

# SITE PLAN

## LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)  
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM  
 AND ARE DERIVED FROM ASCMS 140368  
 ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.  
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- ----- denotes Calculation points
- ⊠ ----- denotes Water Valve
- ◇ ----- denotes Gas Valve
- ⊙ ----- denotes Manhole
- ⊕ ----- denotes Tree
- ⊕ ----- denotes Power Pole
- △ ----- denotes Sign
- ☀ ----- denotes Light Standard
- X-X- denotes Fence
- S- denotes Sanitary Line
- ST- denotes Storm Line
- W- denotes Water Line
- G- denotes Gas Line
- E- denotes Electrical Line
- A.G.T- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- ▭ denotes Door
- ▭ denotes Main Floor Windows
- ▭ denotes Second Floor Windows
- ▭ denotes Basement Floor Windows
- ▨ ----- denotes Shed Hatch
- ▨ ----- denotes Detached Garage Hatch
- ▨ ----- denotes Main Building Hatch
- ▨ ----- denotes Concrete and Asphalt Hatch
- ▨ ----- denotes Wood Hatch

'Cant.' denotes Cantilevers  
 'Enc.' denotes Encroach(es)  
 'BW' denotes Back of Walkway  
 'BW' denotes Bottom of Wall  
 'Conc.' denotes Concrete  
 'Ret.' denotes Retaining  
 'BC' denotes Back of Curb  
 'TOW' denotes Top of Wall

**Disclaimer**  
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential  
 Grade-Oriented Infill

SCALE 1:200

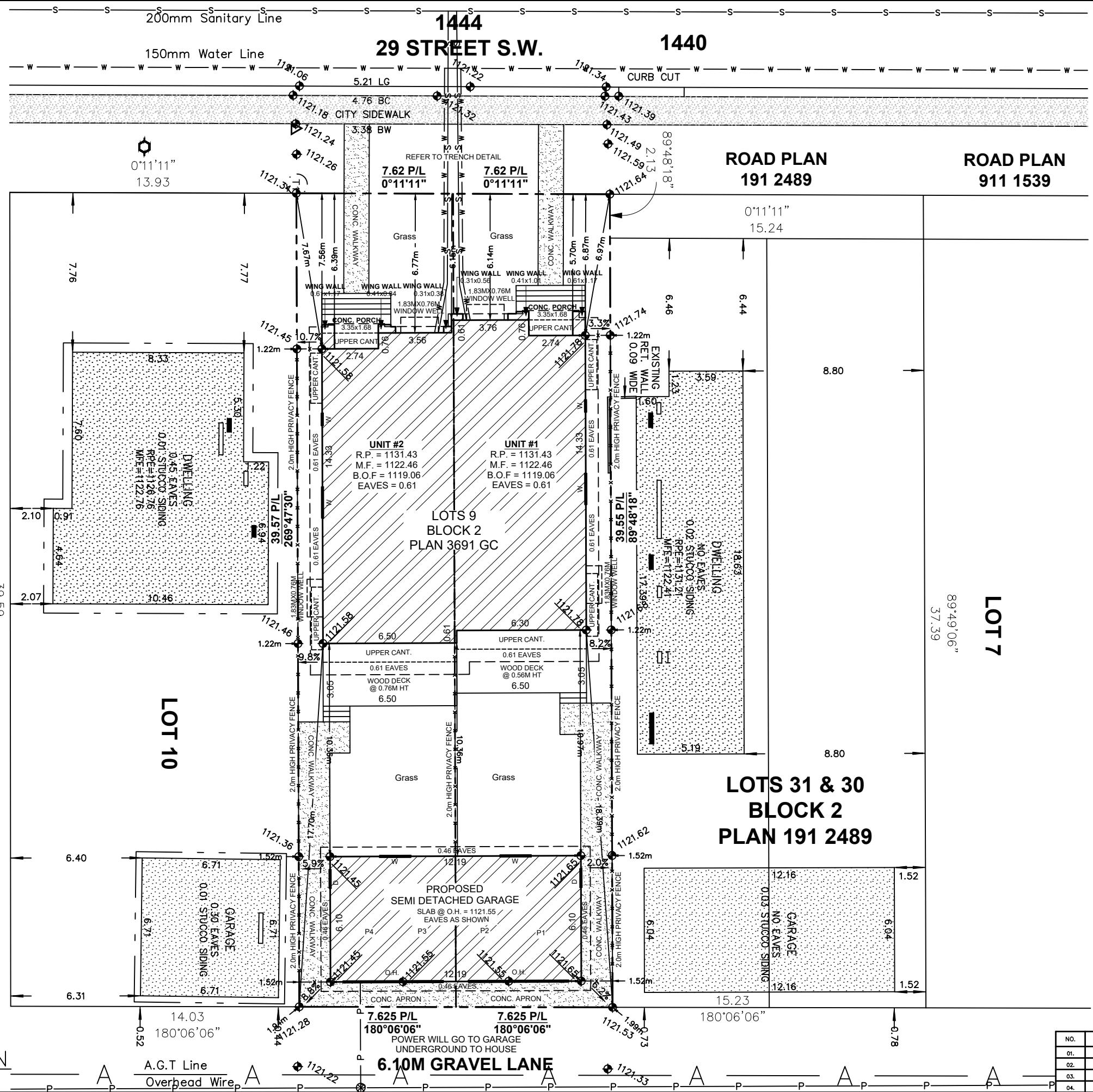
### LEGAL DESCRIPTION:

Lots 9  
 Block 2  
 Plan 3691 GC

### MUNICIPAL ADDRESS:

1444 29 STREET S.W.  
 Calgary, Alberta

LOT COVERAGE DETAIL: (SINGLE LOT AND HOUSE)	LOT COVERAGE DETAIL: (UNIT #1)	LOT COVERAGE DETAIL: (UNIT #2)
LOT SIZE: 602.502 SQ M HOUSE SIZE: 189.089 SQ M COVERED PORCH: 3.252 SQ M CANT.: 0.000 SQ M WING WALL: 2.397 SQ M GARAGE: 74.322 SQ M TOTAL: 269.06/602.502 = 44.66%	LOT SIZE: 301.208 SQ M HOUSE SIZE: 94.544 SQ M COVERED PORCH: 1.626 SQ M CANT.: 0.000 SQ M WING WALL: 1.221 SQ M GARAGE: 37.161 SQ M TOTAL: 134.552/301.208 = 44.67%	LOT SIZE: 301.294 SQ M HOUSE SIZE: 94.544 SQ M COVERED PORCH: 1.626 SQ M CANT.: 0.000 SQ M WING WALL: 1.176 SQ M GARAGE: 37.161 SQ M TOTAL: 134.507/301.294 = 44.64%



# SITE PLAN

SCALE: 1:200

A.G.T Line  
 Overhead Wire

## 6.10M GRAVEL LANE

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	05/05/26	DP SITEPLAN	S.W.	1444 29 STREET S.W. Calgary, Alberta	SEMI DETACHED HOUSE	1: 200
02.				Lots 9 Block 2 Plan 3691 GC	DATE: MAY 05, 2026	DIVISION NUMBER: S 01
03.						
04.						



**FLOOR AREA - UNIT #1**  
 BASEMENT =1040.17 SQ. FT.

**FLOOR AREA - UNIT #1**  
 MAIN =1017.67 SQ. FT.  
 UPPER =1136.17 SQ. FT.  
**TOTAL =2153.84 SQ. FT.**

**FLOOR AREA - UNIT #2**  
 BASEMENT =1040.17 SQ. FT.

**FLOOR AREA - UNIT #2**  
 MAIN =1017.67 SQ. FT.  
 UPPER =1136.17 SQ. FT.  
**TOTAL =2153.84 SQ. FT.**

**LIST OF DRAWINGS**

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Section

PROJECT NOTES:

DO NOT SCALE DRAWINGS.  
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.  
 CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
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**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	05/05/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

**JOHN TRINH & ASSOCIATES**  
 Design | Drafting | Planning | Permits

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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:  
 X \_\_\_\_\_

PRINTED: 2026-05-07 2:16:19 PM

PROJECT NAME:  
 1444 29 St SW  
 CALGARY, ALBERTA

DESIGNER: JT JOB #: #242-26

SCALE: AS SHOWN SHEET: A-0.0



**EXTERIOR FINISHES:**

- |   |                         |   |                                  |
|---|-------------------------|---|----------------------------------|
| 1 | ASPHALT SHINGLES        | 5 | BOARD & BATTEN - DARK GRAY/BLACK |
| 2 | 6" ALUMNIMUM FASCIA     | 6 | SMOOTH STUCCO - WHITE            |
| 3 | STUCCO FINISHES - WHITE | 7 | CONC. PARGING                    |
| 4 | STONE                   | 8 | CAST IN PLACE CONCRETE           |

**VENTED SOFFIT NOTES:**

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

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PROJECT NAME:  
1444 29 St SW  
CALGARY, ALBERTA

DESIGNER: JT JOB #: #242-26

SCALE: AS SHOWN SHEET: A-2.1



**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- |                           |                                    |
|---------------------------|------------------------------------|
| 1 ASPHALT SHINGLES        | 5 BOARD & BATTEN - DARK GRAY/BLACK |
| 2 6" ALUMNIMUM FASCIA     | 6 SMOOTH STUCCO - WHITE            |
| 3 STUCCO FINISHES - WHITE | 7 CONC. PARGING                    |
| 4 STONE                   | 8 CAST IN PLACE CONCRETE           |

**WINDOW CALCULATION**  
 WALL AREA= 1121.53 SQ. FT.  
 WINDOW AREA = 51.34 SQ. FT.  
 TOTAL: 51.34 / 1121.53 = 4.58%

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:  
 X \_\_\_\_\_

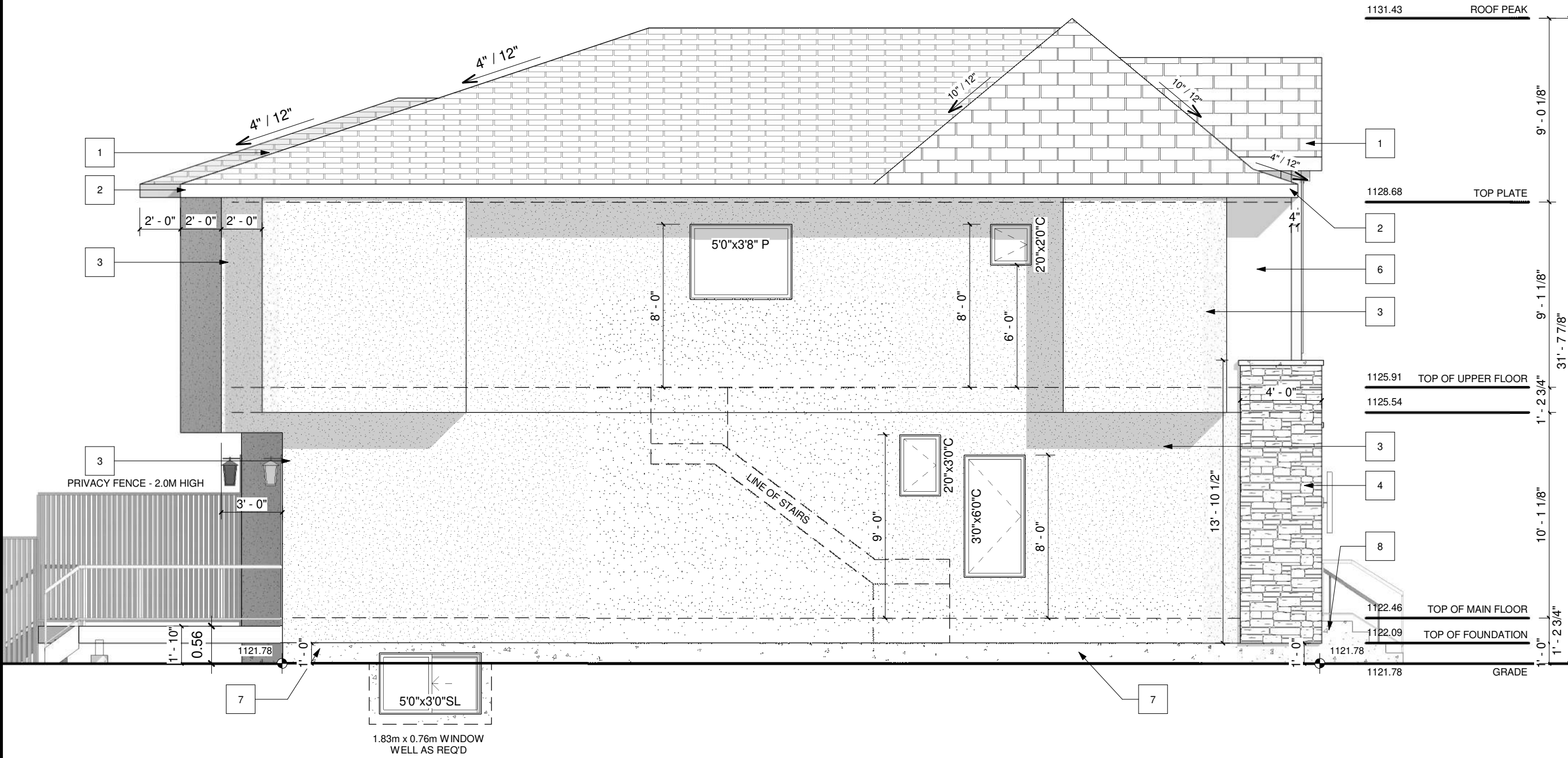
PRINTED: 2026-05-07 2:16:26 PM

PROJECT NAME:  
 1444 29 St SW  
 CALGARY, ALBERTA

DESIGNER: JT JOB #: #242-26

SCALE: AS SHOWN SHEET: A-2.2

**UNIT #1**



**LEFT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- |                           |                                    |
|---------------------------|------------------------------------|
| 1 ASPHALT SHINGLES        | 5 BOARD & BATTEN - DARK GRAY/BLACK |
| 2 6" ALUMNIMUM FASCIA     | 6 SMOOTH STUCCO - WHITE            |
| 3 STUCCO FINISHES - WHITE | 7 CONC. PARGING                    |
| 4 STONE                   | 8 CAST IN PLACE CONCRETE           |

**WINDOW CALCULATION**  
 WALL AREA= 1149.74 SQ. FT.  
 WINDOW AREA = 54.73 SQ. FT.  
 TOTAL: 54.73 / 1149.74 = 4.76%

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)

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PROJECT: **SEMI DETACHED**

STATUS: -

SIGNATURES:  
 X \_\_\_\_\_

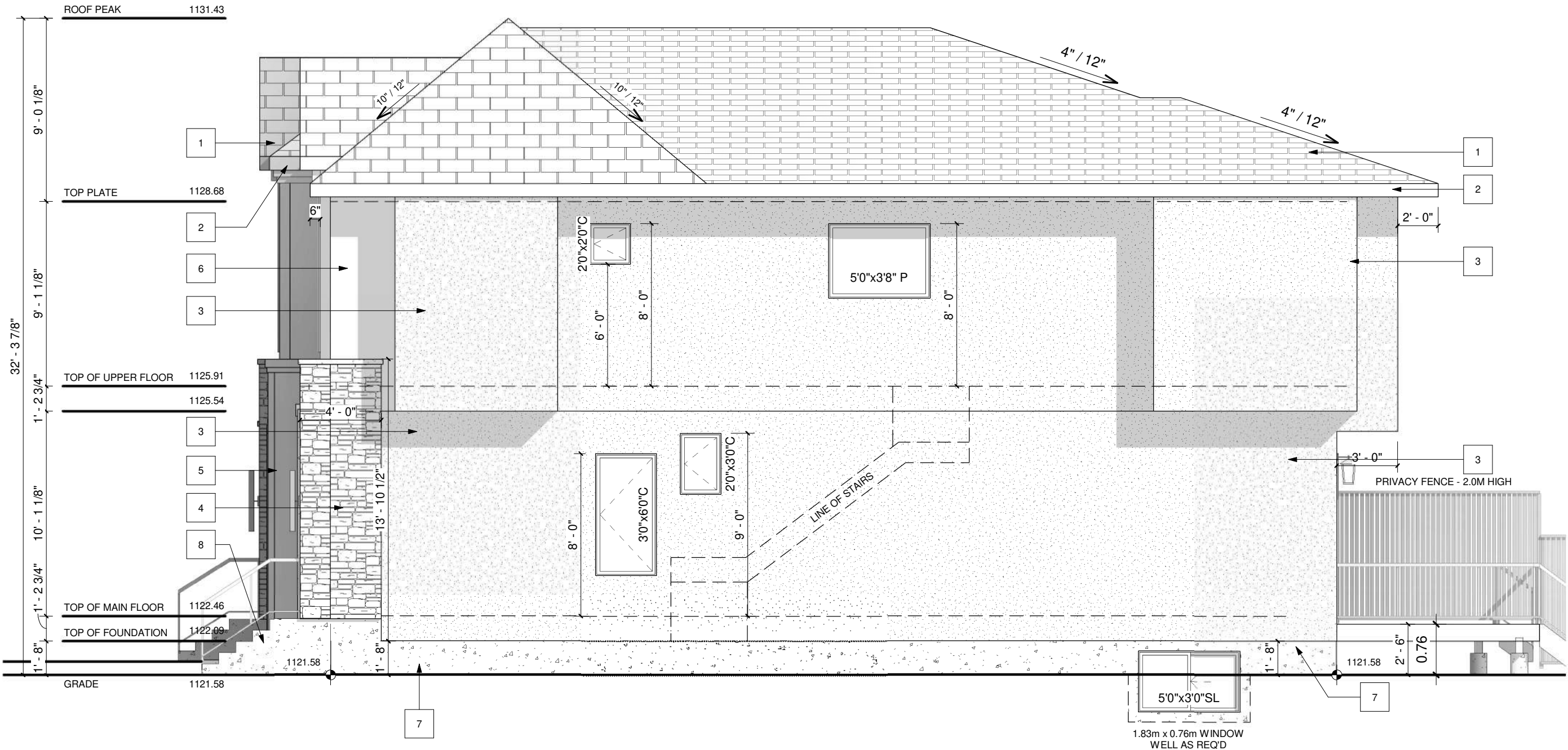
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PROJECT NAME:  
 1444 29 St SW  
 CALGARY, ALBERTA

DESIGNER: JT      JOB #: #242-26

SCALE: AS SHOWN      SHEET: A-2.3

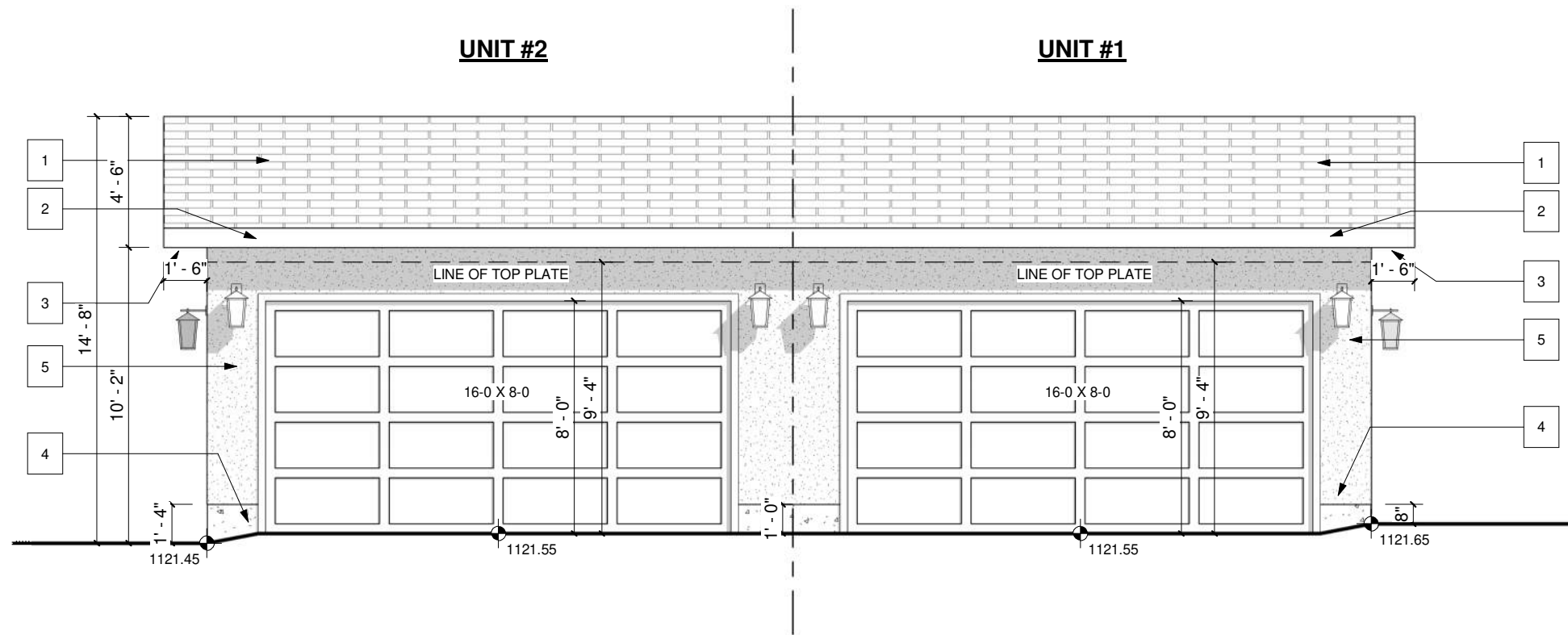
**UNIT #2**



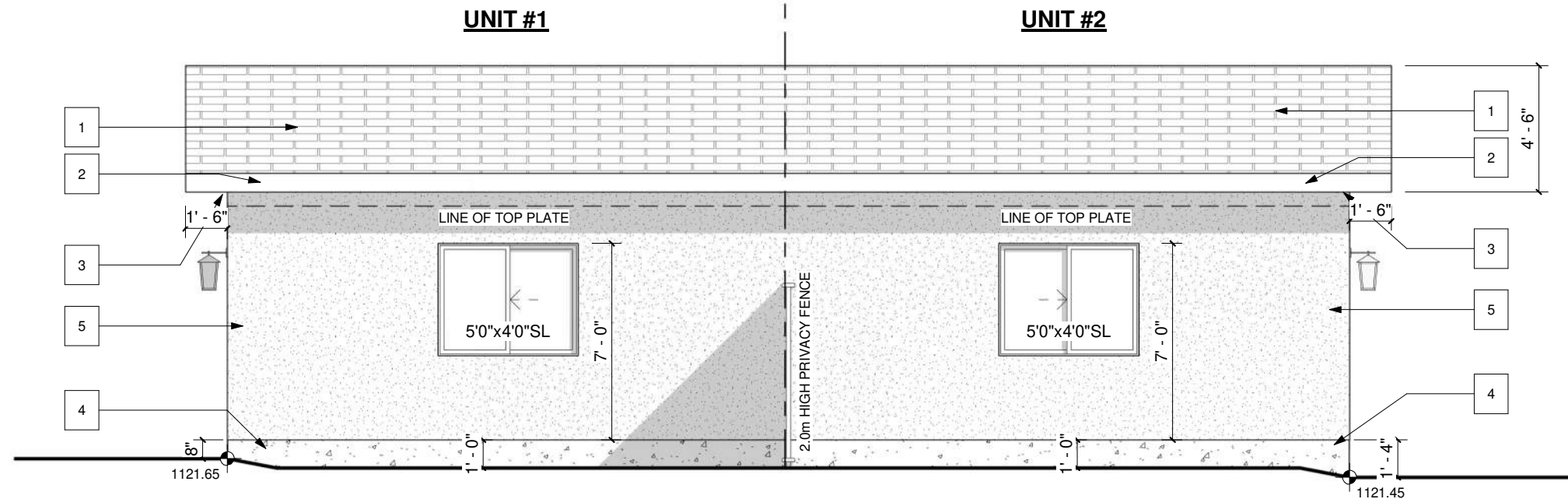
**RIGHT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PARGING
- 5 STUCCO FINISH



**GARAGE FRONT - BACK LANE**  
SCALE: 3/16" = 1'-0"



**GARAGE REAR**  
SCALE: 3/16" = 1'-0"

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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

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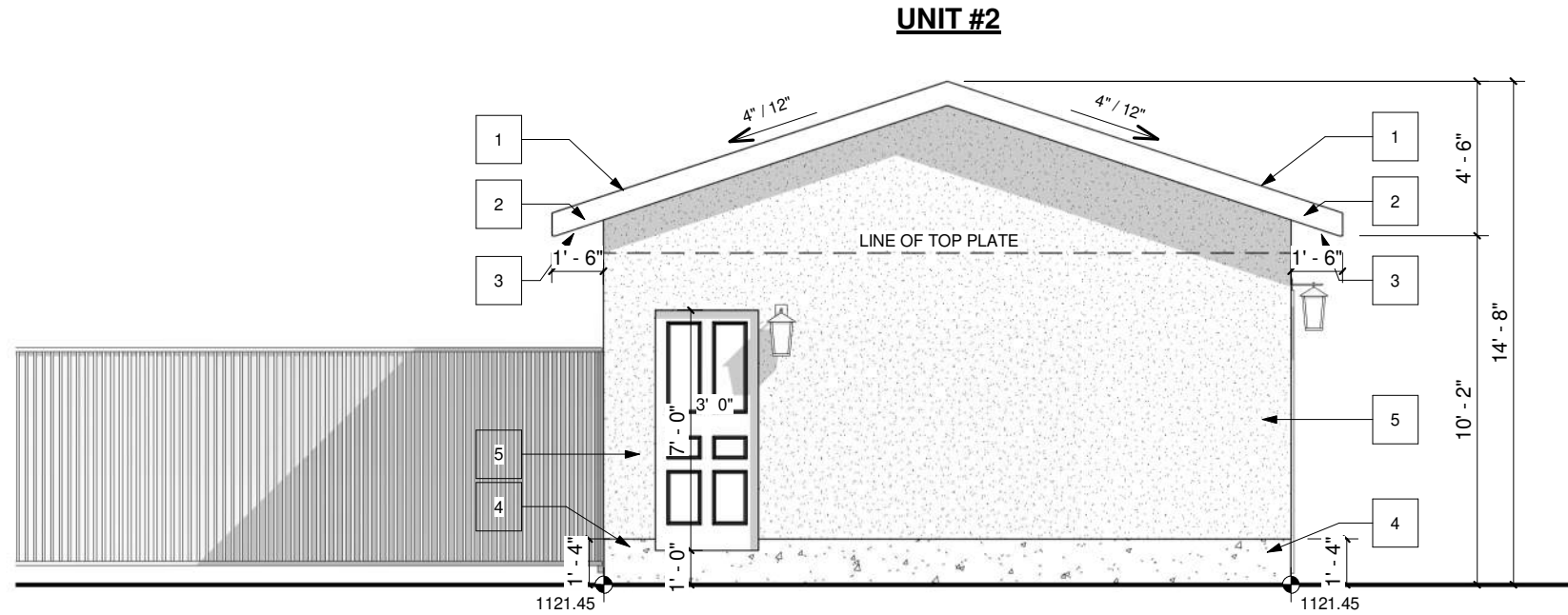
PROJECT NAME:  
1444 29 St SW  
CALGARY, ALBERTA

DESIGNER: JT      JOB #: #242-26

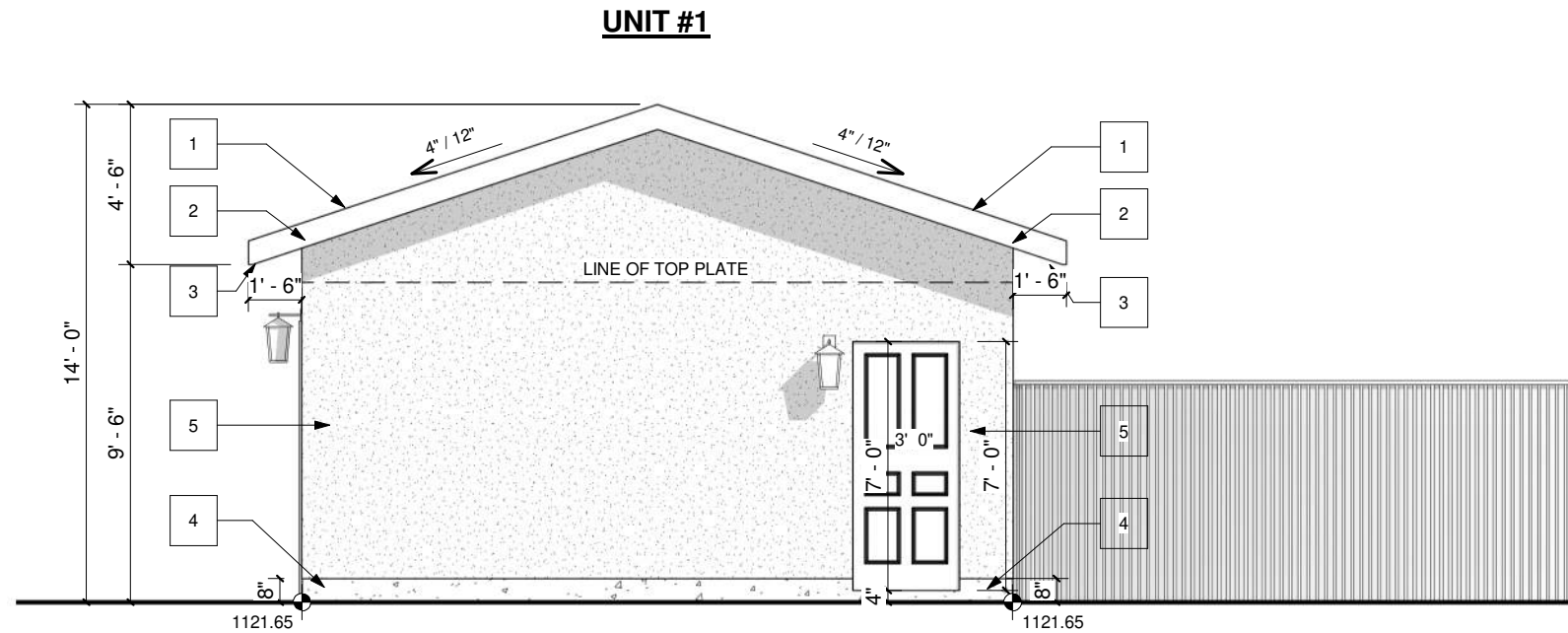
SCALE: AS SHOWN      SHEET: A-3.1

**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PARGING
- 5 STUCCO FINISH



**GARAGE LEFT**  
SCALE: 3/16" = 1'-0"



**GARAGE RIGHT**  
SCALE: 3/16" = 1'-0"

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X \_\_\_\_\_

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PROJECT NAME:  
1444 29 St SW  
CALGARY, ALBERTA

DESIGNER: JT JOB #: #242-26

SCALE: AS SHOWN SHEET: A-3.2