

**4-PLEX BUILDING**  
**8512 - 46 AVENUE N.W.**  
**CALGARY, ALBERTA**  
**PLAN 2660AP, BLOCK 10 , LOT 15**



**DEVELOPMENT PERMIT SET**

**ISSUE DATE : 2026-04-22**

**REVISION DATE : 2026-06-23**



**#202, 4216 10 STREET NE,**  
**CALGARY, AB.**  
**T2E 6K3**  
**P:403.203.1970 F:403.203.1990**  
**info@tricordg.com**  
**www.tricordesigns.com**

**LIST OF DRAWINGS:**

- |  |  |
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AREA SCHEDULE	#UNIT 1		#UNIT 2	
	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.
FLOOR PLANS				
MAIN FLOOR	603.25	56.04	603.25	56.04
UPPER FLOOR	665.75	61.85	665.75	61.85
<b>TOTAL</b>	<b>1269.00</b>	<b>117.89</b>	<b>1269.00</b>	<b>117.89</b>
LEGAL SUITE	512.17	47.58	512.17	47.58
<b>GRAND TOTAL</b>	<b>1781.17</b>	<b>165.48</b>	<b>1781.17</b>	<b>165.48</b>
GARAGE	190.09	17.66	190.09	17.66

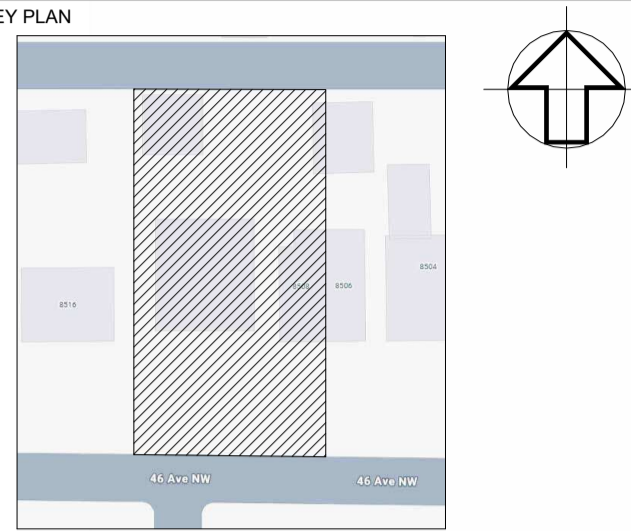
AREA SCHEDULE	#UNIT 3		#UNIT 4	
	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.
FLOOR PLANS				
MAIN FLOOR	603.25	56.04	603.25	56.04
UPPER FLOOR	665.75	61.85	665.75	61.85
<b>TOTAL</b>	<b>1269.00</b>	<b>117.89</b>	<b>1269.00</b>	<b>117.89</b>
LEGAL SUITE	512.17	47.58	512.17	47.58
<b>GRAND TOTAL</b>	<b>1781.17</b>	<b>165.48</b>	<b>1781.17</b>	<b>165.48</b>
GARAGE	190.09	17.66	190.09	17.66

**KEY PLAN :**



**KEY PLAN :**

**26-1043**



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY/CHK'D BY
01	2026-06-23	DTR 1	R.N
02			
03			
04			
05			

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY/CHK'D BY
01	2026-04-22	DEVELOPMENT PERMIT SET	R.N T.I.A.K
02			
03			
04			
05			

THE CLIENT: [REDACTED]

PROJECT: **4-PLEX BUILDING**

ADDRESS: **8512 - 46 AVENUE N.W.  
CALGARY, ALBERTA  
PLAN 2660AP, BLOCK 10 , LOT 15**

DRAWING SET: **DEVELOPMENT PERMIT SET**

DRAWING TITLE: **3D SHOTS**

DRAWING NO. **G-002**

PROJECT NO.:	CHECKED BY:	DATE:
<b>26-1043</b>	T.I.A.K	2026-06-23
	DRAWN BY:	SCALE:
	M.A.R.N	



# SITE - PLAN

## SURVEY INFORMATION :-

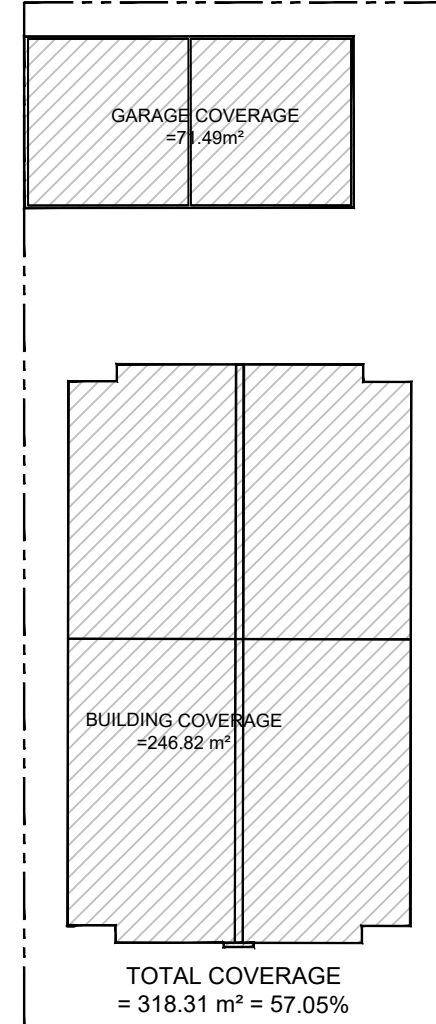
MUNICIPAL ADDRESS:-  
8512 - 46 AVENUE N.W., CALGARY, ALBERTA  
LEGAL ADDRESS:-  
PLAN 2660AP, BLOCK 10, LOTS 14&15  
ZONNING:- R-CG

NOTES:  
Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in metres and decimals thereof.

COVERAGE CALCULATION:  
LOT AREA = 557.97 m<sup>2</sup>  
MAXIMUM COVERAGE (60%) = 334.78 m<sup>2</sup>  
BUILDING COVERAGE = 246.80 m<sup>2</sup>  
GARAGE COVERAGE = 71.49 m<sup>2</sup>  
TOTAL COVERAGE = 318.31 m<sup>2</sup> = 57.05%

PROJECT SETBACK REQUIREMENTS:  
1. BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES.  
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF 0.6m INTO THE FRONT SETBACK AREA)  
2. MINIMUM 1.20 m REAR SETBACK  
3. MINIMUM BUILDING SETBACK FROM ANY SIDE PROPERTY LINE IS: A) 1.20 M

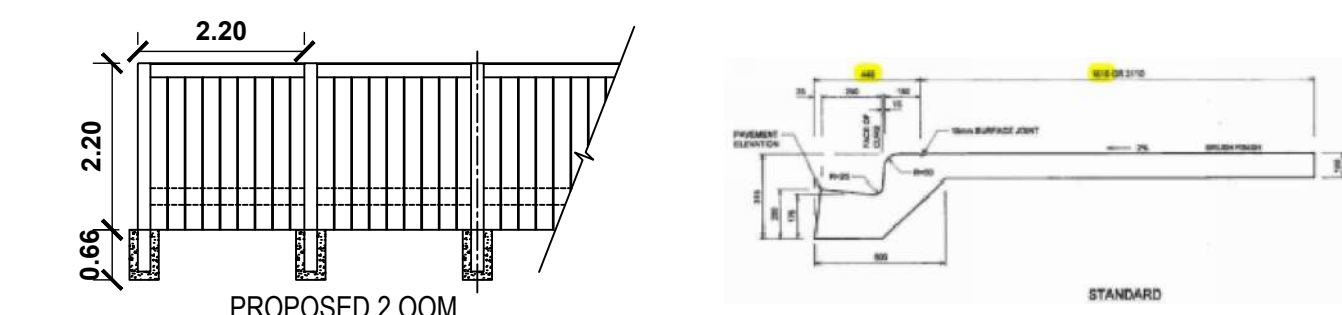
NOTE:  
- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED  
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.  
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.



LEGEND	LEGEND	LEGEND	LEGEND	LEGEND

Tree #	Variety	Canopy (m)	Trunk (m)	Height (m)	Location	Tree Status
1	DEC (DEAD)	2	0.2	3	NEIGHBOURS PROPERTY	REMAINED
2	CON	6	0.3	15	NEIGHBOURS PROPERTY	NEED TO TRIM
3	CON	4	0.4	14	PRIVATE	REMOVED
4	DEC	7	0.3	7	PRIVATE	REMOVED
5	CON	8	0.4	17	PRIVATE	REMOVED
6	CON	7	0.3	18	PRIVATE	REMOVED
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10	BUSHES				CITY BLVD.	REMOVED

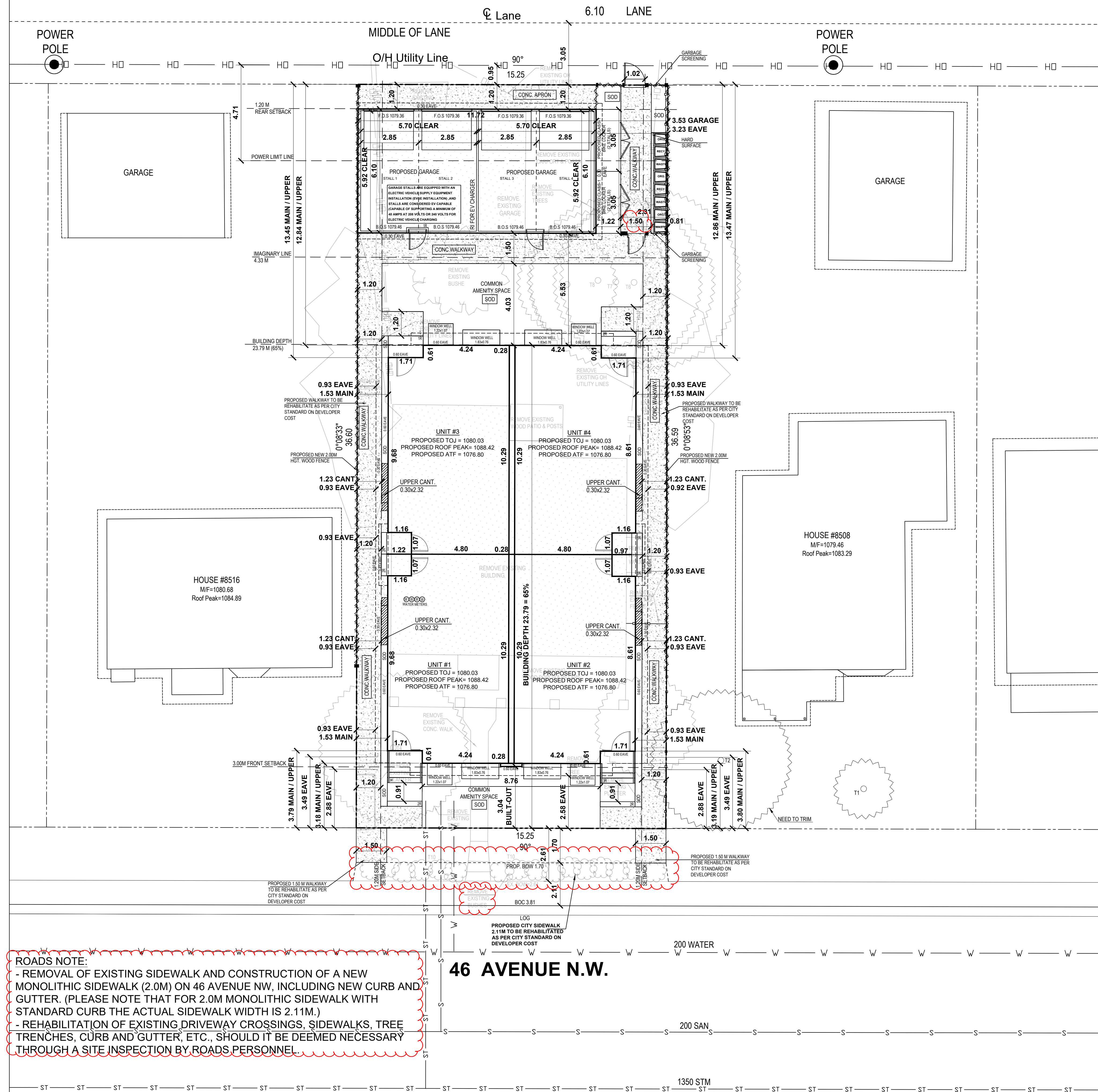
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- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.  
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY.-FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.  
- 160L RAIN BARRELS MAY BE PROVIDED AT DOWNSPOUTS FOR RAINWATER HARVESTING AND LANDSCAPE IRRIGATION.  
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF PUBLIC WORK AND ANY DAMAGE DURING CONSTRUCTION IN CITY ROAD RIGHT-OF-WAYS



PLAN 211 0056  
LOT 35 LOT 36

PLAN 201 0060  
LOT 33 LOT 34

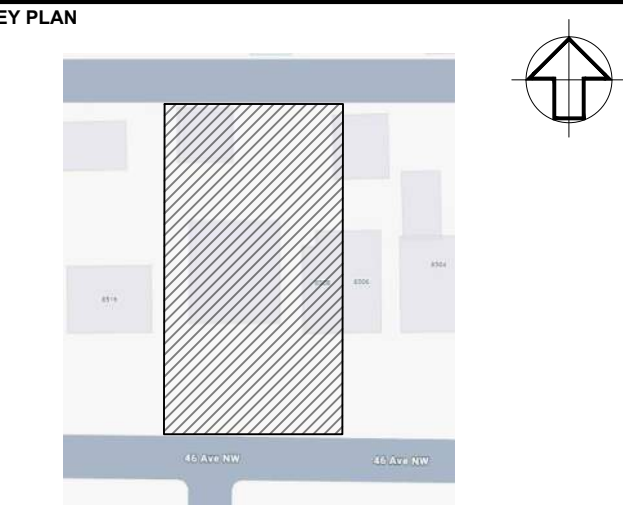
W. 1/2  
LOT 12



ROADS NOTE:  
- REMOVAL OF EXISTING SIDEWALK AND CONSTRUCTION OF A NEW MONOLITHIC SIDEWALK (2.0M) ON 46 AVENUE NW, INCLUDING NEW CURB AND GUTTER. (PLEASE NOTE THAT FOR 2.0M MONOLITHIC SIDEWALK WITH STANDARD CURB THE ACTUAL SIDEWALK WIDTH IS 2.11M.)  
- REHABILITATION OF EXISTING DRIVEWAY CROSSINGS, SIDEWALKS, TREE TRENCHES, CURB AND GUTTER, ETC., SHOULD BE DEEMED NECESSARY THROUGH A SITE INSPECTION BY ROADS PERSONNEL.

46 AVENUE N.W.

DESIGNED BY:  
**TRIGOR DESIGN GROUP**  
#202 - 4210 10 STREET NE, CALGARY, AB, T2E 6K3  
P: 403.203.1970 FAX: 403.203.1990  
info@trigordesigns.ca www.trigordesigns.com



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NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-06-23	DTR 1	R.N	

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-04-22	DEVELOPMENT PERMIT SET	R.N	T.J.A.K

THE CLIENT:  
PROJECT:  
**4-PLEX BUILDING**  
ADDRESS:  
**8512 - 46 AVENUE N.W., CALGARY, ALBERTA  
PLAN 2660AP, BLOCK 10, LOT 15**

DRAWING TITLE:  
**EXISTING & PROPOSED SITE PLAN**

DRAWING NO.:  
**A-002**  
PROJECT NO.:  
**26-1043**  
CHECKED BY:  
T.J.A.K.  
DATE:  
2026-06-23  
DRAWN BY:  
R.N.  
SCALE:  
1:100

# SITE - PLAN

## SURVEY INFORMATION :-

MUNICIPAL ADDRESS:-  
8512 - 46 AVENUE N.W., CALGARY, ALBERTA  
LEGAL ADDRESS:-  
PLAN 2660AP, BLOCK 10, LOTS 14&15  
ZONING:- R-CG

### NOTES:

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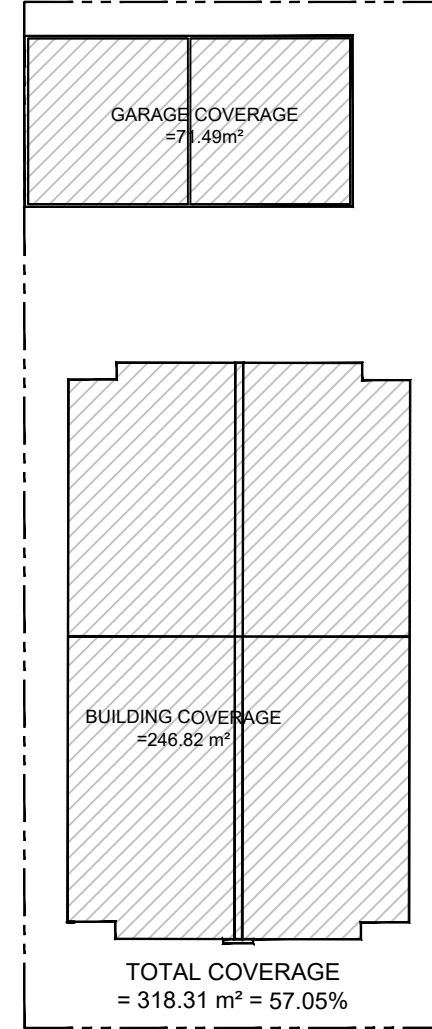
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GARAGE COVERAGE = 71.49 m<sup>2</sup>  
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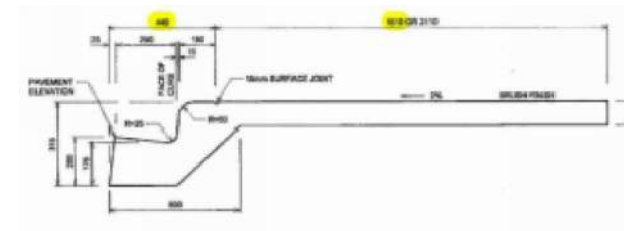
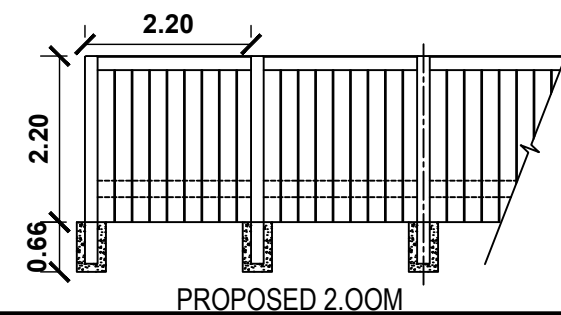
LEGEND	LEGEND	LEGEND	LEGEND	LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		REMOVE FENCE		CONCRETE
	SETBACK		UTILITY LINES WATER		BUILDING REMOVE
	EAVES		REMOVE EXISTING TREE		AREA OF TREE PROTECTION
	UTILITY LINES POWER		NEED TO TRIM		UPPER CANT

### TREE SCHEDULE

Tree #	Variety	Canopy (m)	Trunk (m)	Height (m)	Location	Tree Status
1	DEC (DEAD)	2	0.2	3	NEIGHBOUR'S PROPERTY	REMAINED
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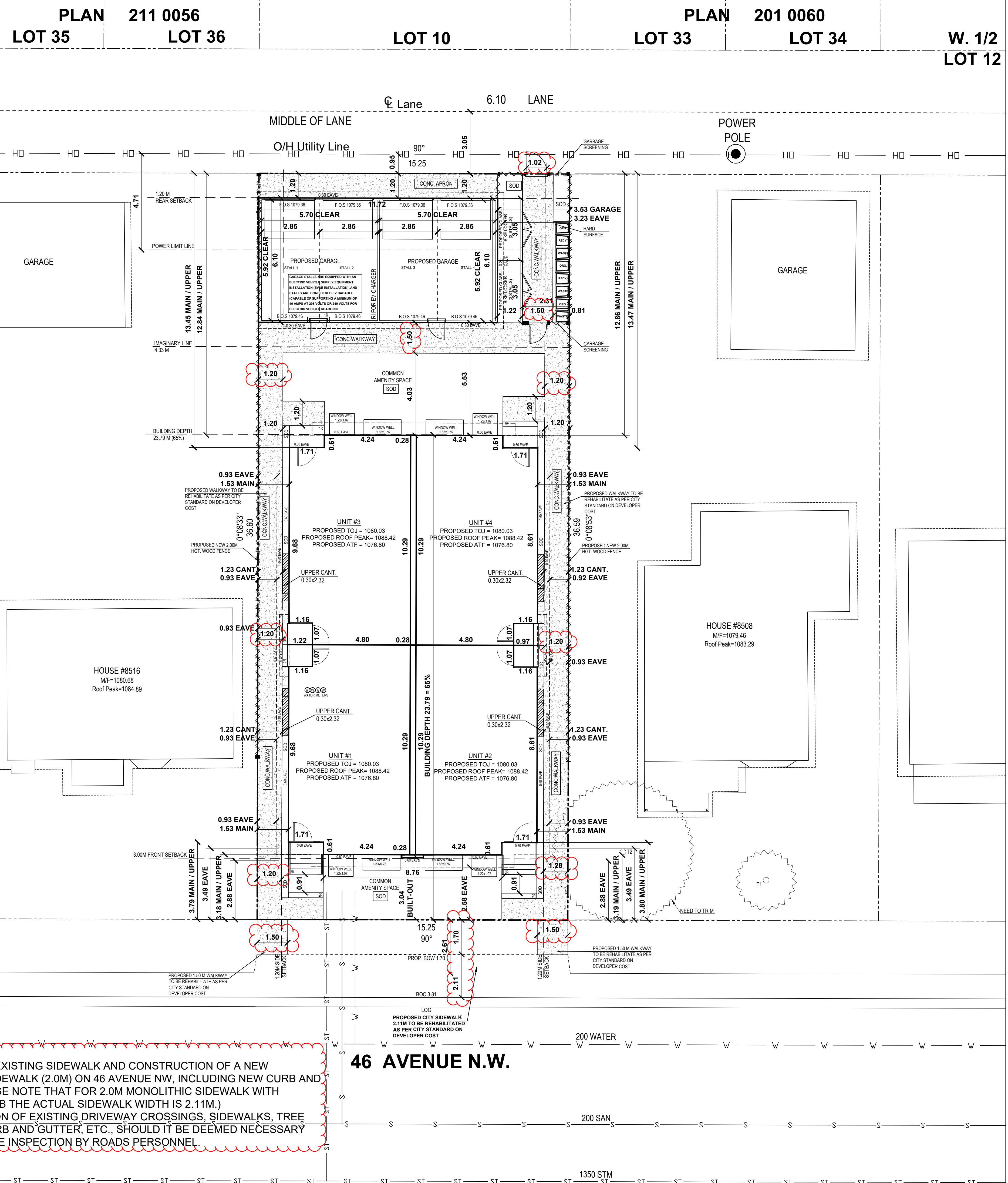
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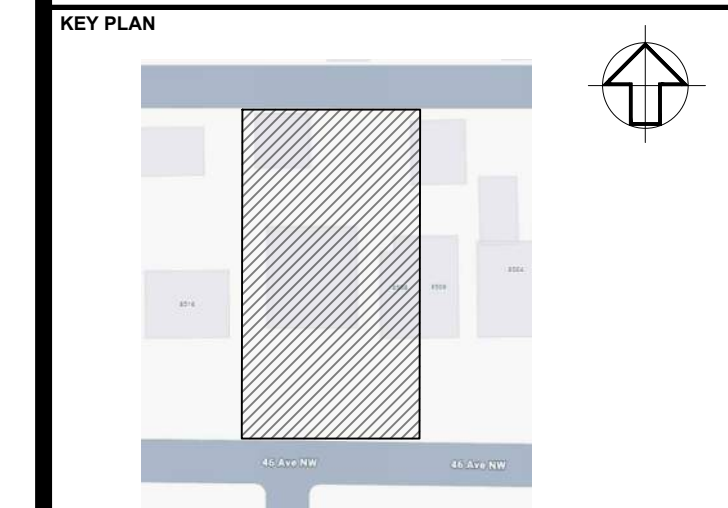
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PLAN 211 0056 LOT 35      PLAN 201 0060 LOT 33  
LOT 36      LOT 34      W. 1/2 LOT 12

DESIGNED BY:

#202 - 4216 10 STREET NE,  
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T2E 6K3  
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01	2026-06-23	DTR 1	R.N	

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01	2026-04-22	DEVELOPMENT PERMIT SET	R.N	T.J.A.K

THE CLIENT:

PROJECT:

**4-PLEX BUILDING**

ADDRESS:

**8512 - 46 AVENUE N.W.,  
CALGARY, ALBERTA  
PLAN 2660AP, BLOCK 10, LOT 15**

DRAWING SET:

**DEVELOPMENT PERMIT SET**

DRAWING TITLE:

**PROPOSED SITE PLAN**

DRAWING NO.:

**A-003**

PROJECT NO.:

**26-1043**

CHECKED BY:

T.J.A.K

DATE:

2026-06-23

DRAWN BY:

R.N

SCALE:

1:100

# SITE - PLAN

## SURVEY INFORMATION :-

MUNICIPAL ADDRESS:-

8512 - 46 AVENUE N.W., CALGARY, ALBERTA

LEGAL ADDRESS:-

PLAN 2660AP, BLOCK 10, LOTS 14&15

ZONING:- R-CG

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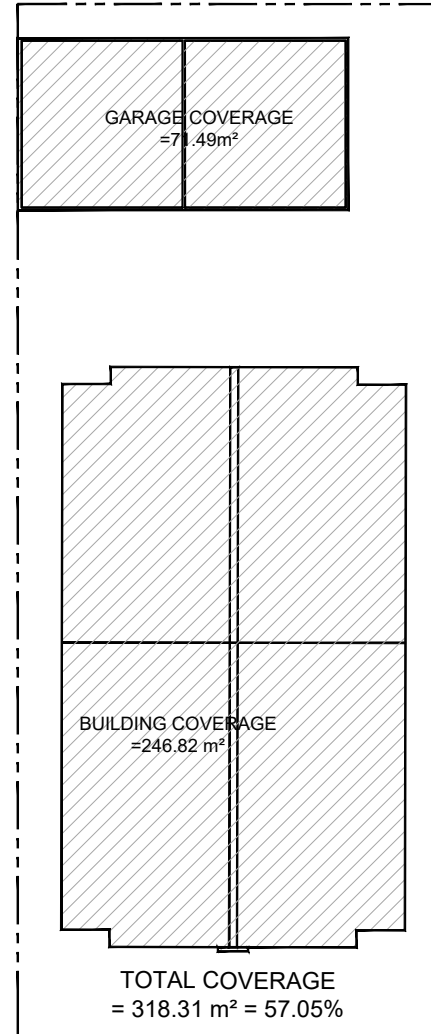
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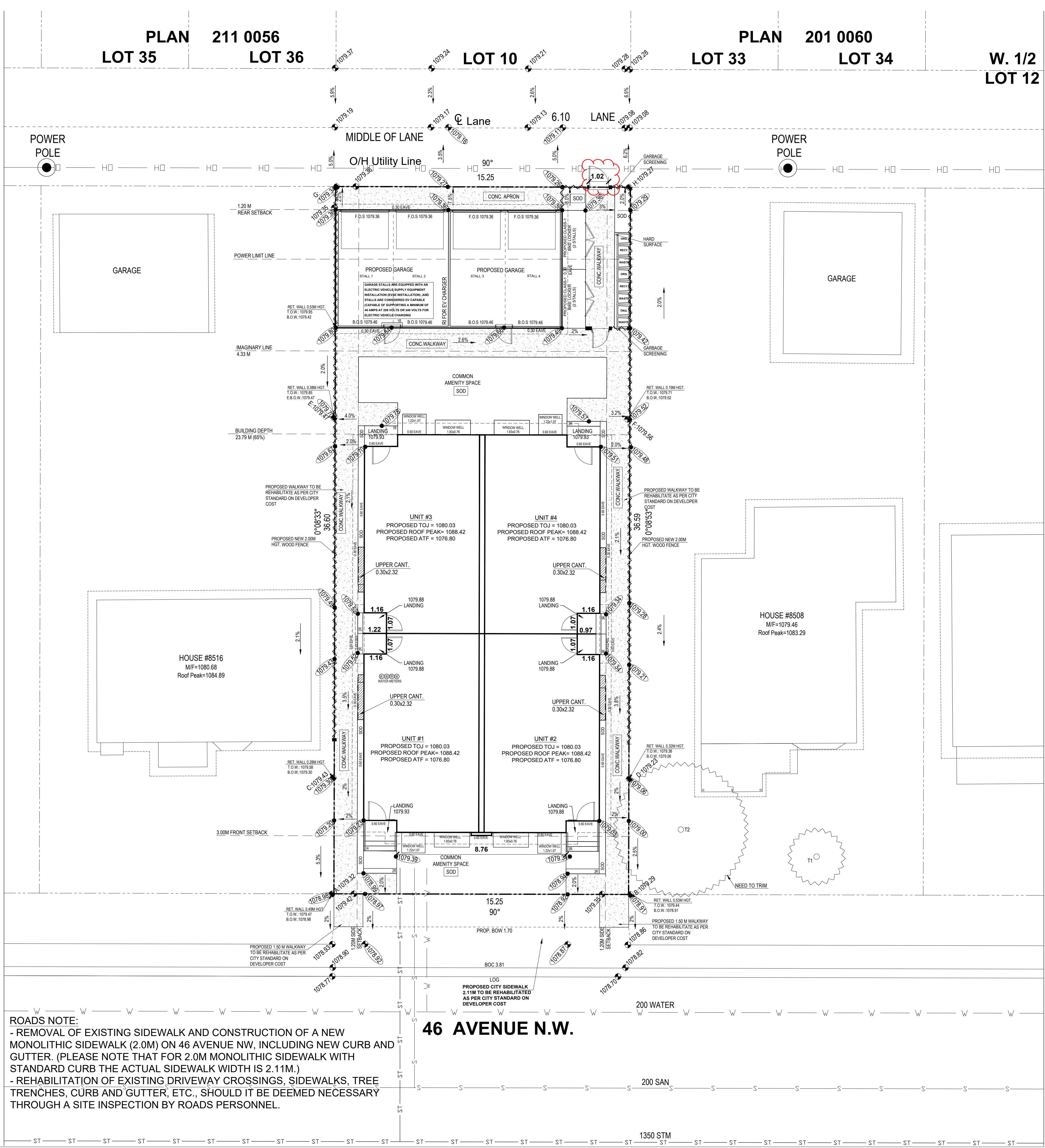
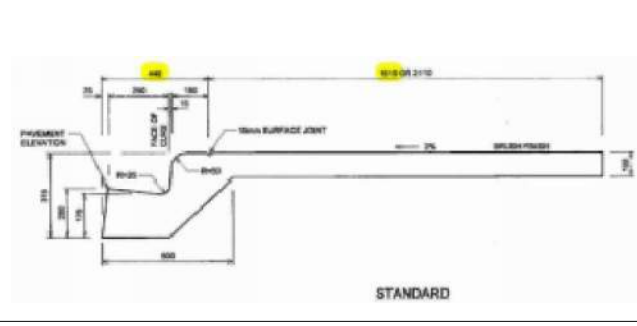
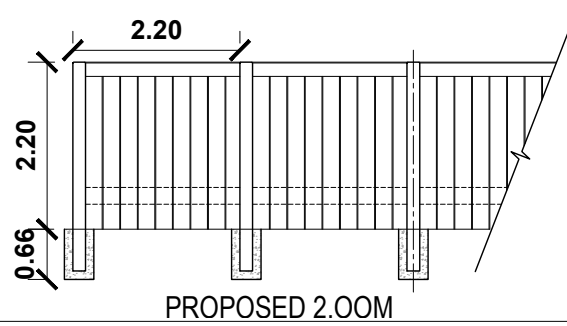
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5	CON	8	0.4	17	PRIVATE	REMOVED
6	CON	7	0.3	18	PRIVATE	REMOVED
7	CON	7	0.3	18	PRIVATE	REMOVED
8	CON	6	0.3	18	PRIVATE	REMOVED
9	CON	4	0.3	11	PRIVATE	REMOVED
10	BUSHES				CITY BLVD.	REMOVED

### NOTES:

- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES -BUILDING READY FOR SOLAR PANEL INSTALLATION.
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY.-FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF FRIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.
- 160L RAIN BARRELS MAY BE PROVIDED AT DOWNSPOUTS FOR RAINWATER HARVESTING AND LANDSCAPE IRRIGATION.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF PUBLIC WORK AND ANY DAMAGE DURING CONSTRUCTION IN CITY ROAD RIGHT-OF-WAYS



### ROADS NOTE:

- REMOVAL OF EXISTING SIDEWALK AND CONSTRUCTION OF A NEW MONOLITHIC SIDEWALK (2.0M) ON 46 AVENUE NW, INCLUDING NEW CURB AND GUTTER. (PLEASE NOTE THAT FOR 2.0M MONOLITHIC SIDEWALK WITH STANDARD CURB THE ACTUAL SIDEWALK WIDTH IS 2.11M.)
- REHABILITATION OF EXISTING DRIVEWAY CROSSINGS, SIDEWALKS, TREE TRENCHES, CURB AND GUTTER, ETC., SHOULD IT BE DEEMED NECESSARY THROUGH A SITE INSPECTION BY ROADS PERSONNEL.

46 AVENUE N.W.

1350 STM

PLAN 211 0056  
LOT 35 LOT 36

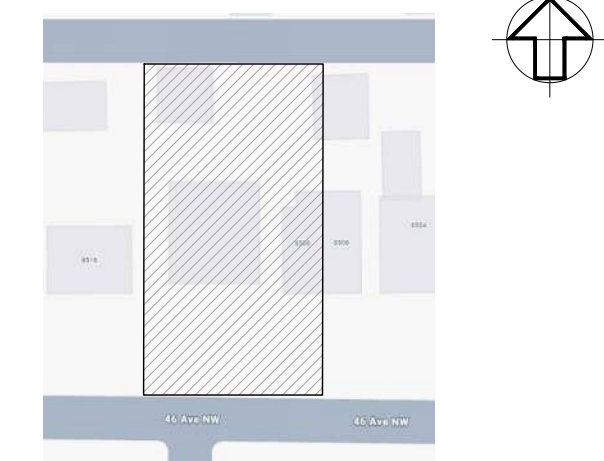
PLAN 201 0060  
LOT 33 LOT 34

W. 1/2  
LOT 12



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CALGARY AB,  
T2E 6K3  
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### KEY PLAN



### NOTES

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### REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-06-23	DR1	R.N.	

### ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-04-22	DEVELOPMENT PERMIT SET	R.N.	T.J.A.K.

### THE CLIENT:

### PROJECT:

4-PLEX BUILDING

### ADDRESS:

8512 - 46 AVENUE N.W.,  
CALGARY, ALBERTA  
PLAN 2660AP, BLOCK 10, LOT 15

### DRAWING SET:

DEVELOPMENT PERMIT SET

### DRAWING TITLE:

PROPOSED GRADES

### DRAWING NO.:

A-004

### PROJECT NO.:

26-1043

### CHECKED BY:

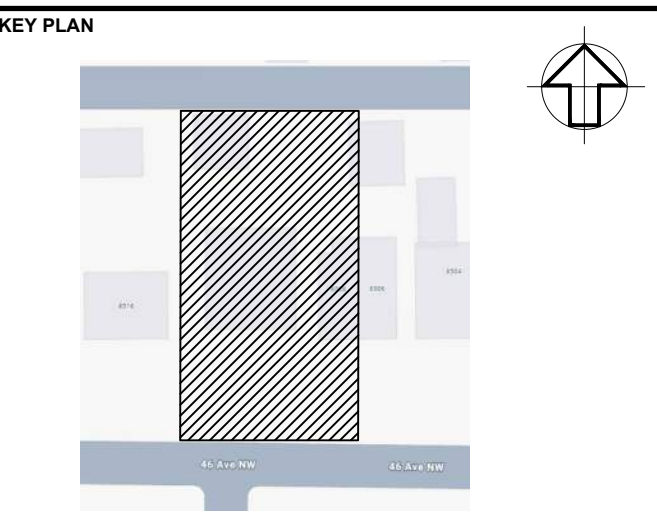
T.J.A.K.

2026-06-23

### DRAWN BY:

R.N.

SCALE: 1:100




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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-06-23	DTR 1	R.N	

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-04-22	DEVELOPMENT PERMIT SET	R.N	T.J.A.K

THE CLIENT: 

PROJECT: **4-PLEX BUILDING**

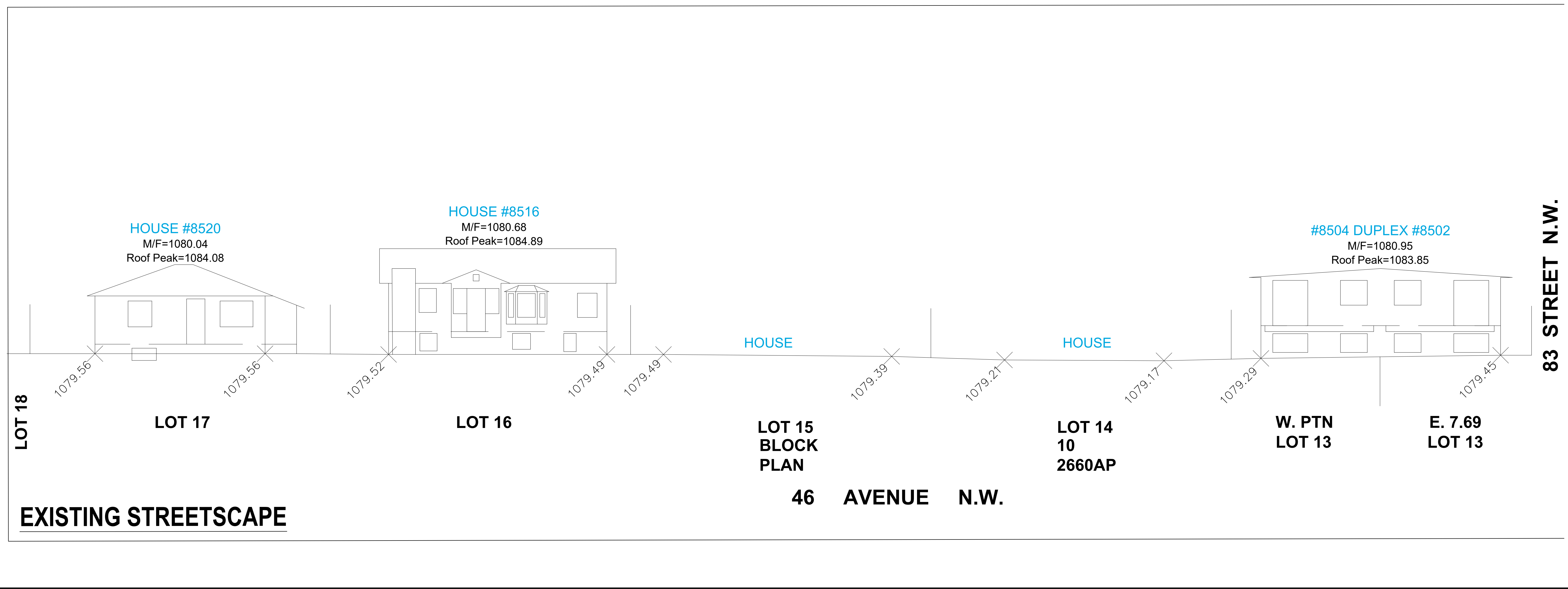
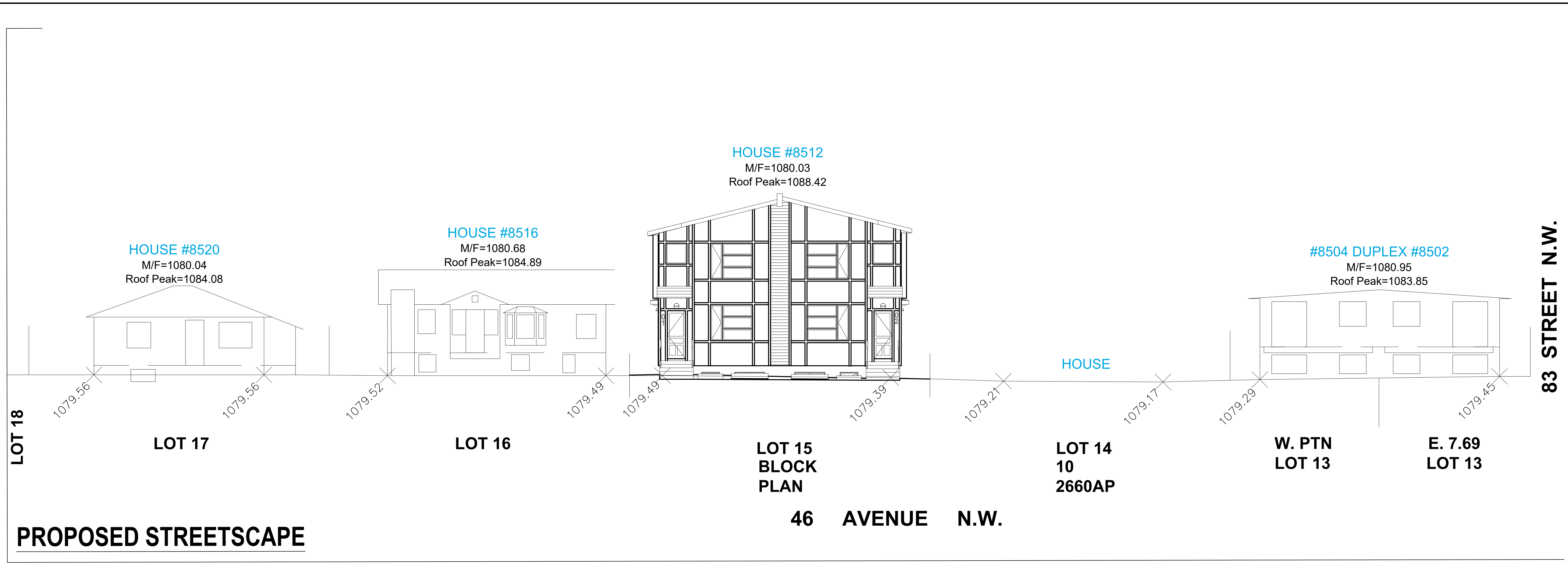
ADDRESS: **8512 - 46 AVENUE N.W., CALGARY, ALBERTA PLAN 2660AP, BLOCK 10, LOT 15**

DRAWING SET: **DEVELOPMENT PERMIT SET**

DRAWING TITLE: **STREETSCAPE**

DRAWING NO.: **A-005**

PROJECT NO.:	CHECKED BY:	DATE:
26-1043	T.J.A.K	2026-06-23
	DRAWN BY:	SCALE:
	R.N	1:200



# 542.2 PLANTING REQUIREMENTS

Trees required by this section:  
 -may be provided through the planting of new trees or the preservation of existing trees; and  
 -where approved by the Development Authority, may be provided on a boulevard adjacent to the parcel.  
 -A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0 square meters of parcel area.  
 -Shrubs must be a minimum height or spread of 0.6 metres at the time of planting.  
 -The requirement for the provision of 1.0 tree is met where:  
 a deciduous tree has a minimum calliper of 60 millimetres; or  
 a coniferous tree has a minimum height of 2.0 metres.  
 -The requirement for the provision of 2.0 trees is met where:  
 a deciduous tree has a minimum calliper of 85 millimetres; or  
 a coniferous tree has a minimum height of 4.0 metres.  
 -The requirement for the provision of 3.0 trees is met where an existing deciduous tree with a calliper greater than 100 millimeters is preserved.  
 -For landscaped areas with a building below, planting areas must have the following minimum soil depths:  
 1.2 metres for trees;  
 0.6 metres for shrubs; and  
 0.3 metres for all other planting areas.  
 -The soil depths referenced in (7) must cover an area equal to the mature spread of the planting material.  
 -All plant materials must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery Landscape Association.

## THEREFORE MINIMUM PLANTING REQUIRED ARE:

557.97 m<sup>2</sup> / 110 m<sup>2</sup> = 5.07 = 6 TREES & 18 SHRUBS

BROKEN DOWN AS:

4 DECIDUOUS

2 CONIFEROUS

18 SHRUBS (Shrubs must be a minimum height or spread of 0.6 meters at the time of planting)

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
<b>DECIDUOUS TREES</b>						
02	NP		Northwest Poplar	Populus x jackii 'Northwest'	60mm CAL.	B&B WIRE BASKET
02	S		COLUMNAR COLORADO SPRUCE	PICEA PUNGENS 'FASTIGIATA'	80mm CAL.	

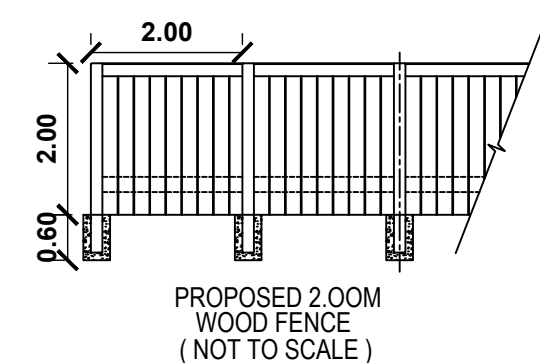
QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
02	CS		COLORADO BLUE SPRUCE	PICEA PUNGENS	3000MM HGT.	

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
08	RC		RUBY CAROUSEL JAPANESE BARBERRY	Berberis thunbergii 'BALLONE'	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD
04	CL		CHARISMA LILAC	SYRINGA PRESTONIAE	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
06	SJ		SAVIN JUNIPER	JUNIPERUS SABINA	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD

## LANDSCAPE LEGENDS:

MASS PLANTING OF SHADE TOLERANT PERENNIALS	
GARDEN BEDS	
2.0M HGT. WOOD FENCE	
GARBAGE SCREENING	



# LANDSCAPE CALCULATIONS:

LOT AREA: 557.97m<sup>2</sup> LOT ZONING: R-CG

1. COVERAGE= 318.31 m<sup>2</sup> = 57.05% OF LOT AREA

PROPOSED BUILDING AREA = 246.82 m<sup>2</sup> = 44.23% OF LOT AREA

PROPOSED GARAGE = 71.49 m<sup>2</sup> = 12.82% OF LOT AREA

2. NON- LANDSCAPE AREA= 24.93 m<sup>2</sup> = 4.47% OF LOT AREA

APRON (CONCRETE) = 14.14 m<sup>2</sup> = 56.72% OF NON-LANDSCAPE AREA

WINDOW WELLS = 10.79 m<sup>2</sup> = 43.28% OF NON-LANDSCAPE AREA

3. LANDSCAPE AREA= 219.81 m<sup>2</sup> = 39.39% OF LOT AREA

3.1 HARD-LANDSCAPE = 143.07 m<sup>2</sup> = 65.09% OF LANDSCAPE AREA

WOOD ENTRANCE STEPS = 6.55 m<sup>2</sup> = 4.39% OF HARD-LANDSCAPE AREA

WASTE AND RECYCLING (HARD SURFACE) = 4.03 m<sup>2</sup> = 2.98% OF HARD-LANDSCAPE AREA

CONCRETE ENTRANCE STEPS = 9.49 m<sup>2</sup> = 7.02% OF HARD-LANDSCAPE AREA

EXPOSED AGGREGATED CONCRETE WALKWAYS = 111.58 m<sup>2</sup> = 77.16% OF HARD-LANDSCAPE AREA

BIKES LOCKERS = 7.44 m<sup>2</sup> = 5.50% OF HARD-LANDSCAPE AREA

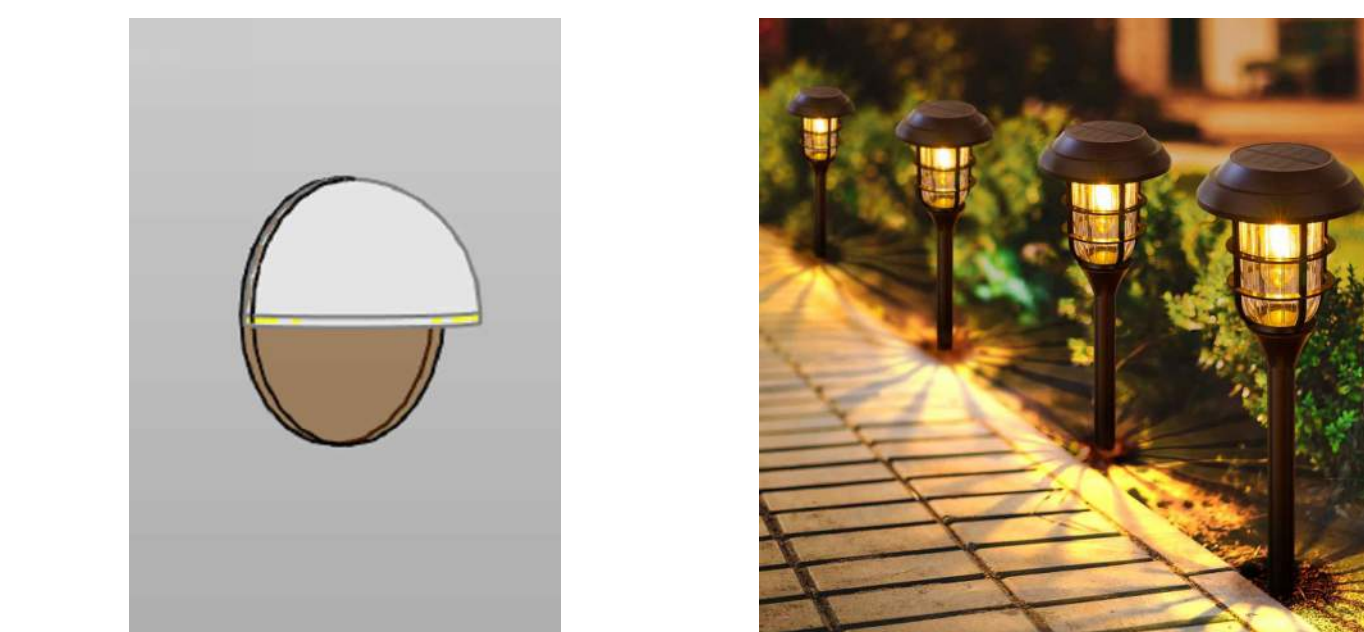
CONC. LANDSCAPE STEPS = 3.98 m<sup>2</sup> = 2.95% OF HARD-LANDSCAPE AREA

3.2 SOFT-LANDSCAPE = 76.74 m<sup>2</sup> = 34.91% OF LANDSCAPE AREA

S.O.D. = 64.02 m<sup>2</sup> = 80.30% OF SOFT-LANDSCAPE AREA

MULCH = 12.72 m<sup>2</sup> = 19.70% OF SOFT-LANDSCAPE AREA

## LIGHTING LEGEND:



LED Down light (ON WALL)

LED

BIKE LIGHTING (ABOVE DOOR)

PATHWAY LIGHTS

## IRRIGATION SYSTEM:

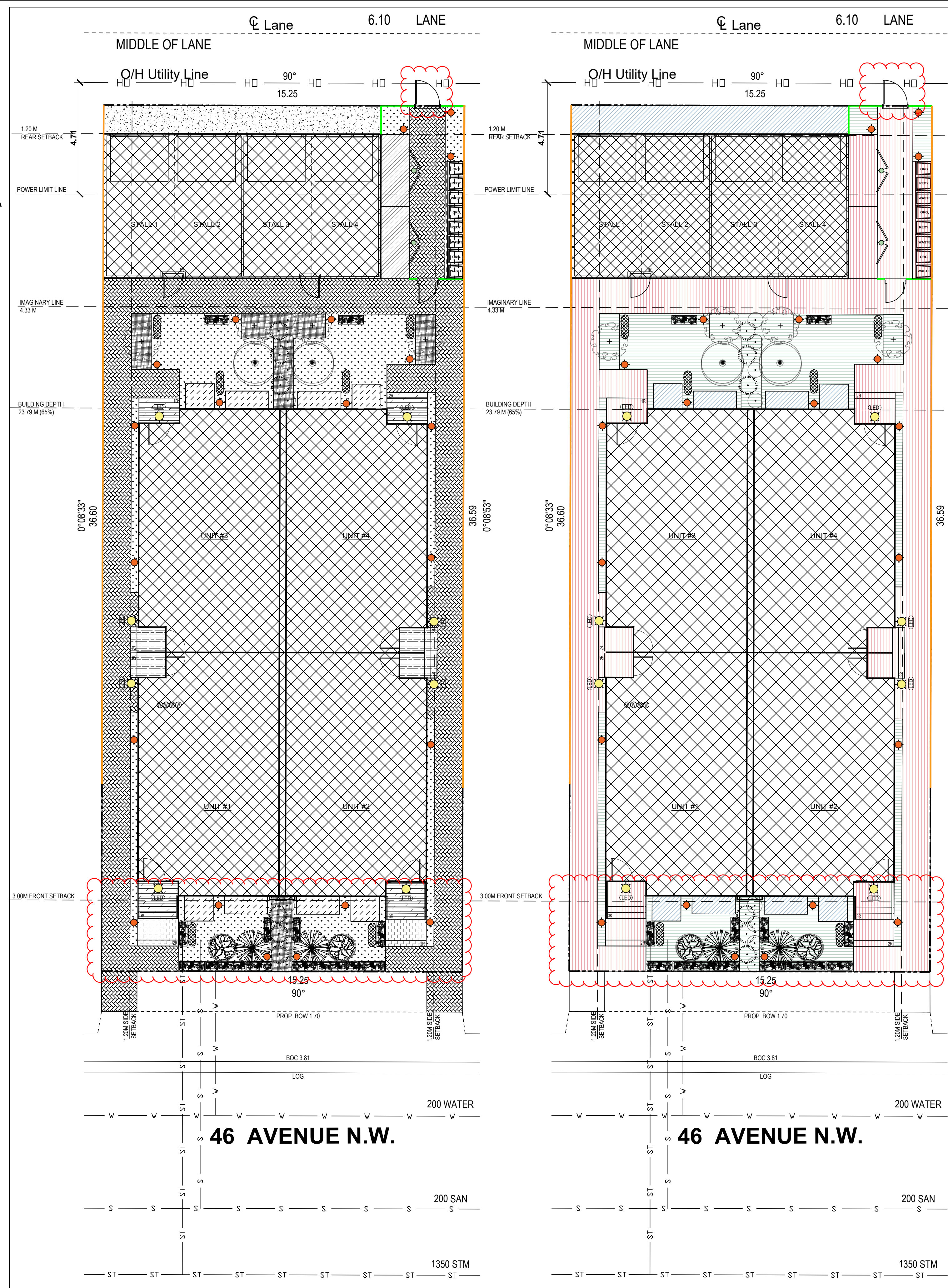
Underground Standard Irrigation System to be used,

which includes:

- (a) a rain sensor or a soil moisture sensor.
- (b) a flow sensor for leak detection; and
- (c) a master valve to secure the system if a leak is detected.

### NOTE:-

-ALL SOFT SURFACED LANDSCAPED AREA MUST BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM, UNLESS OTHERWISE PROVIDED BY A LOW WATER IRRIGATION SYSTEM.  
 - ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.  
 - A MINIMUM DEPTH OF 300 MM TOPSOIL FOR ALL SODDED AREAS AND 600MM FOR SHRUB AND TREE BEDS IS TO BE USED.  
 -160L RAIN BARRELS MAY BE PROVIDED AT DOWNSPOUTS FOR RAINWATER HARVESTING AND LANDSCAPE IRRIGATION.



PROPOSED BUILDING AREA = 246.82 m<sup>2</sup> = 44.23% OF LOT AREA

PROPOSED GARAGE = 71.49 m<sup>2</sup> = 12.82% OF LOT AREA

NON- LANDSCAPE AREA = 24.93 m<sup>2</sup> = 4.47% OF LOT AREA

HARD-LANDSCAPE = 143.07 m<sup>2</sup> = 65.09% OF LANDSCAPE AREA

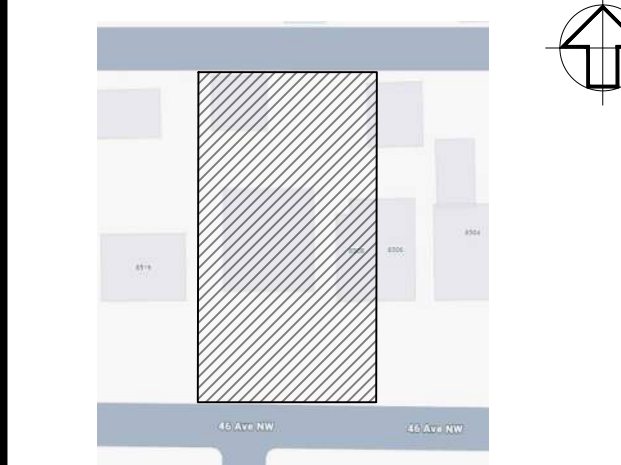
SOFT-LANDSCAPE = 76.74 m<sup>2</sup> = 34.91% OF LANDSCAPE AREA

DESIGNED BY:



#202 - 4210 10 STREET NE,  
 CALGARY, AB  
 T2E 6K3  
 P: 403.203.1970 FAX: 403.203.1990  
 info@tricordesigns.com  
 www.tricordesigns.com

KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-06-23	DTR 1	R.N	

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-04-22	DEVELOPMENT PERMIT SET	R.N	T.J.A.K

THE CLIENT:

PROJECT: 4-PLEX BUILDING

ADDRESS: 8512 - 46 AVENUE N.W., CALGARY, ALBERTA PLAN 2660AP, BLOCK 10, LOT 15

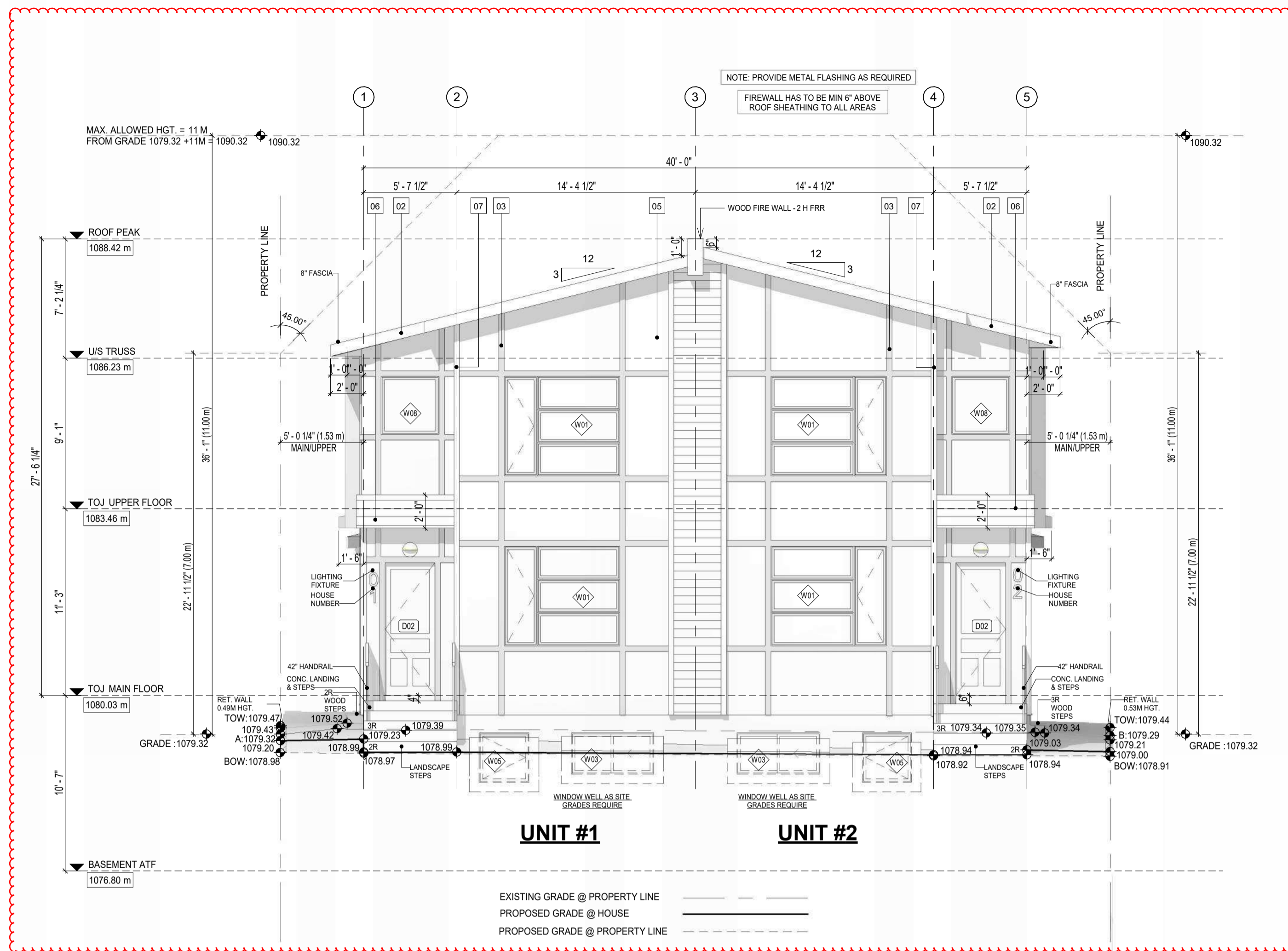
DRAWING SET: DEVELOPMENT PERMIT SET

DRAWING TITLE: PROPOSED LANDSCAPE PLAN & LANDSCAPE ZONES

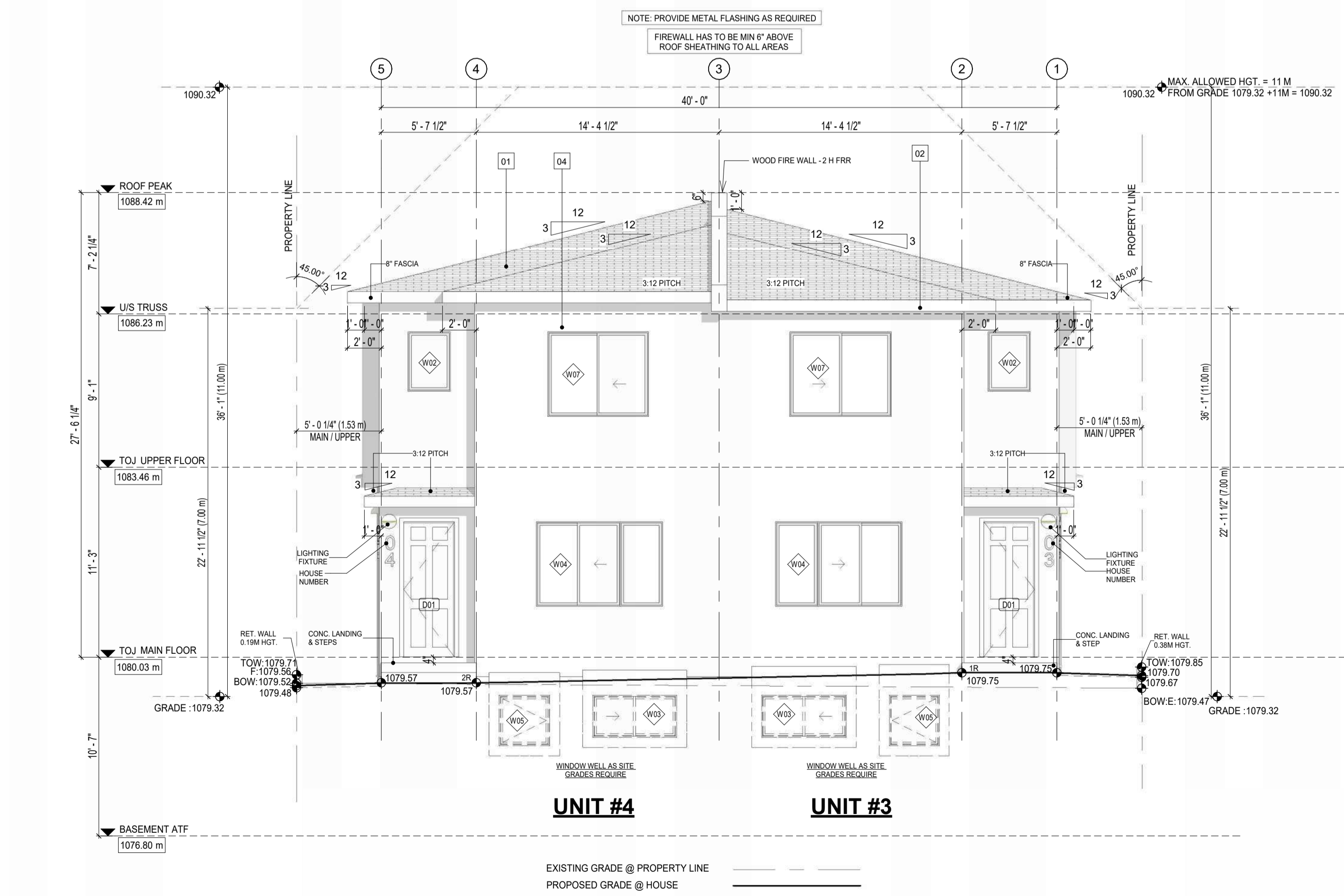
DRAWING NO. A-006

PROJECT NO.: 26-1043  
 CHECKED BY: T.J.A.K  
 DATE: 2026-06-23  
 DRAWN BY: R.N  
 SCALE: 1:100

SCHEDULE OF FINISHES	
MARK	NAME
01	ASPHALT ROOFING SHINGLE
02	8" FASCIA
03	4" TRIM
04	STUCCO CLADDING
05	SMART BOARD
06	HORIZONTAL SIDING - LUX PANELS
07	CORNER BOARD 4"



1 PROPOSED FRONT (SOUTH) ELEVATION  
3/16" = 1'-0"



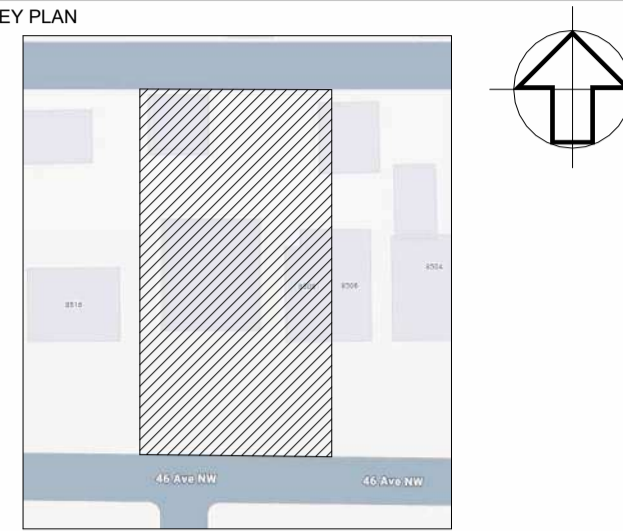
2 PROPOSED REAR (NORTH) ELEVATION  
3/16" = 1'-0"

UNPROTECTED OPENINGS REAR ELEV. (INC. DOORS)		
CODE CHECK	881.88 SQ. FT.	80.07 SQ.M
EXPOSED BUILDING FACE	14'-2 1/2"	4.33M
PERCENTAGE OF ALLOWED OPENINGS	25.48%	20.40 SQ.M
ACTUAL SQ. FTG. OF OPENINGS	200.50 SQ. FT.	18.63 SQ.M
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	109.80 SQ. FT.	10.20 SQ.M

DESIGNED BY:

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL

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EMAIL: info@tricordesigns.com



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-06-23	DTR 1	R.N	
02				
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-04-22	DEVELOPMENT PERMIT SET	R.N	TJAK
02				
03				
04				
05				

THE CLIENT: [REDACTED]

PROJECT: **4-PLEX BUILDING**

ADDRESS: **8512 - 46 AVENUE N.W. CALGARY, ALBERTA PLAN 2660AP, BLOCK 10, LOT 15**

DRAWING SET: **DEVELOPMENT PERMIT SET**

DRAWING TITLE: **PROPOSED FRONT & REAR ELEVATIONS**

DRAWING NO. **A-201**

PROJECT NO.: **26-1043**

CHECKED BY: T.J.A.K. DATE: 2026-06-23

DRAWN BY: M.A.R.N. SCALE: 3/16" = 1'-0"

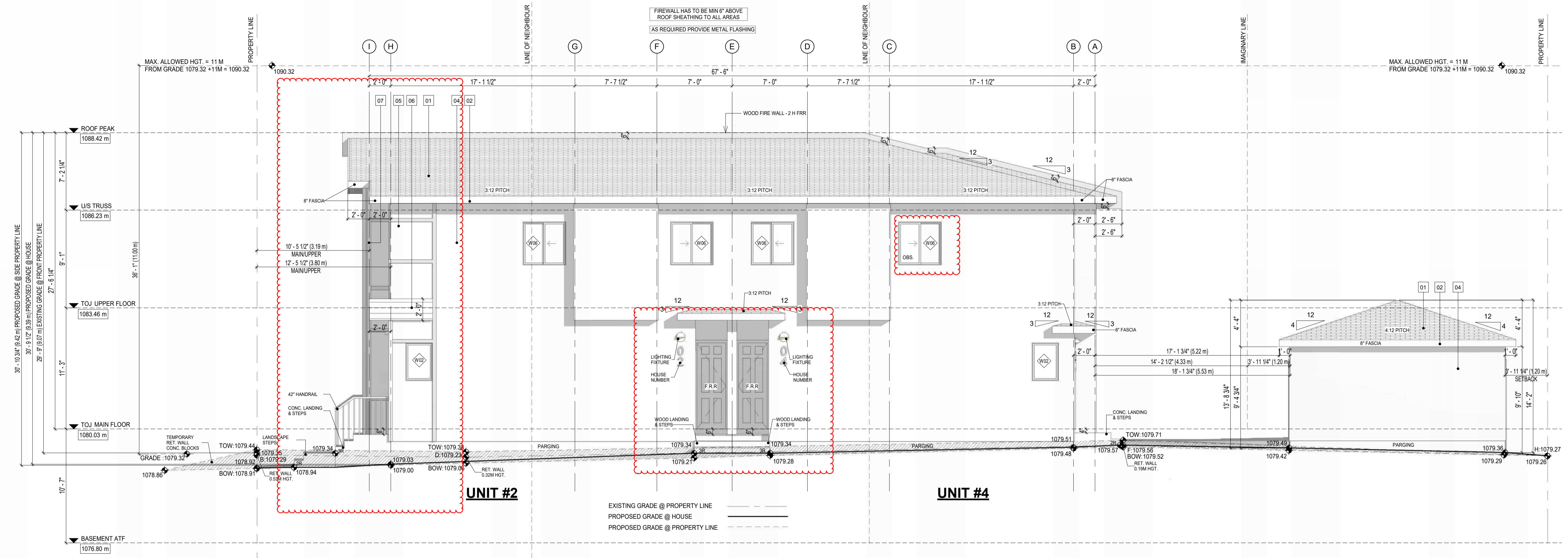
SCHEDULE OF FINISHES	
MARK	NAME
01	ASPHALT ROOFING SHINGLE
02	8" FASCIA
03	4" TRIM
04	STUCCO CLADDING
05	SMART BOARD
06	HORIZONTAL SIDING - LUX PANELS
07	CORNER BOARD 4"

**OBSCURED WINDOW NOTE:**  
WINDOW GLAZING TREATMENT TO BE MIN. 50% OF THE WINDOW HEIGHT.

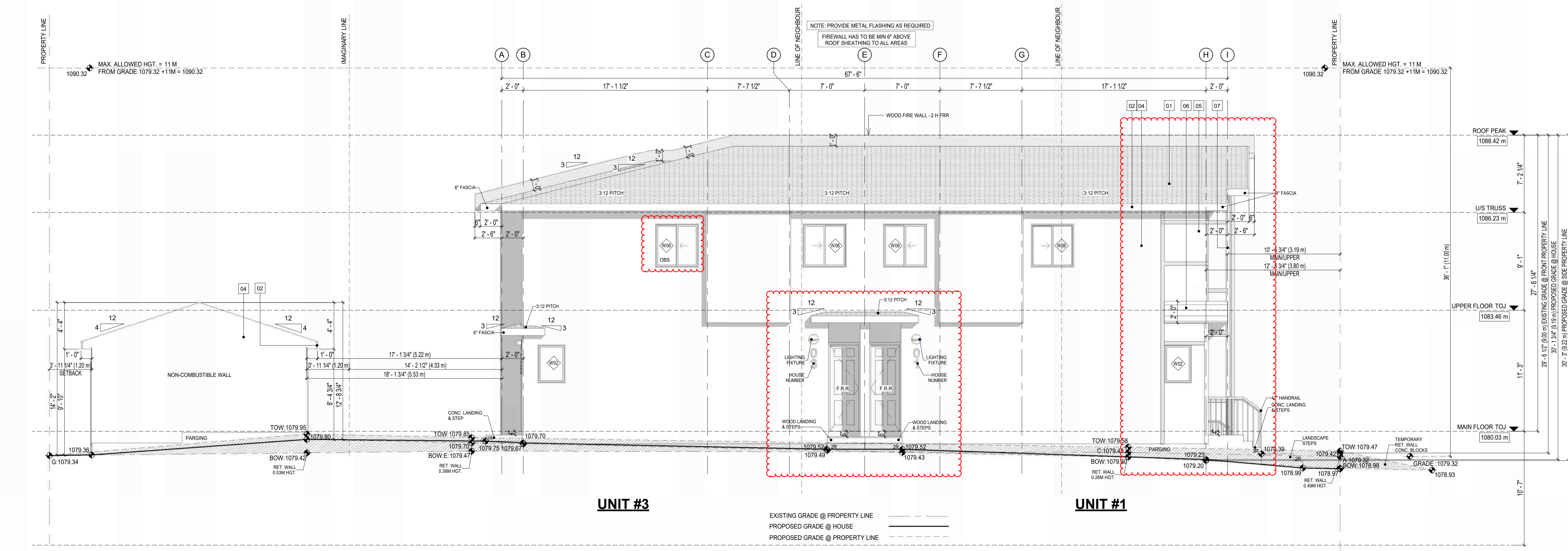
UNPROTECTED OPENINGS RIGHT ELEV.		
CODE CHECK		
EXPOSED BUILDING FACE	1441.02 SQ. FT.	133.87 SQ.M
MINIMUM SETBACK	4'-0 3/8"	1.23 M
PERCENTAGE OF ALLOWED OPENINGS	7.00%	
SQ. FTG. OF ALLOWED OPENINGS	100.87 SQ. FT.	9.37 SQ.M
ACTUAL SQ. FTG. OF OPENINGS	81.50 SQ. FT.	7.57 SQ.M
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	50.43 SQ. FT.	4.68 SQ.M

**OBSCURED WINDOW NOTE:**  
WINDOW GLAZING TREATMENT TO BE MIN. 50% OF THE WINDOW HEIGHT.

UNPROTECTED OPENINGS LEFT ELEV.		
CODE CHECK		
EXPOSED BUILDING FACE	1402.34 SQ. FT.	130.28 SQ.M
MINIMUM SETBACK	4'-0 3/8"	1.23 M
PERCENTAGE OF ALLOWED OPENINGS	7.00%	
SQ. FTG. OF ALLOWED OPENINGS	98.16 SQ. FT.	9.12 SQ.M
ACTUAL SQ. FTG. OF OPENINGS	81.50 SQ. FT.	7.57 SQ.M
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	49.08 SQ. FT.	4.56 SQ.M



1 PROPOSED RIGHT (EAST) ELEVATION  
3/16" = 1'-0"

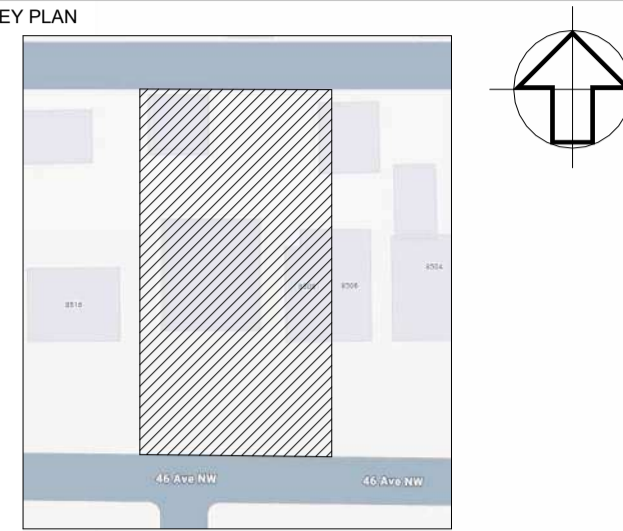


2 PROPOSED LEFT (WEST) ELEVATION  
3/16" = 1'-0"

DESIGNED BY:

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL

tricordesigns.com  
#202, 4216 10TH STREET NE  
CALGARY, AB  
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FAX: (403)203-1990  
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NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-06-23	DTR 1	R.N	
02				
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-04-22	DEVELOPMENT PERMIT SET	R.N	T.I.A.K
02				
03				
04				
05				

THE CLIENT: [REDACTED]

PROJECT: 4-PLEX BUILDING

ADDRESS: 8512 - 46 AVENUE N.W.  
CALGARY, ALBERTA  
PLAN 2660AP, BLOCK 10, LOT 15

DRAWING SET: DEVELOPMENT PERMIT SET

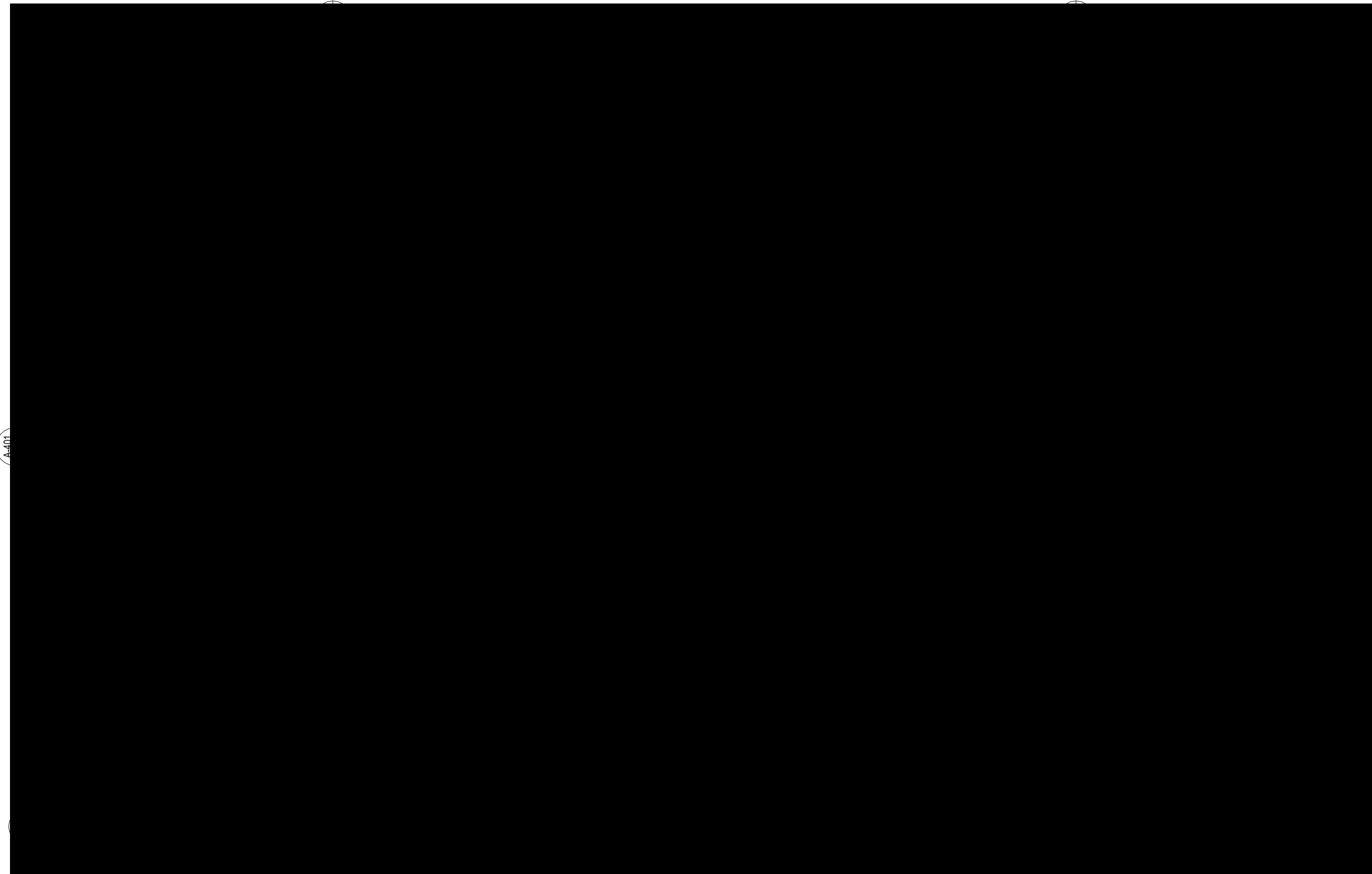
DRAWING TITLE: PROPOSED RIGHT & LEFT ELEVATIONS

DRAWING NO. A-202

PROJECT NO.: 26-1043

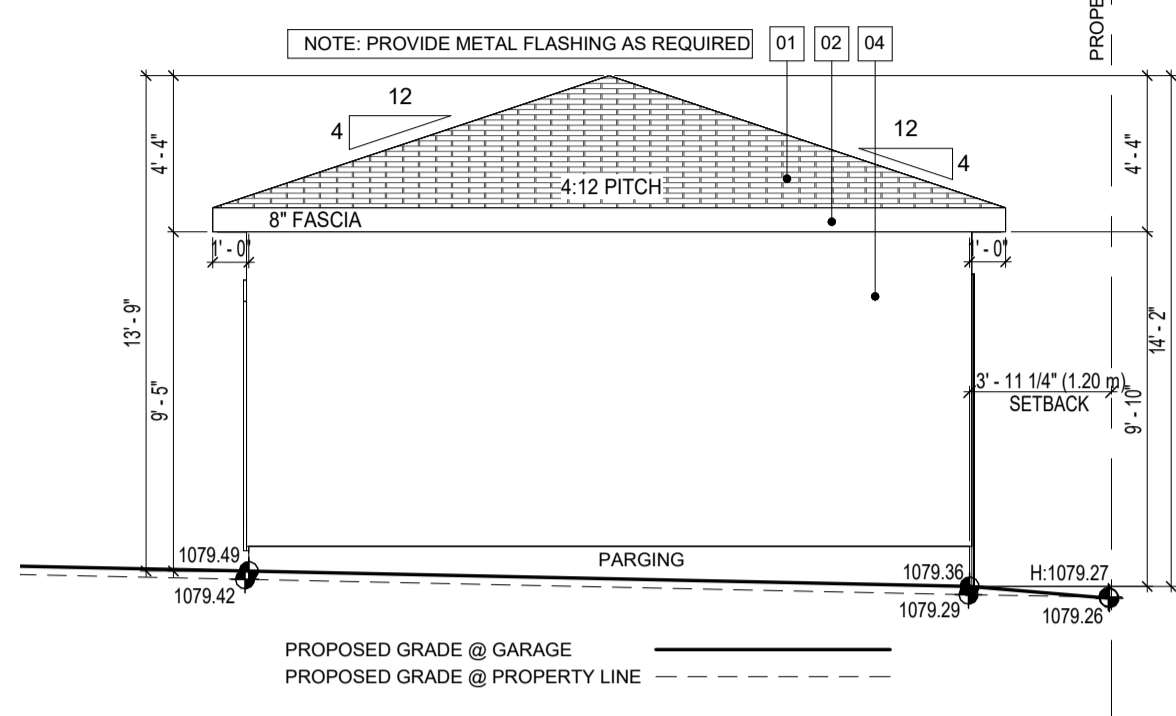
CHECKED BY: T.I.A.K DATE: 2026-06-23

DRAWN BY: M.A.R.N SCALE: 3/16" = 1'-0"

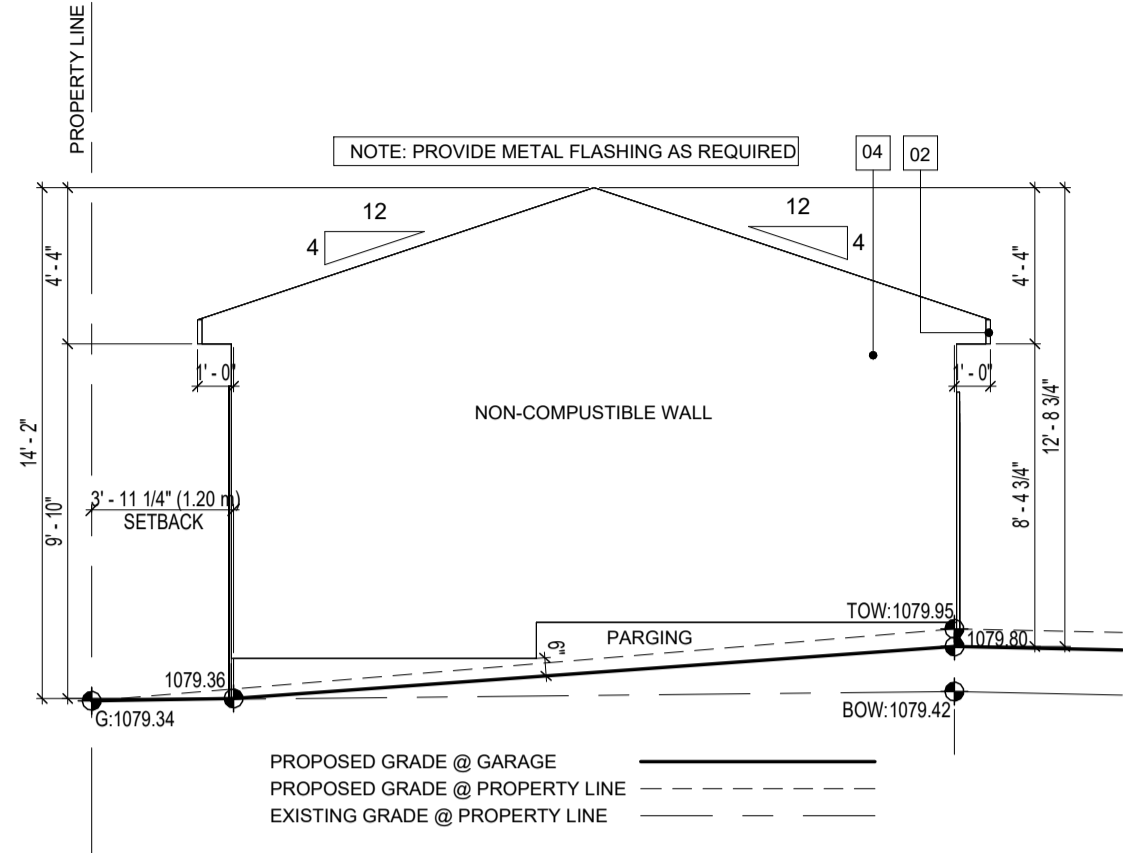


9  
A-401

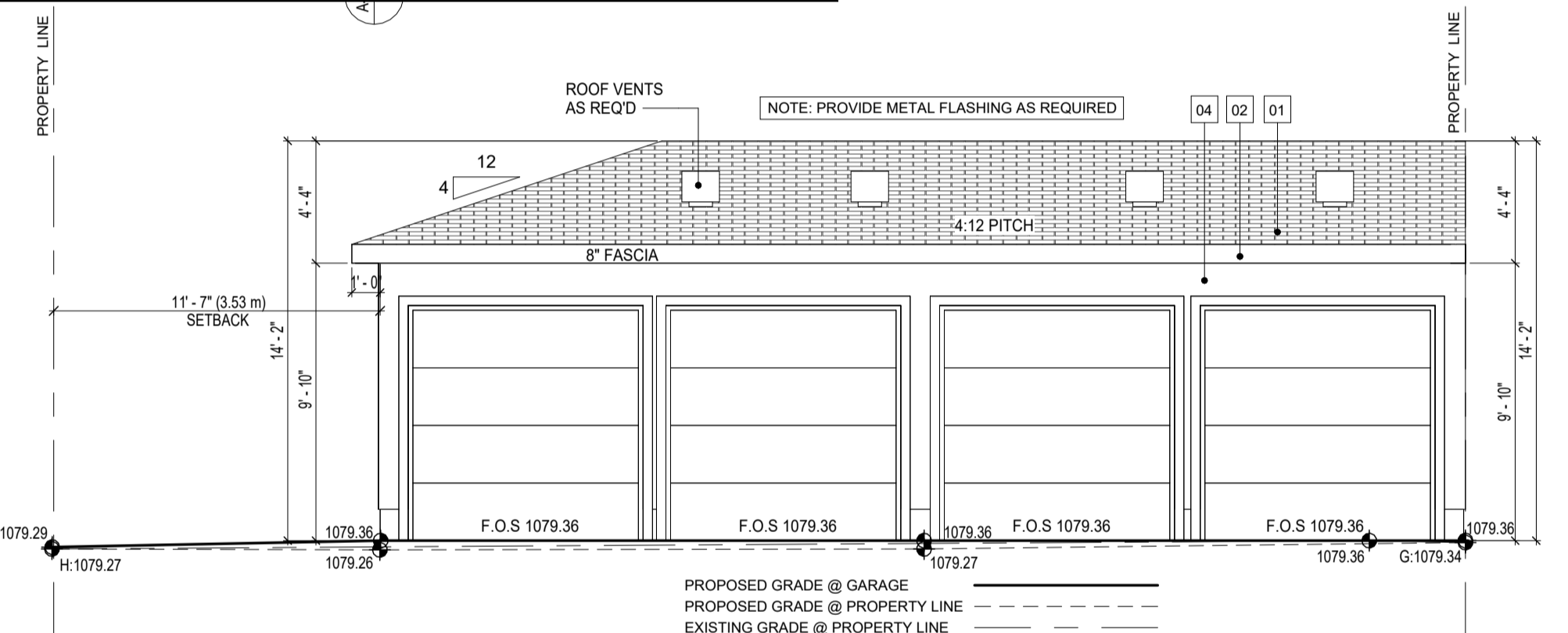
10  
A-401



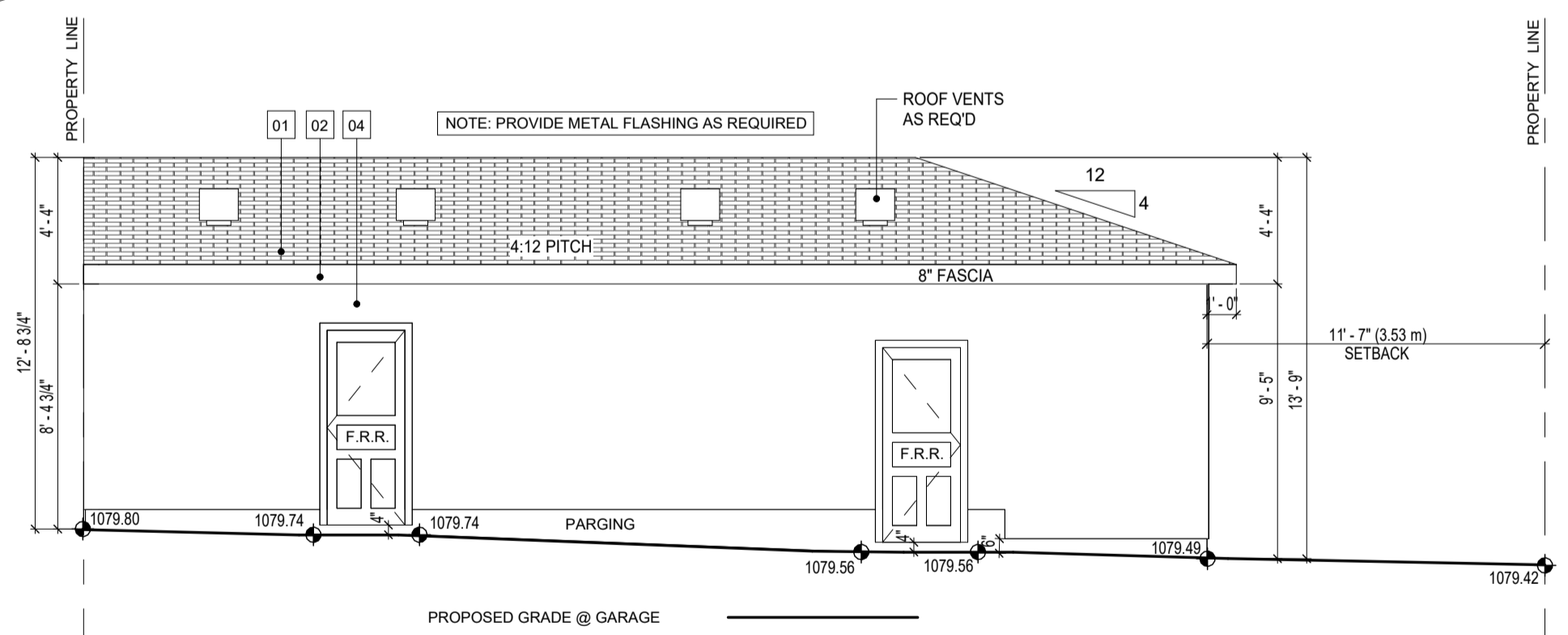
3 PROPOSED LEFT (EAST) ELEVATION  
3/16" = 1'-0"



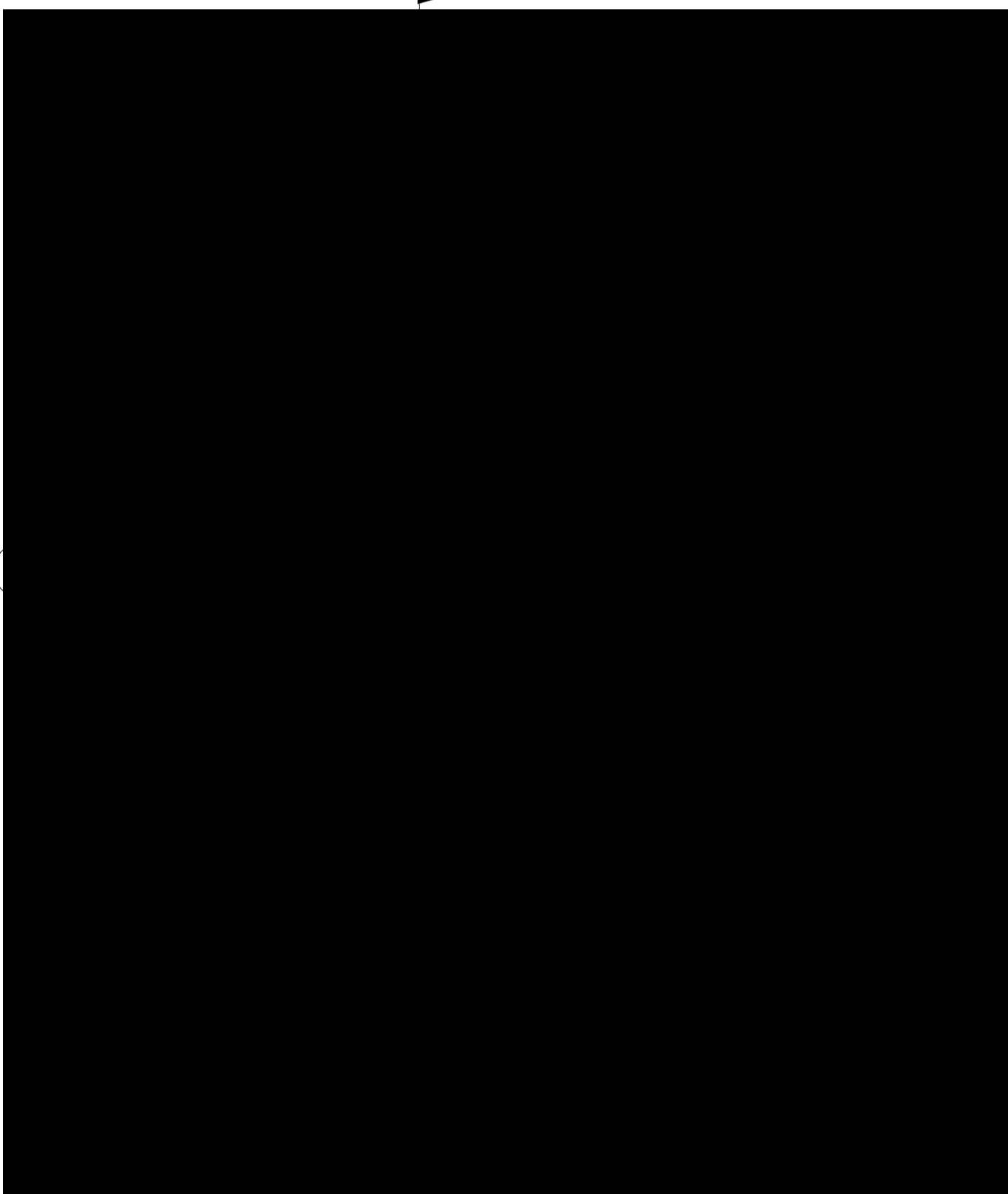
4 PROPOSED RIGHT (WEST) ELEVATION  
3/16" = 1'-0"



6 PROPOSED FRONT (NORTH) ELEVATION  
3/16" = 1'-0"



7 PROPOSED REAR (SOUTH) ELEVATION  
3/16" = 1'-0"



NOTE  
GARAGE TO BE BUILT AS PER VARIANCE (SPV003)

GR-1 ROOF AND CEILINGS

- ASPHALT SHINGLE ROOFING AS SPEC'D
- BUILDING PAPER
- 1 LAYER 5/8" (15.9mm) TYPE X GYPSUM BOARD OR EQUIVALENT.
- APPROVED WOOD TRUSSES @ 24" O/C (EAVE PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO A LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL) 2X4 TRUSS BRACING TO OCCUR @ 7'-0" O.C. AT BOTTOM CHORD)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES
- MIN R35 LOOSE FILL/ OR CELLULOSE INSUL.
- VAPOUR BARRIER (6 MIL POLY)
- 5/8" TYPE 'X' DRYWALL

GF-4 GARAGE SLAB

- 4" DURACRETE CONC. SLAB
- 5" COMP. GRAVEL (SLOPE 4")
- (EXCAVATE UNDER FOOTINGS ONLY UNEXCAVATED SOIL UNDER SLAB AREA)

WA-13 EXTERIOR WALLS AS PER SPV 003

- UL U465, ULC W415 1-HOUR
- 1- LAYER 5/8" (15.9MM) TYPE X EXTERIOR GYPSUM BOARD OR THE EQUIVALENT TO PROVIDE A MINIMUM 45 MIN FIRE RESISTANCE RATING (FRR) WITH ALL VERTICAL JOINTS FULLY SUPPORTED.
- 2- SINGLE PLY AIR BARRIER.
- 3- MINIMUM 38MM X 89MM (2" X 4") WOOD STUDS AT A MAXIMUM SPACING OF 400MM (16") ON CENTRE.
- 4- EXTERIOR WALL STUD CAVITIES TO BE FILLED WITH MINERAL FIBER INSULATION CONFORMING TO CAN/ULC-S702, HAVING A MASS NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE.
- 5- A SINGLE PLY 6MIL (0.15MM) POLYETHYLENE VAPOUR BARRIER CONFORMING TO CAN/CGSB-51.34M INSTALLED IN ACCORDANCE WITH ARTICLE 9.25.4.3 OF DIVISION B OF THE NBC - AE
- 6- INTERIOR SHEATHING TO CONSIST OF 1 LAYER 5/8" (15.9MM) TYPE X GYPSUM BOARD OR EQUIVALENT.

GW-4 EXTERIOR WALLS NON-COMBUSTIBLE WALL

- EXTERIOR FINISH AS SPEC'D ( STUCCO FINISH )
- 5/8" DENSGLOSS OR EQUIVALENT
- 2X8" STEEL STUDS @ 16" OC.
- R12 FRICTION-FIT FIBERGLASS INSULATION
- VAPOUR BARRIER (6 MIL POLYETHYLENE )
- 1 LAYERS 5/8" TYPE 'X' DRYWALL

W-7 (W13-A) 1HR FRR STC-57

- 5/8" TYPE 'X' DRYWALL
- 6 MIL POLY V-B
- 2X4 STUDS ON EDGE @ 24" OC
- 6 MIL POLY V-B
- 5/8" TYPE 'X' DRYWALL

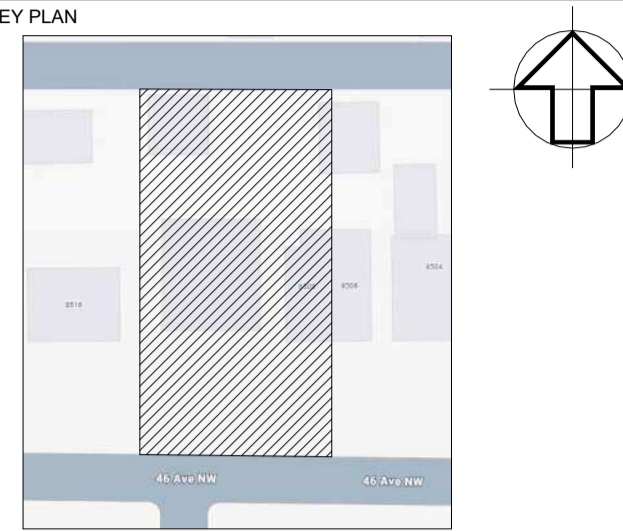
NOTE  
- SOIL BEARING CAPACITY 2000 # FT²  
- DOORS TO 45 MIN. FRR AND SELF CLOSING

TRC_SCHEDULE OF FINISHES	
MARK	NAME
01	ASPHALT SHINGLES
02	8" FASCIA
04	STUCCO CLADDING

DESIGNED BY:

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL

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01	2026-06-23	DTR 1	R.N	
02				
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05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-04-22	DEVELOPMENT PERMIT SET	R.N	T.J.A.K
02				
03				
04				
05				

THE CLIENT:

PROJECT: 4\_PLEX

ADDRESS: 8512 - 46 AVENUE N.W., CALGARY, ALBERTA PLAN 2660AP, BLOCK 10, LOTS 14&15

DRAWING SET: DEVELOPMENT PERMIT SET

DRAWING TITLE: ACCESSORY BUILDING (GARAGE)

DRAWING NO. A-401

PROJECT NO.: 26-1043

CHECKED BY: T.J.A.K.

DATE: 2026-06-23

DRAWN BY: R.N.

SCALE: 3/16" = 1'-0"