAS - SOD AS NOTED ON PLANS
450mm FOR PLANTING BEDS
- WOOD MULCH: 20mm (3/4") MINUS. FREE OF ALL SOIL, STONES, ROOTS OR OTHER EXTRANEEOUS MATTER.
MULCH ALL SHRUB PLANTING AREAS WITH AN EVEN LAYER OF WOOD CHIPS TO 2 1/2" (65mm) DEPTH, OVER LANDSCAPE NEED CONTROL FABRIC (SEE SPEC, BELOW).
WEED CONTROL FABRIC TO BE 50Z WEED BARRIER FABRIC.



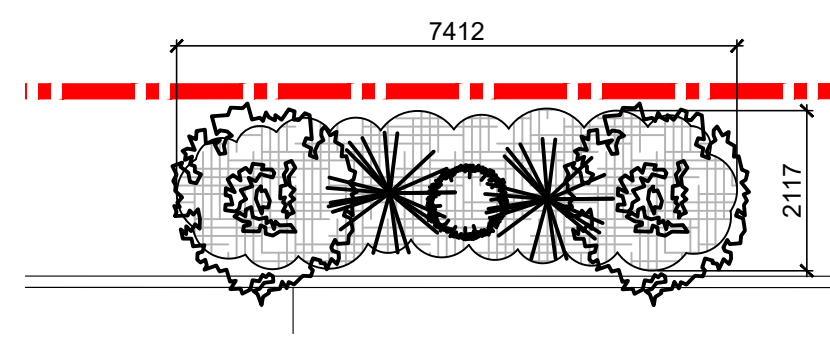
1 TYPICAL TREE PLANTING
SCALE: NTS



2 TYPICAL SHRUB PLANTING
SCALE: NTS



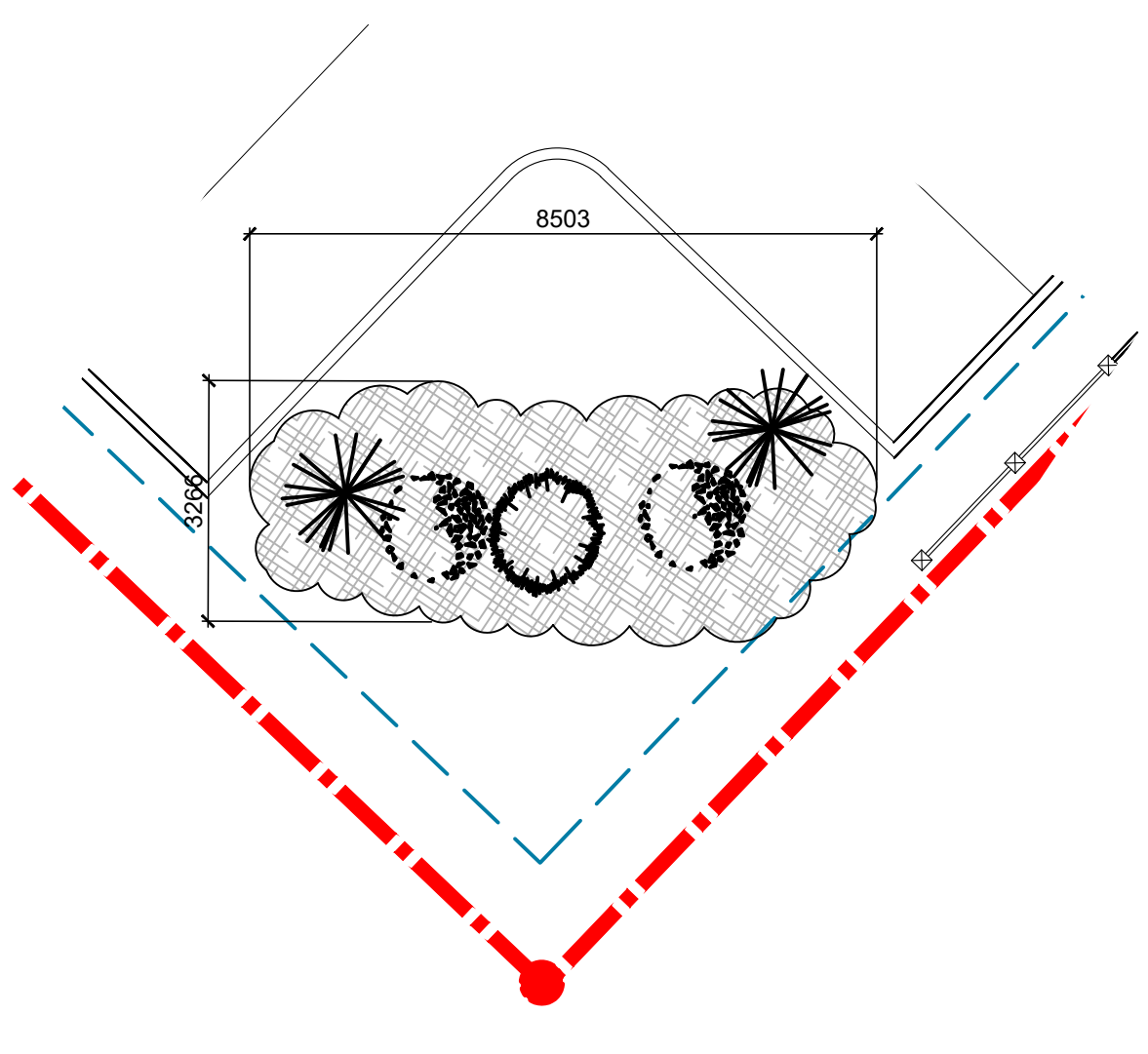
3 PLANTING PLAN
SCALE: 1:50



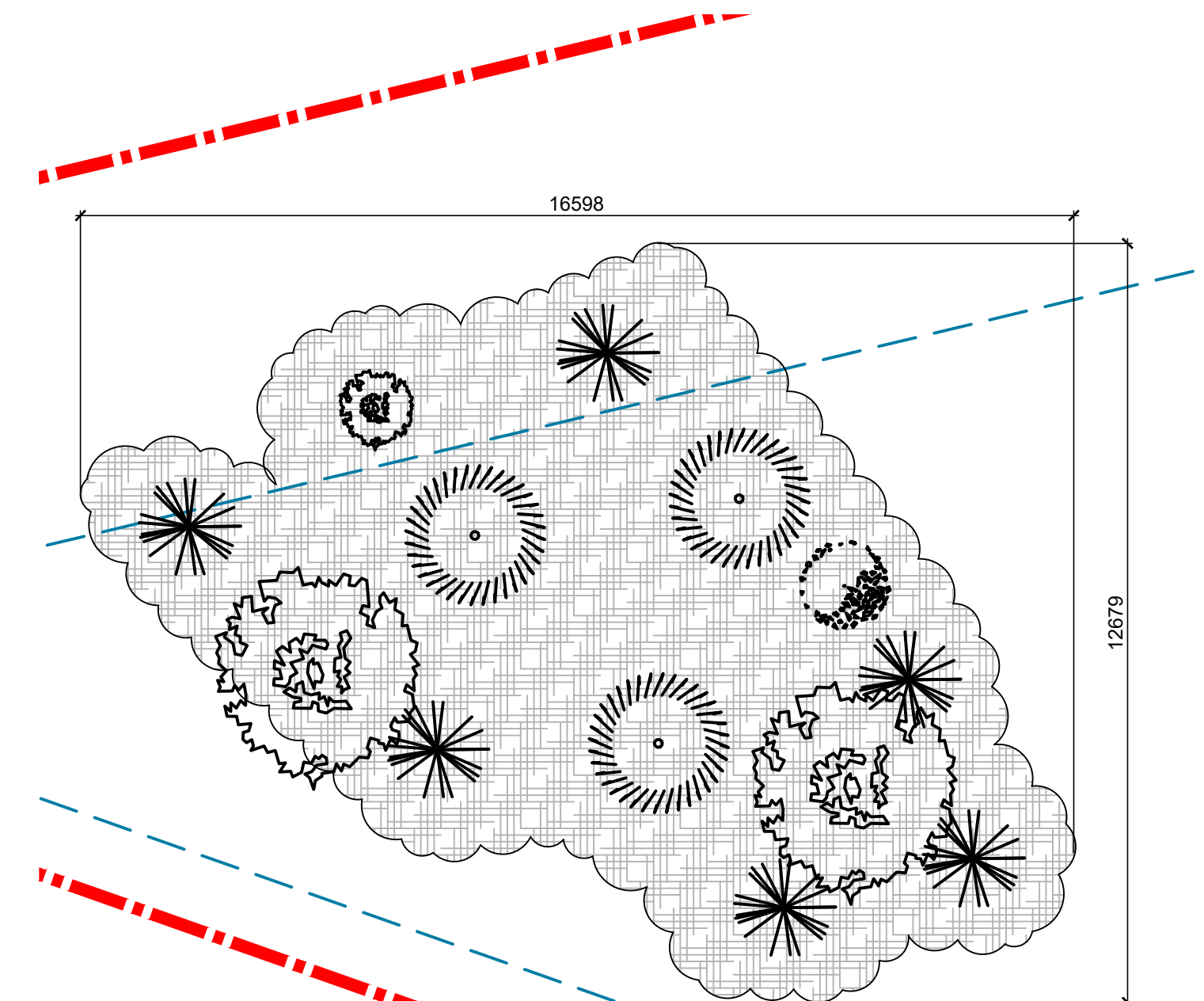
4 PLANTING PLAN
SCALE: 1:50



5 PLANTING PLAN X8
SCALE: 1:50



6 PLANTING PLAN
SCALE: 1:50



7 PLANTING PLAN
SCALE: 1:100

© Copyright Reserved. This drawing and design are, and at all times remain, the property of collabor8 Architecture + Design (Alberta) Inc. and can be reproduced only with written consent. This drawing must not be scaled. Contractors shall verify all dimensions prior to commencement of work, and all omissions and discrepancies shall be reported to the architect.

ISSUED FOR:
01 2026.04.15 CLIENT REVIEW
02 2026.05.08 DP SUBMISSION

collabor8 Architecture + Design (Alberta) Inc.
#15872
issued pursuant to the Architects Act (Alberta)

SEAL:



CLIENT:

PROJECT:
2807 OGDEN ROAD SE
SITE REDEVELOPMENT

2807 OGDEN ROAD SE
CALGARY, AB
CONSULTANTS:

SHEET TITLE:
LANDSCAPE DETAILS

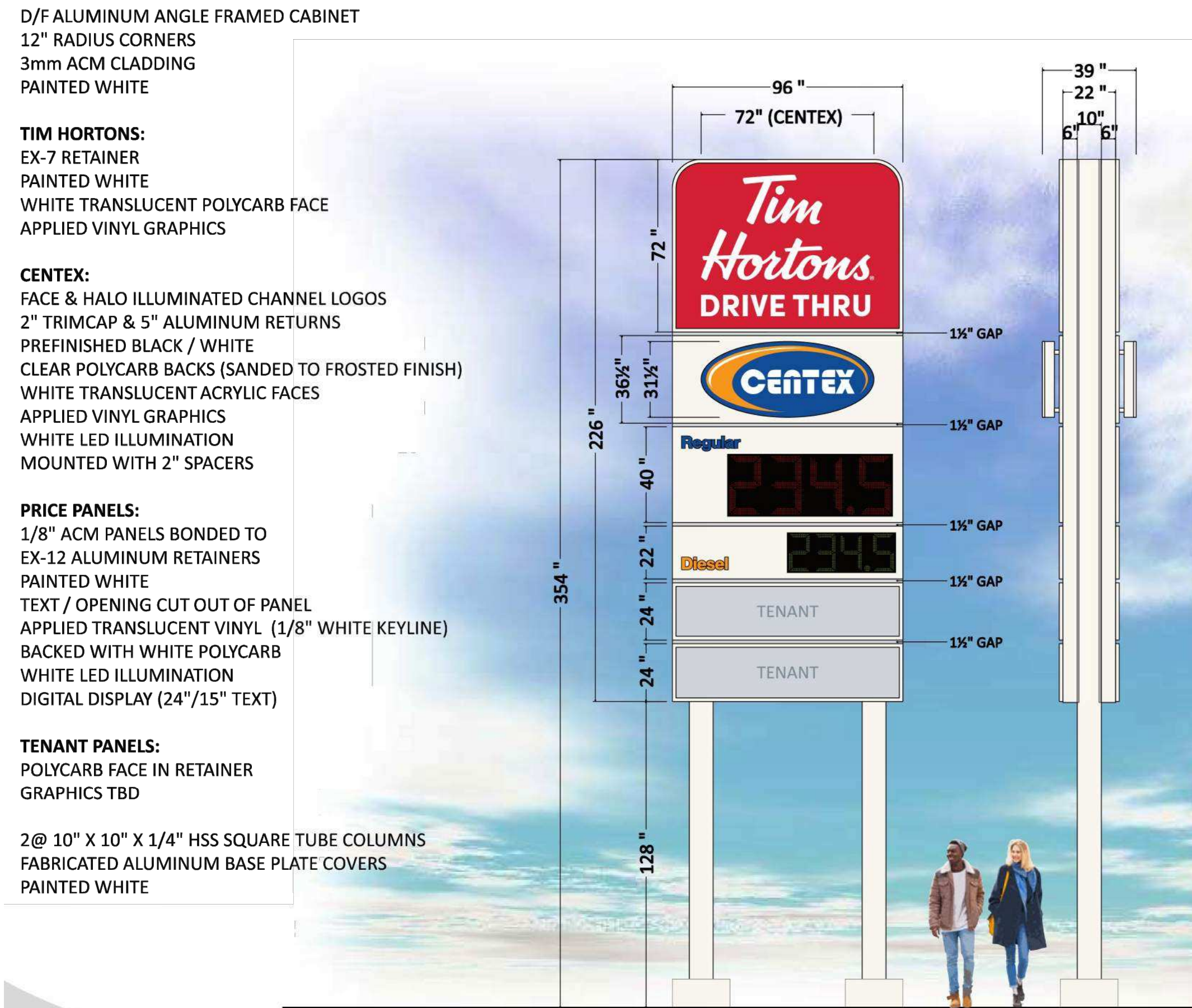
DATE: JANUARY 2026
SCALE: AS SHOWN
DRAWN BY: RR/PA
PROJECT No: 25.36.01

☐ VANCOUVER
t 604.687.3390
e office@c-8.ca
a The Marine Building
180, 355 Burrard St.
Vancouver, BC
Canada V6C 2G8
☒ CALGARY
t 403.233.8448
e office@c-8.ca
a 203, 1010 - 1st Ave NE
Calgary, AB
Canada T2E 7W7

DRAWING No:

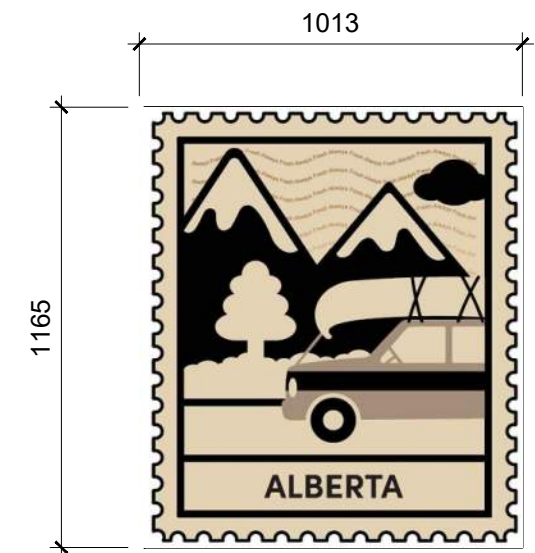
L101

collabor8
ARCHITECTURE + DESIGN (ALBERTA) INC.



1 ILLUMINATED PYLON SIGN x2
DP104 SCALE: NTS

PLYON SIGN NOTES
1) POWER SUPPLY FOR PYLON SIGNS TO BE RUN UNDERGROUND
2) CONCRETE BASE BY STRUCTURAL ENGINEER



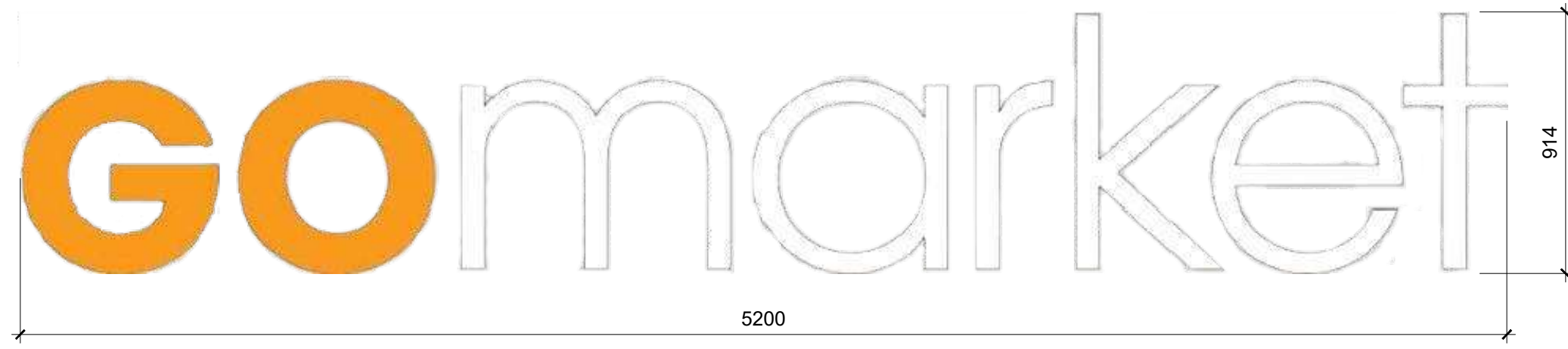
6 ILLUMINATED TENANT SIGN
DP104 SCALE: 1:20



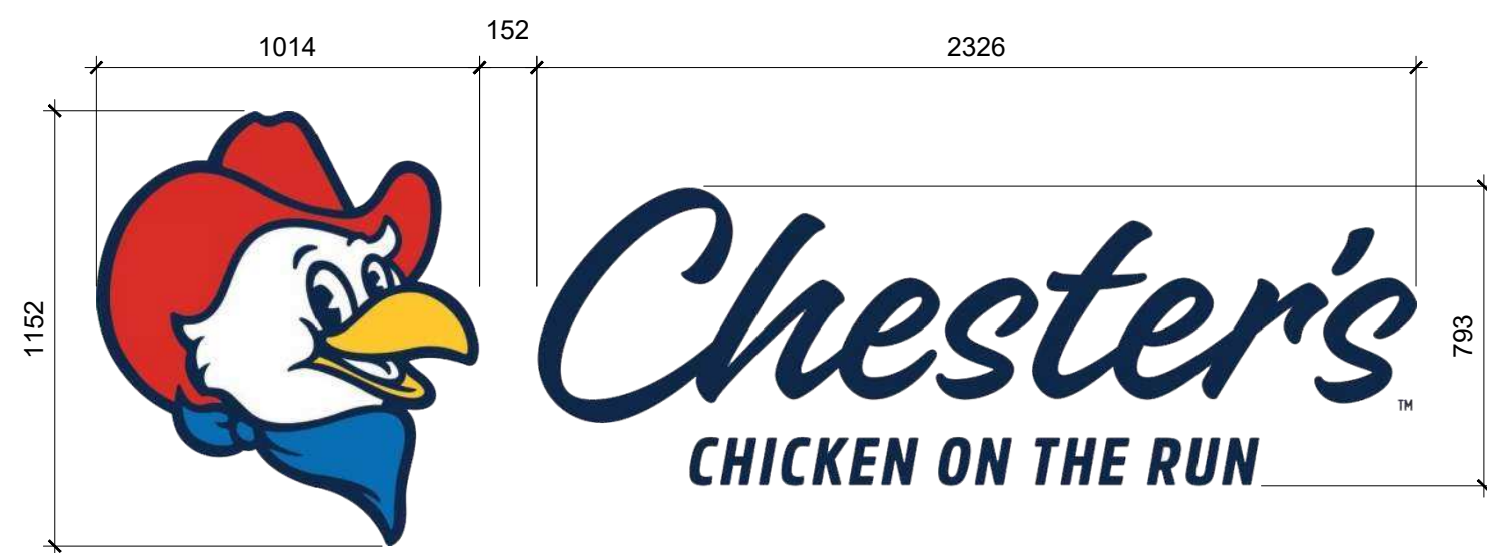
5 ILLUMINATED TENANT SIGN x2
DP104 SCALE: 1:20



4 ILLUMINATED TENANT SIGN
DP104 SCALE: NTS



3 ILLUMINATED TENANT SIGN
DP104 SCALE: NTS



2 ILLUMINATED TENANT SIGN
DP104 SCALE: NTS

© Copyright Reserved. This drawing and design are, and at all times remain, the property of collabor8 Architecture + Design (Alberta) Inc. and can be reproduced only with written consent. This drawing must not be scaled. Contractors shall verify all dimensions prior to commencement of work, and all omissions and discrepancies shall be reported to the architect.

ISSUED FOR:
01 2026.04.15 CLIENT REVIEW
02 2026.05.08 DP SUBMISSION

collabor8 Architecture +
Design (Alberta) Inc.
#15872
issued pursuant to the
Architects Act (Alberta)
5.8.2026

SEAL:



CLIENT:

PROJECT:
2807 OGDEN ROAD SE
SITE REDEVELOPMENT

2807 OGDEN ROAD SE
CALGARY, AB
CONSULTANTS:

SHEET TITLE:
SIGNAGE DRAWINGS

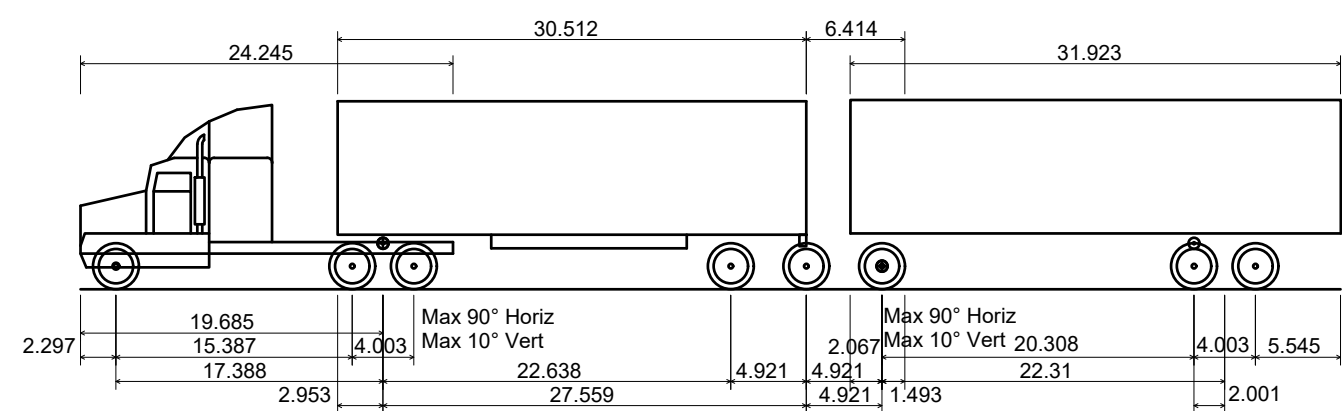
DATE: JANUARY 2026
SCALE: AS SHOWN
DRAWN BY: RR/PA
PROJECT No: 25.36.01

☐ VANCOUVER
t 604.687.3390
e office@c-8.ca
a The Marine Building
180, 355 Burrard St.
Vancouver, BC
Canada V6C 2G8
☒ CALGARY
t 403.233.8448
e office@c-8.ca
a 203, 1010 - 1st Ave NE
Calgary, AB
Canada T2E 7W7

DRAWING No:

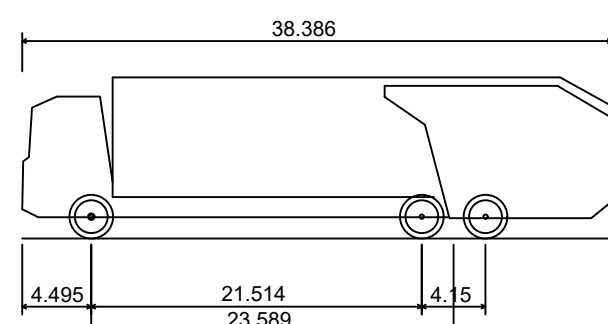
DP104

collabor8
ARCHITECTURE + DESIGN (ALBERTA) INC.



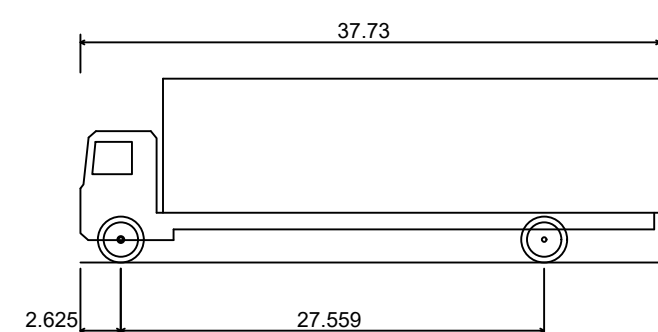
B-TRAIN - B-Train Double

Overall Length	82.021ft
Overall Width	8.530ft
Overall Body Height	12.320ft
Min Body Ground Clearance	1.427ft
Track Width	8.530ft
Lock-to-lock time	5.00s
Curb to Curb Turning Radius	40.026ft



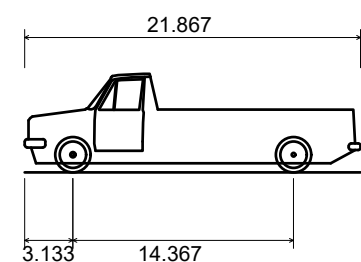
EARTHBIN Refuse Truck

Overall Length	38.386ft
Overall Width	8.104ft
Overall Body Height	10.499ft
Min Body Ground Clearance	1.329ft
Track Width	8.104ft
Lock-to-lock time	6.00s
Wall to Wall Turning Radius	35.302ft



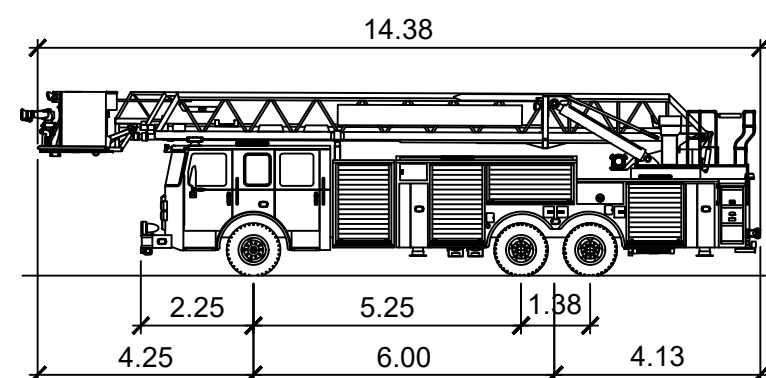
HSU - Heavy Single Unit Truck

Overall Length	37.730ft
Overall Width	8.530ft
Overall Body Height	11.974ft
Min Body Ground Clearance	1.460ft
Track Width	8.530ft
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	46.260ft



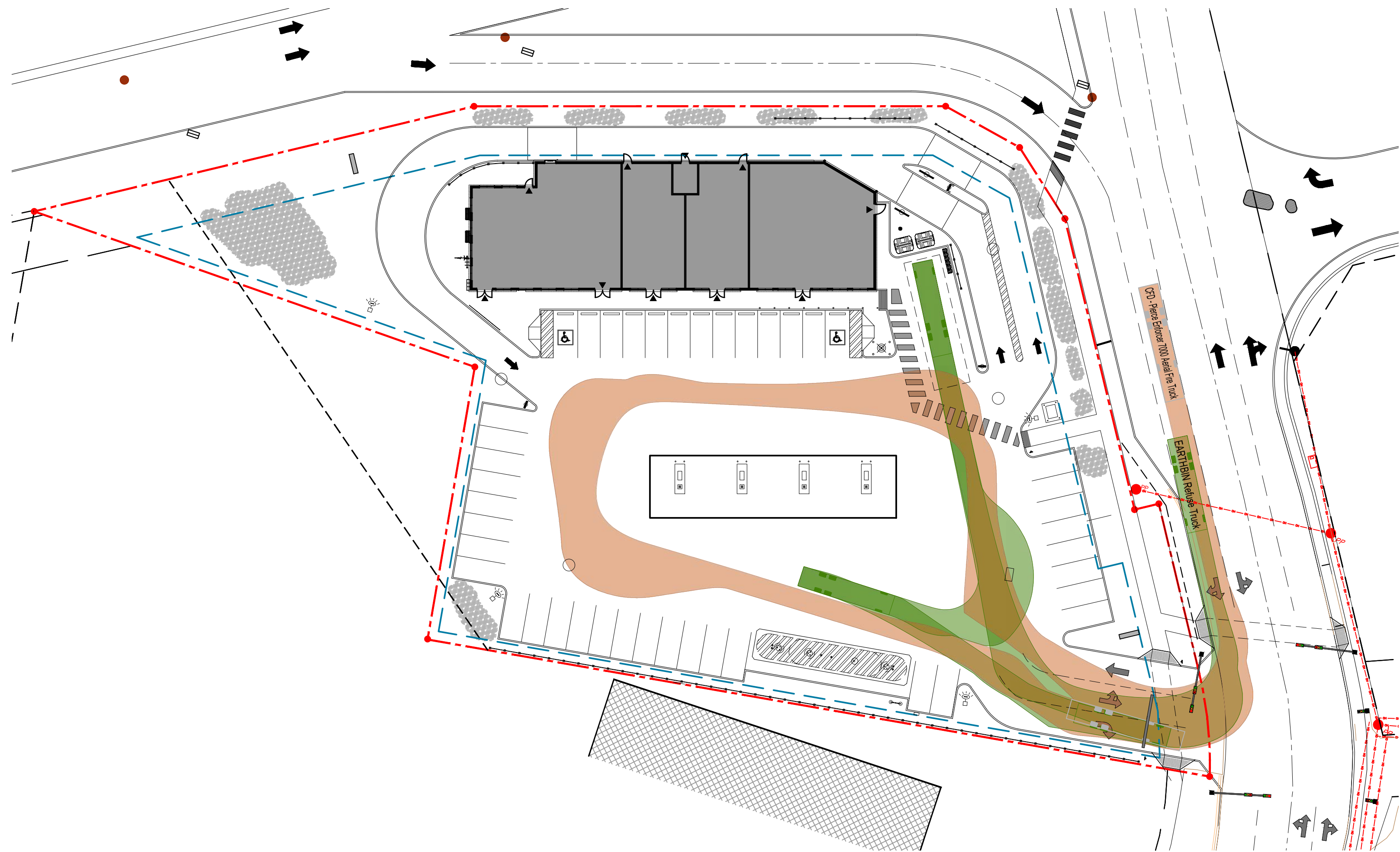
F-350 CrewCab DRW LWB 4x2

Overall Length	21.867ft
Overall Width	6.658ft
Overall Body Height	6.417ft
Min Body Ground Clearance	0.592ft
Track Width	6.658ft
Lock-to-lock time	5.00s
Curb to Curb Turning Radius	29.250ft

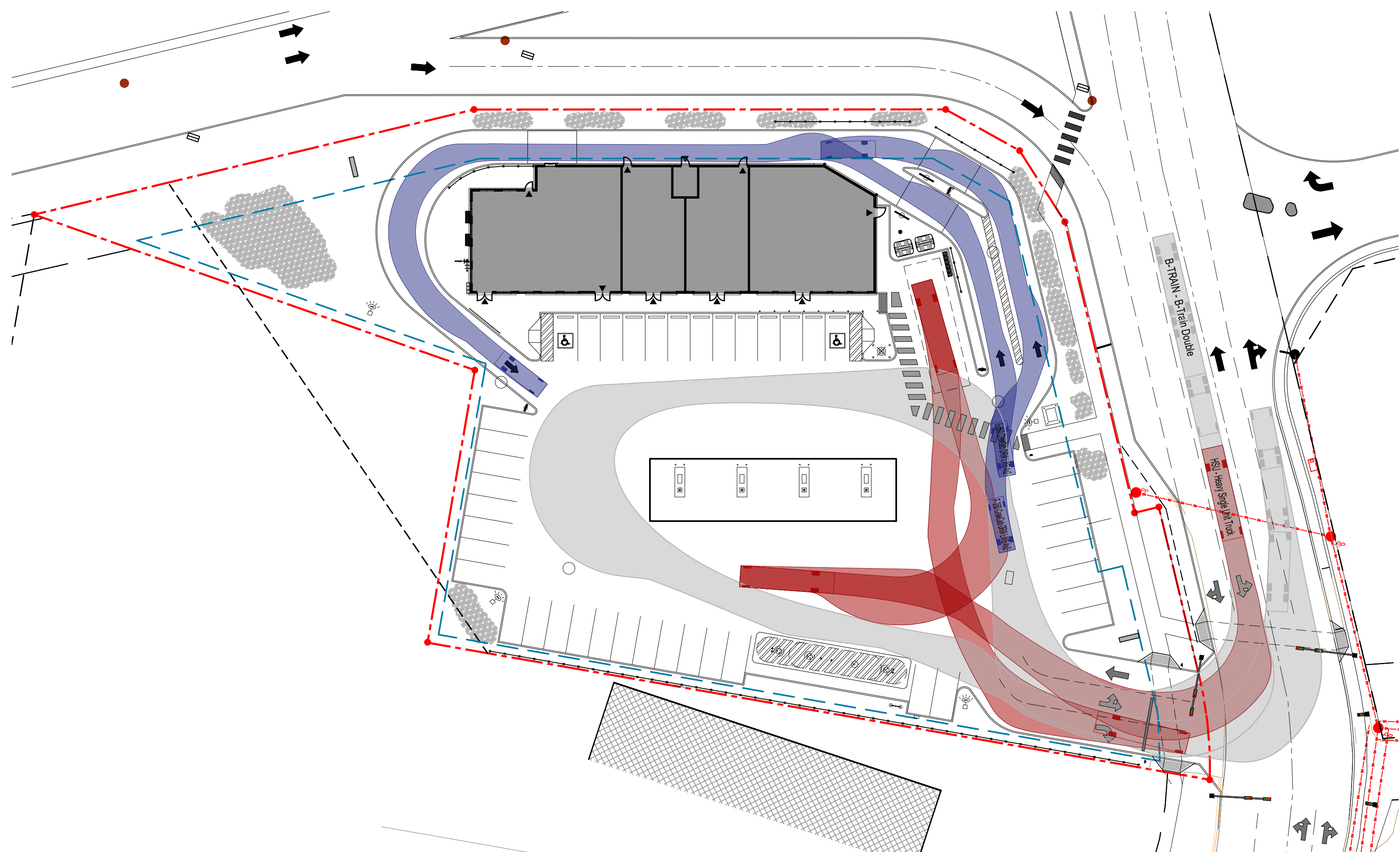


CFD - PIERCE ENFORCER 7000 AERIAL FIRE TRUCK

OVERALL LENGTH	14.38m
OVERALL WIDTH	2.44m
OVERALL BODY HEIGHT	3.71m
MIN BODY GROUND CLEARANCE	0.38m
TRACK WIDTH	2.30m
LOCK-TO-LOCK TIME	6.00s
MAC STEERING ANGLE (VIRTUAL)	44.00°

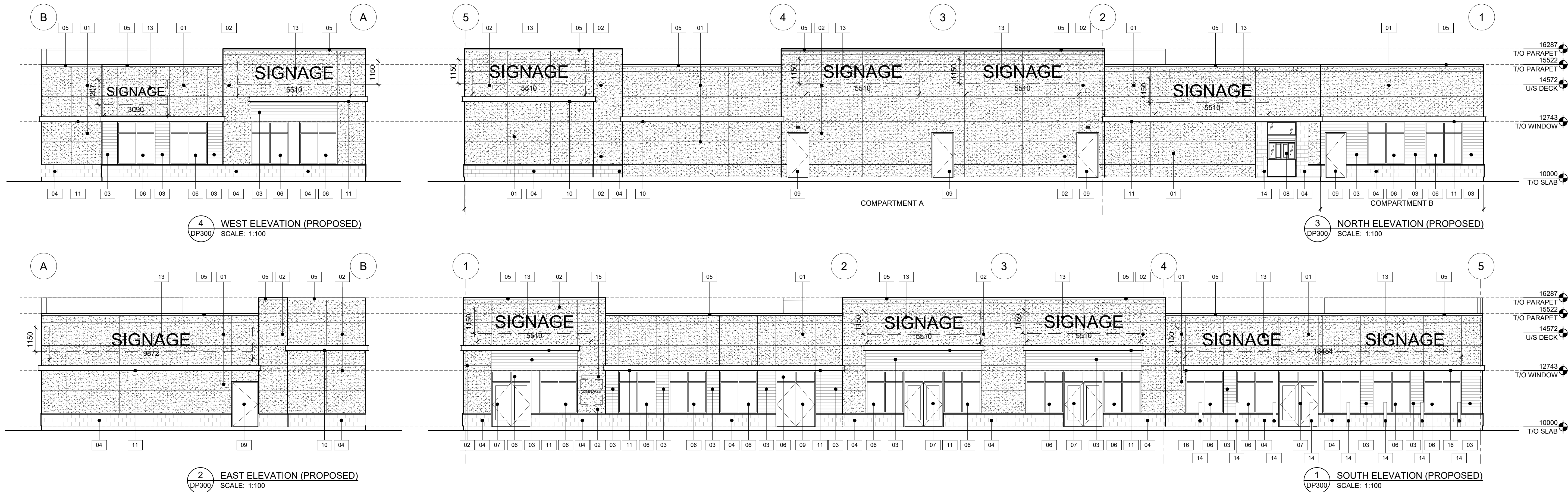


1 EARTHBIN & FIRETRUCK ACCESS PLAN
DP105 SCALE: 1:400



2 B-TRAIN, HSU & F-350 ACCESS PLAN
DP105 SCALE: 1:400

3 VEHICLE DETAILS
DP105 SCALE: NTS



MATERIAL FINISH LEGEND			
01	EXTERIOR INSULATION FINISH SYSTEM (STUCCO) - COLOUR WHITE	10	C-CHANNEL EYEBROW - COLOUR BLACK
02	EXTERIOR INSULATION FINISH SYSTEM (STUCCO) - COLOUR CHARCOAL	11	C-CHANNEL EYEBROW, ILLUMINATED - COLOUR BLACK
03	WOOD LOOK SIDING	12	SURFACE MOUNTED ALUMINUM FENCE, COLOUR BLACK
04	STONE VENEER	13	PROPOSED ILLUMINATED TENANT SIGNAGE LOCATION. SEE DP104
05	CAP FLASHING - COLOUR TO MATCH ADJACENT FINISH	14	BOLLARD - RED/BLACK, SEE DETAIL 11/DP102
06	ANODIZED ALUMINUM GLAZING - COLOUR BLACK	15	DOWNCAST SIGNAGE LIGHT & TENANT SIGN. SEE DP104
07	ANODIZED ALUMINUM GLAZED DOUBLE DOOR - COLOUR BLACK	16	C-CHANNEL EYEBROW WITH INTEGRATED WINDOW SECURITY ROLL SHUTTERS & LIGHTING.
08	DRIVE-THRU PICKUP WINDOW		
09	INSULATION METAL DOOR AND FRAME - COLOUR BLACK, WHITE OR CHARCOAL AS SHOWN TO MATCH ADJACENT FINISH		

LIMITING DISTANCE 3.1.3.								
Building Face	Building Code Reference	Area of Exposing Bldg Face (m²)	Limiting Distance (m)	Ratio (L/H)	Unprotected Openings % Allowable	Construction Type	F.R.R. Requirements (mins.)	Req. Cladding Type
NORTH COMPARTMENT A	TABLE 3.2.3.1-B	190.6	12.002	3:1 TO 10:1	100	Combustible or Noncombustible	0	Combustible or Noncombustible
NORTH COMPARTMENT B	TABLE 3.2.3.1-B	36.35	14.972	3:1 TO 10:1	100	Combustible or Noncombustible	0	Combustible or Noncombustible
SOUTH	TABLE 3.2.3.1-B	226.95	43.601	OVER 10:1	100	Combustible or Noncombustible	0	Noncombustible
EAST	TABLE 3.2.3.1-B	54.76	21.010	3:1 TO 10:1	100	Combustible or Noncombustible	0	Combustible or Noncombustible
WEST	TABLE 3.2.3.1-B	72.1	25.946	3:1 TO 10:1	100	Combustible or Noncombustible	0	Combustible or Noncombustible



© Copyright Reserved. This drawing and design are, and at all times remain, the property of collabor8 Architecture + Design (Alberta) Inc. and can be reproduced only with written consent. This drawing must not be scaled. Contractors shall verify all dimensions prior to commencement of work, and all omissions and discrepancies shall be reported to the architect.

ISSUED FOR:
01 2026.04.15 CLIENT REVIEW
02 2026.05.08 DP SUBMISSION

collabor8 Architecture + Design (Alberta) Inc.
#15872
issued pursuant to the Architects Act (Alberta)
5-8-2026



CLIENT:

PROJECT:
2807 OGDEN ROAD SE
SITE REDEVELOPMENT

2807 OGDEN ROAD SE
CALGARY, AB

CONSULTANTS:

SHEET TITLE:
PROPOSED BUILDING
ELEVATIONS

DATE: JANUARY 2026
SCALE: AS SHOWN
DRAWN BY: RR/PA
PROJECT No: 25.36.01

☐ VANCOUVER
t 604.687.3390
e office@c-8.ca
a The Marine Building
180, 385 Burrard St.
Vancouver, BC
Canada V6C 2G8
☒ CALGARY
t 403.233.8448
e office@c-8.ca
a 203, 1010 - 1st Ave NE
Calgary, AB
Canada T2E 7W7

DRAWING No:
DP300

collabor8
ARCHITECTURE + DESIGN (ALBERTA) INC.

ISSUED FOR:	
01	2026.04.15 CLIENT REVIEW
02	2026.05.08 DP SUBMISSION

collabor8 Architecture +
Design (Alberta) Inc.
#15872
issued pursuant to the
Architects Act (Alberta)

SEAL:



CLIENT:

PROJECT:
2807 OGDEN ROAD SE
SITE REDEVELOPMENT

2807 OGDEN ROAD SE
CALGARY, AB

CONSULTANTS:

SHEET TITLE:

PROPOSED CANOPY
ELEVATIONS

DATE:	JANUARY 2026
SCALE:	AS SHOWN
DRAWN BY:	RR/PA
PROJECT No:	25.36.01

- ☐ **VANCOUVER**
t 604.687.3390
e office@c-8.ca
a The Marine Building
180, 355 Burrard St.
Vancouver, BC
Canada V6C 2G8
- ☒ **CALGARY**
t 403.233.8448
e office@c-8.ca
a 203, 1010 - 1st Ave NE
Calgary, AB
Canada T2E 7W7

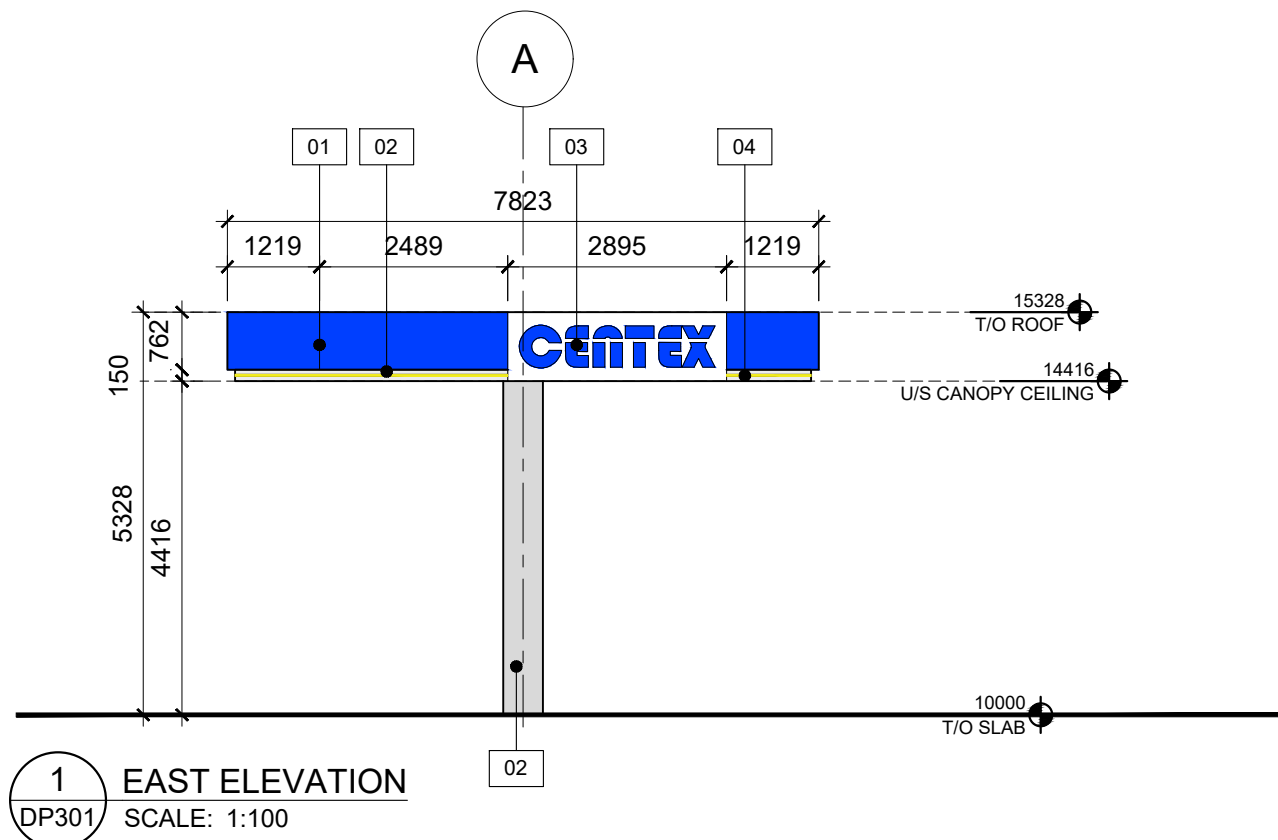
collabor8
ARCHITECTURE + DESIGN (ALBERTA) INC.

DRAWING No:

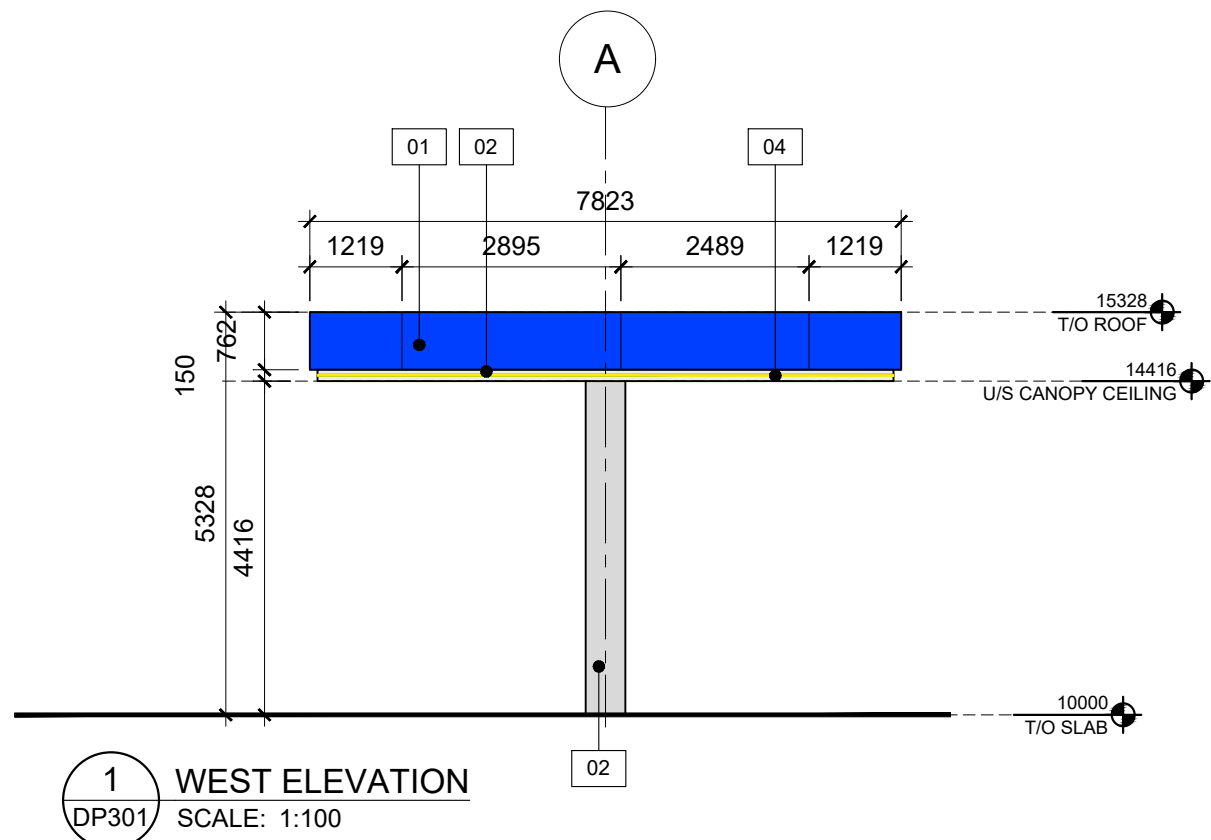
DP301

MATERIAL FINISH LEGEND

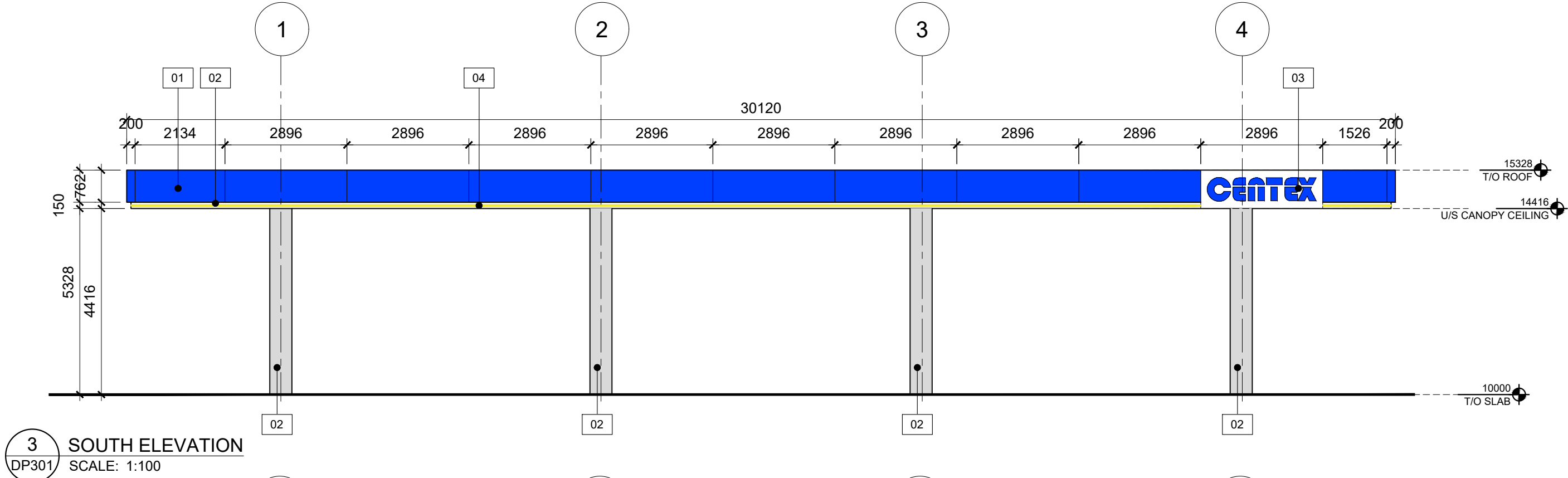
- | | |
|----|---|
| 01 | ALUMINUM COMPOSITE PANEL
- COLOUR ALPOLIC CFB BLUE (PMS 2945C) |
| 02 | ALUMINUM COMPOSITE PANEL
- COLOUR WHITE |
| 03 | ILLUMINATED CENTEX CUSTOM SIGN
- COLOUR BRIGHT BLUE |
| 04 | 120v LED LIGHTING |
| 05 | FACE AND HALO LIT CHANNEL LETTERS |
| 07 | 1/2" WHITE LED ILLUMINATED KEYLINE |
| 08 | WHITE LED ILLUMINATION MOUNTED
WITH 3/4" SPACERS |



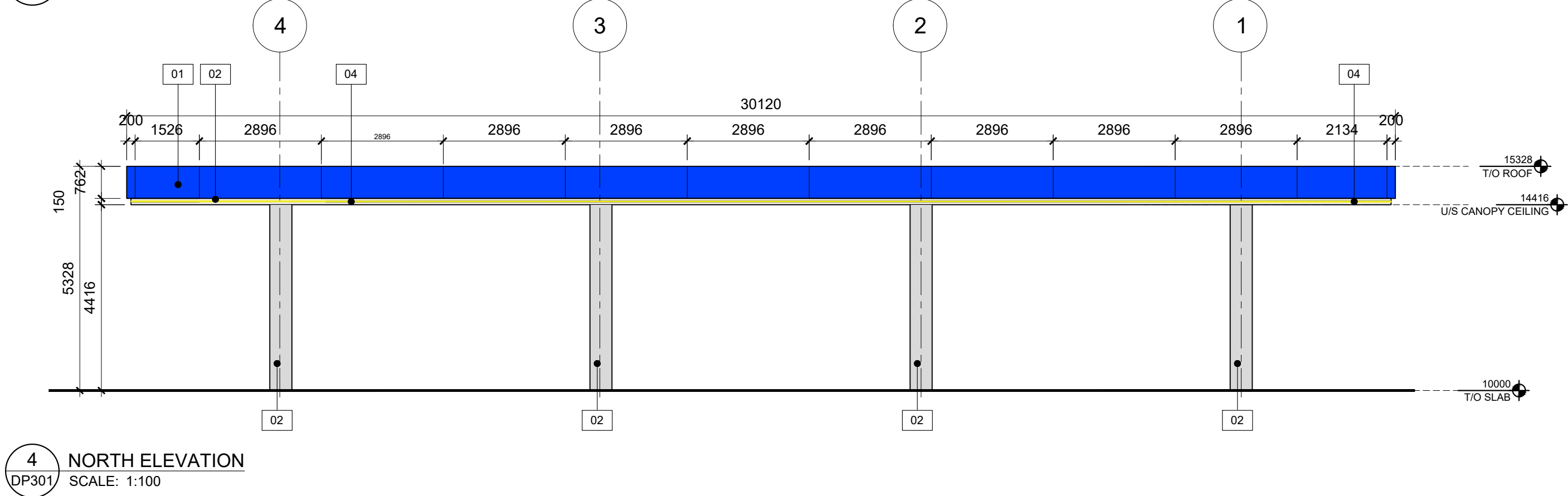
1 EAST ELEVATION
SCALE: 1:100



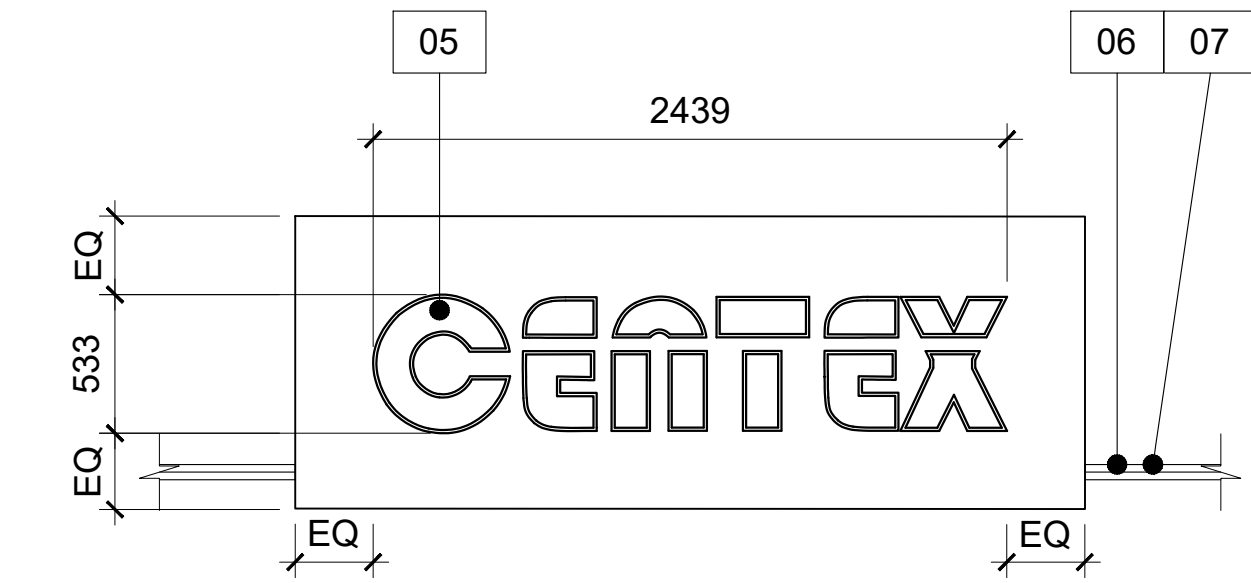
1 WEST ELEVATION
SCALE: 1:100



3 SOUTH ELEVATION
SCALE: 1:100



4 NORTH ELEVATION
SCALE: 1:100



5 CENTEX SIGN DETAILS
SCALE: NTS