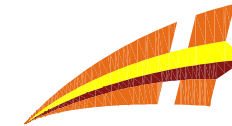


# ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT



**Horizon Land Surveys Inc.**

130 Bowness Centre N.W. P. 403-719-0272  
 Calgary, Alberta, T3B 5M5 F. 403-775-4171

**LEGAL DESCRIPTION:**

LOT 16  
 BLOCK 19  
 PLAN 151 2742

**MUNICIPAL ADDRESS:**

767 SHAWNEE DRIVE S.W.  
 CALGARY, ALBERTA

**SCALE:** 1:200

**DATE OF SURVEY:** March 25th, 2026

**LEGEND:**

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Statutory Iron Post
- Drill Hole
- Iron Bar
- Calculation point
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch

- '2F.'-Second Floor
- 'A'-Length of Arc
- 'A/C'-Air Conditioner
- 'AGL'-Above Ground Level
- 'BC'-Back of Curb
- 'BW'-Back of Walkway
- 'C.'-Certificate
- 'Calc.'-Calculated
- 'Cant.'-Cantilever
- 'Conc.'-Concrete
- 'C.S.'-Countersunk
- 'D.H.'-Drill Hole
- 'Enc.'-Encroach(es)
- 'Fd.'-Found
- 'I.'-Statutory Iron Post
- 'M.F.'-Main Floor
- 'Mk./Mks.'-Mark/Marks
- 'P/L'-Property Line
- 'R.'-Radius of Arc
- 'Ret.'-Retaining
- 'R/W'-Right of Way
- 'T.'-Title
- 'W.W.'-Window Well
- 'W/O'-Walkout

**CERTIFICATION:**

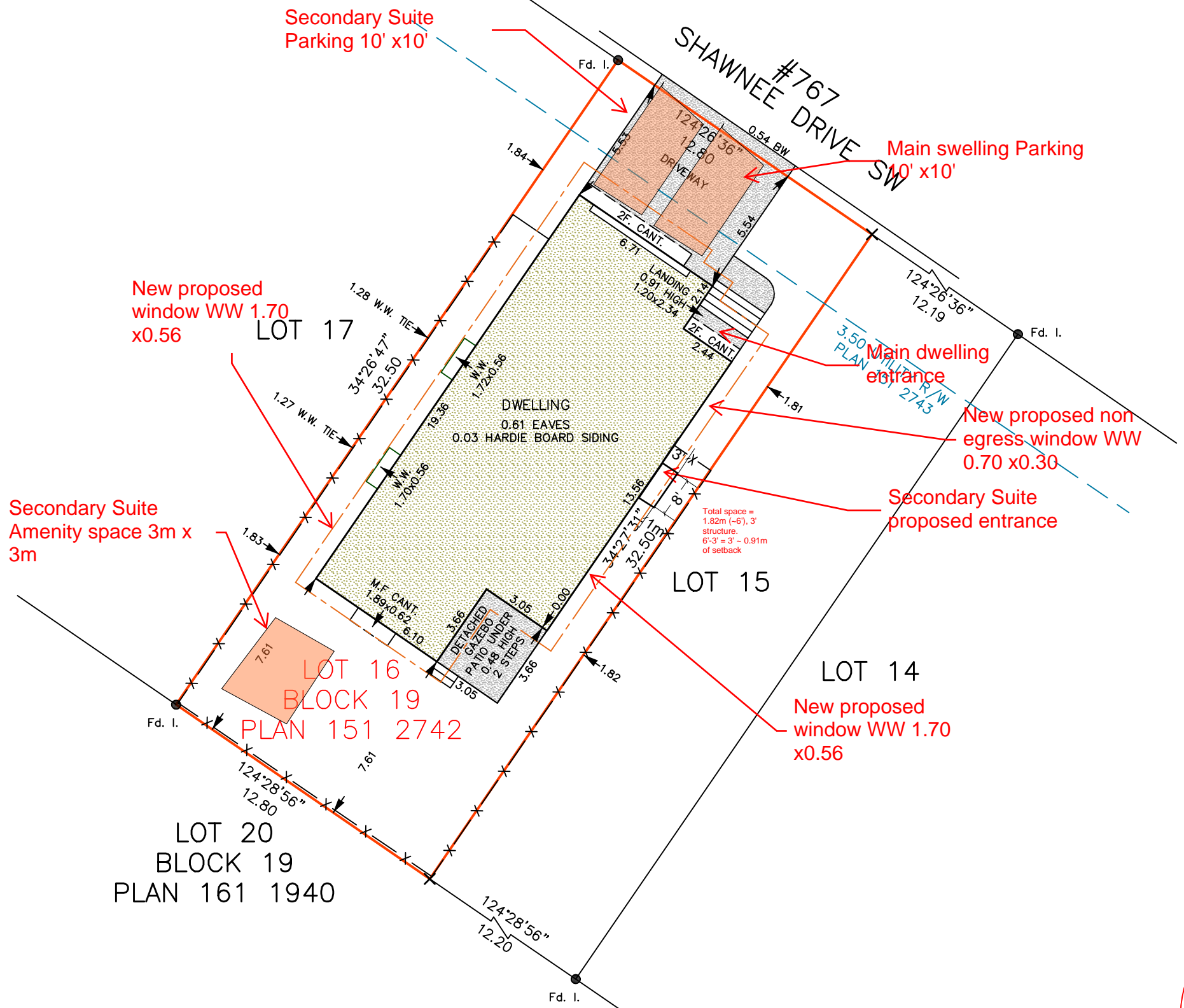
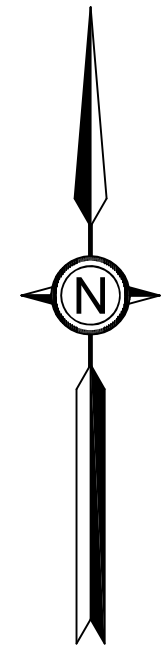
I, Xianglei Wang, Alberta Land Surveyor do hereby certify that this Report and related survey, was prepared and performed under my supervision, direction and control and in accordance with standards and rules for the practice of surveying prescribed by the Alberta Land Surveyors' Association. Accordingly, within those standards and as of the date of this Report, I am of the opinion that:

- The Plan illustrates the boundaries to the Property, the improvements as defined in Part C, Section 6.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and rights-of-way affecting the extent of the title of the property;
- The improvements are entirely within the boundaries of the property;
- No visible encroachments exist on the Property from any improvement situated on an adjacent property;
- No visible encroachments exist on registered easements or rights-of-way affecting the extent of the property;
- Title information is based on a title search dated May 5th, 2025 C. of T. No. 161 064 851 and is subject to the following instruments:  
 Utility Right of Way No. 151 263 224  
 Encumbrance No. 161 064 852  
 Mortgage No. 161 064 853

- Unless otherwise specified, the dimensions shown relate to distances from Property boundaries to foundation walls at time of survey.
- Distances are in metres and decimals thereof;  
 Lineworks and dimensions outside of the Property are not to scale;  
 All eaves are measured from foundation to fascia unless otherwise noted;  
 All fences are within 0.20 metres of the property lines unless otherwise shown.
- Purpose: This Report has been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a real estate transaction. Copying is permitted only for the benefit of these parties. Where applicable, registered easements and utility rights of way affecting the extent of the property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.
- This document is not valid unless it bears an original signature or digital signature of an Alberta Land Surveyor and a Horizon Land Surveys Inc. permit stamp (in red ink).

Dated this March 31, 2026.

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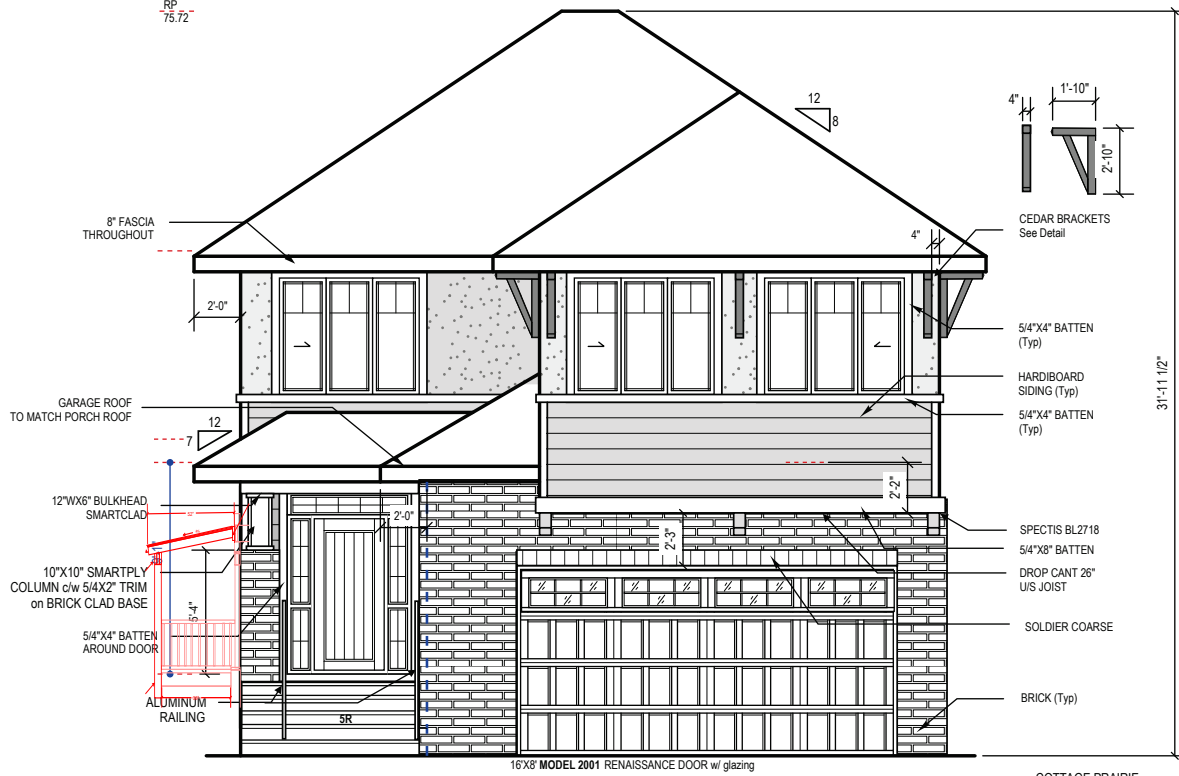


The owner is responsible for reviewing this Real Property Report and reporting any discrepancies or omissions within 3 months of the issuance of this Real Property Report to Horizon Land Surveys Inc.. Failure to report the discrepancies or omissions relieves Horizon Land Surveys Inc. of any future liabilities or claims.

Prepared for:	
File No.: 260349	Date: 31/Mar/2026
Drawn: LZ	Checked: SL

Xianglei Wang, A.L.S.

RP  
75.72



COTTAGE PRAIRIE  
**FRONT ELEVATION 'S3'**  
SCALE: 3/16"=1'-0"  
REFER TO PAGE 7 FOR ALL GENERAL CONSTRUCTION NOTES

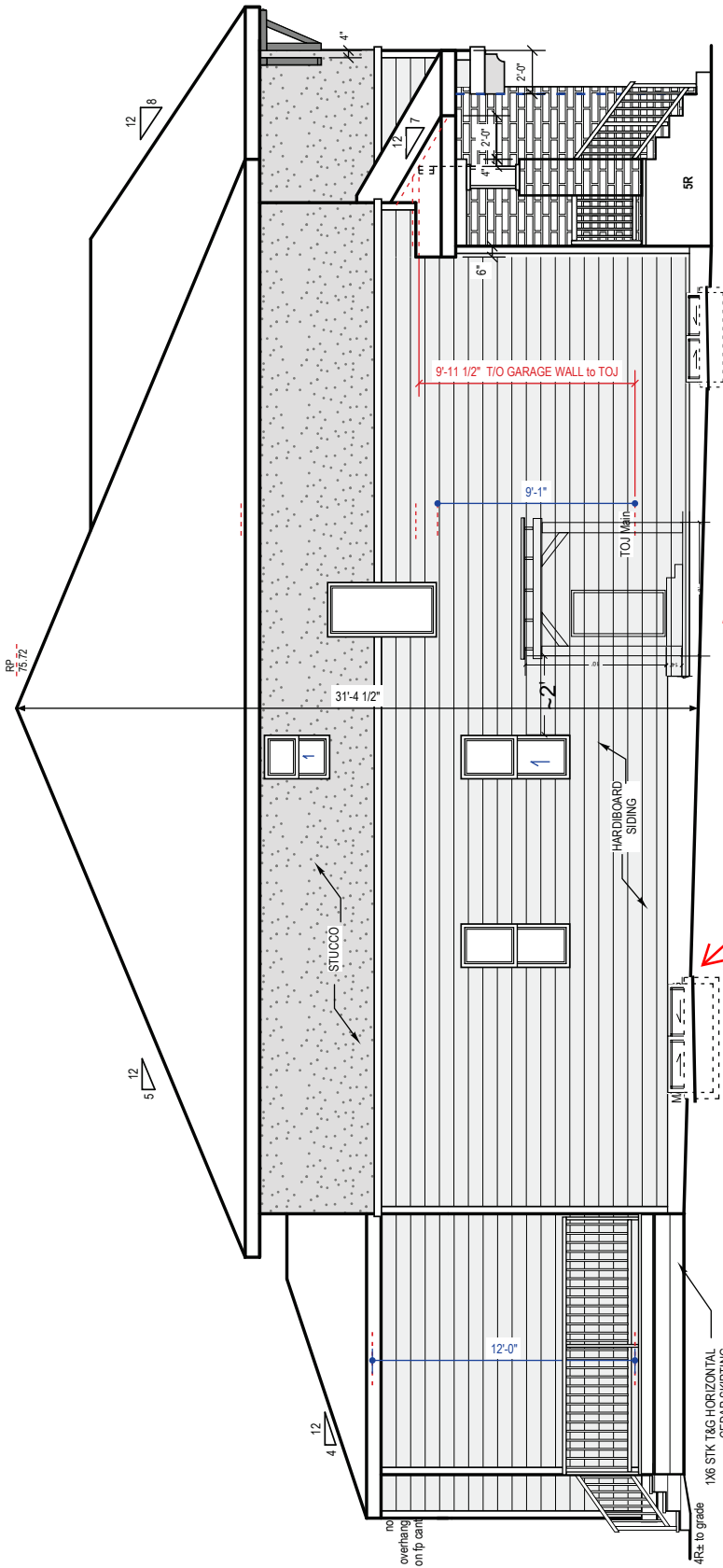
- EXTERIOR CLADDING NOTES**
- \* ASPHALT SHINGLES (Refer To Exterior Colour Sheet)
  - \* HARDIBOARD / STUCCO BANDING
  - \* SMARTBOARD BATTENS (UNLESS NOTED)
  - \* OVERHANGS 24" UNLESS NOTED
  - \* ALUMINUM PREFINISHED SOFFIT, 5" EAVESTROUGH AND 8" FASCIA
  - \*\* FLASHING COLOUR TO BE ROYAL -WICKER #4502 OR SIMILAR (Unless Noted Otherwise)



**SOFFIT NOTE**  
ENSURE UNVENTED SOFFITS ON ENCROACHING SIDEYARDS (TYP)

pg 4 of 9  
**REAR ELEVATION 'S3'**  
SCALE: 3/16"=1'-0"  
REFER TO PAGE 7 FOR ALL GENERAL CONSTRUCTION NOTES

MAXIMUM 10m BUILDING HEIGHT



New proposed 25" x 25" window

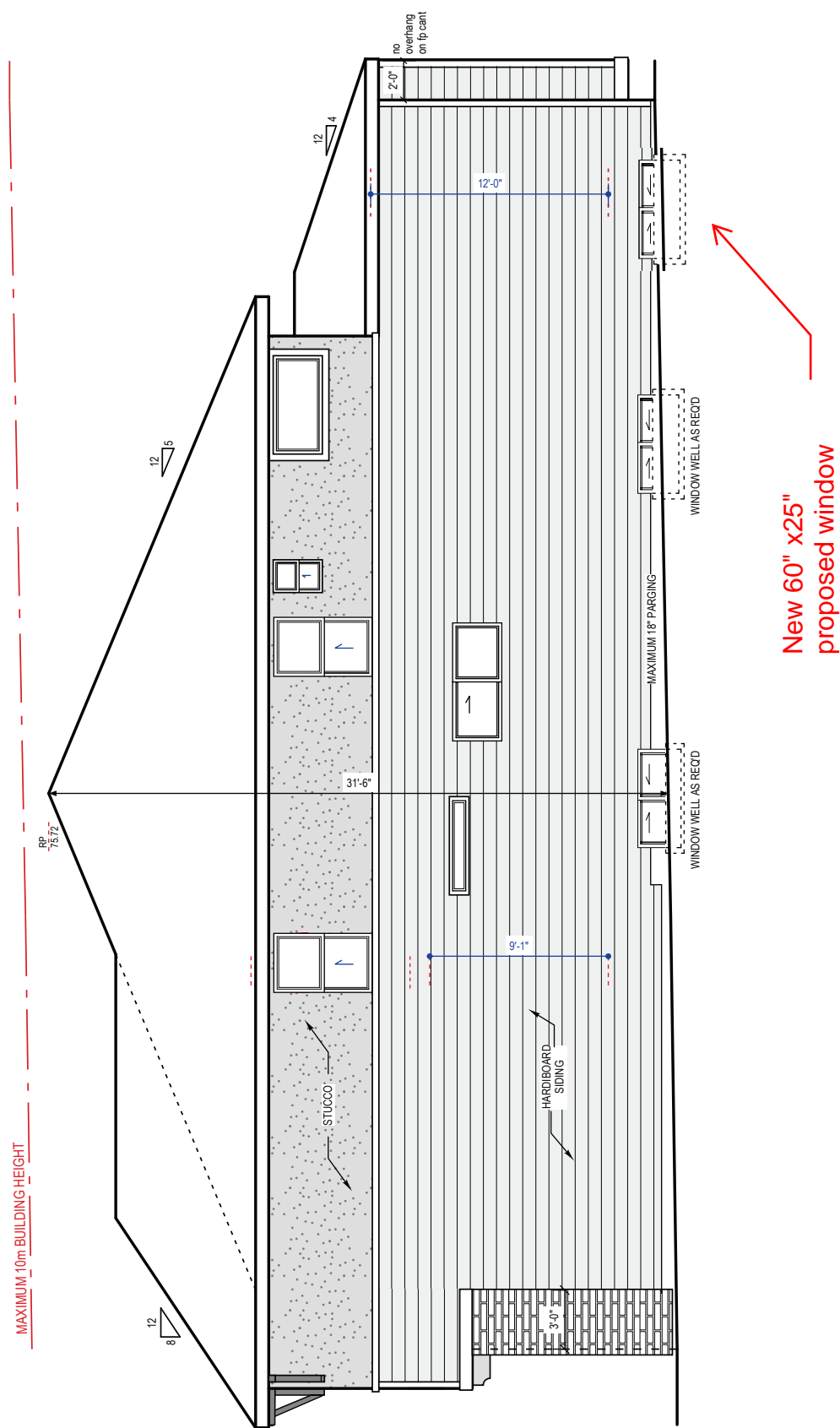
New proposed 32" Door

New proposed 60" x 25" window

MAXIMUM PERCENTAGE AREA OF UNPROTECTED OPENINGS	
LIMITING DISTANCE 1.22m	
ALLOWABLE UNPROTECTED OPENINGS 7% (FOR EXPOSED BUILDING FACE OVER 100m <sup>2</sup> )	
EXPOSED BUILDING FACE:	1214 Sq. Ft.
WINDOWS:	41 Sq. Ft.
ACTUAL UNPROTECTED OPENINGS:	3.4%

**SOFFIT NOTE**  
ENSURE UNVENTED SOFFITS ON ENCROACHING SIDEYARDS (TYP)

REFER TO PAGE 7 FOR ALL GENERAL CONSTRUCTION NOTES

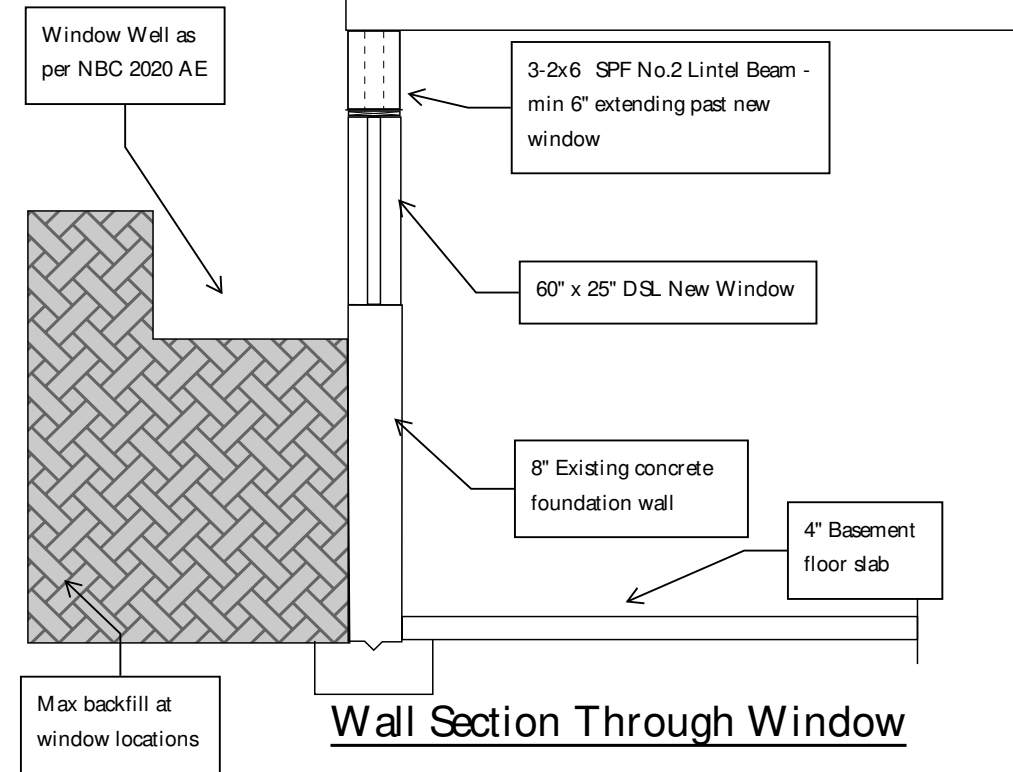
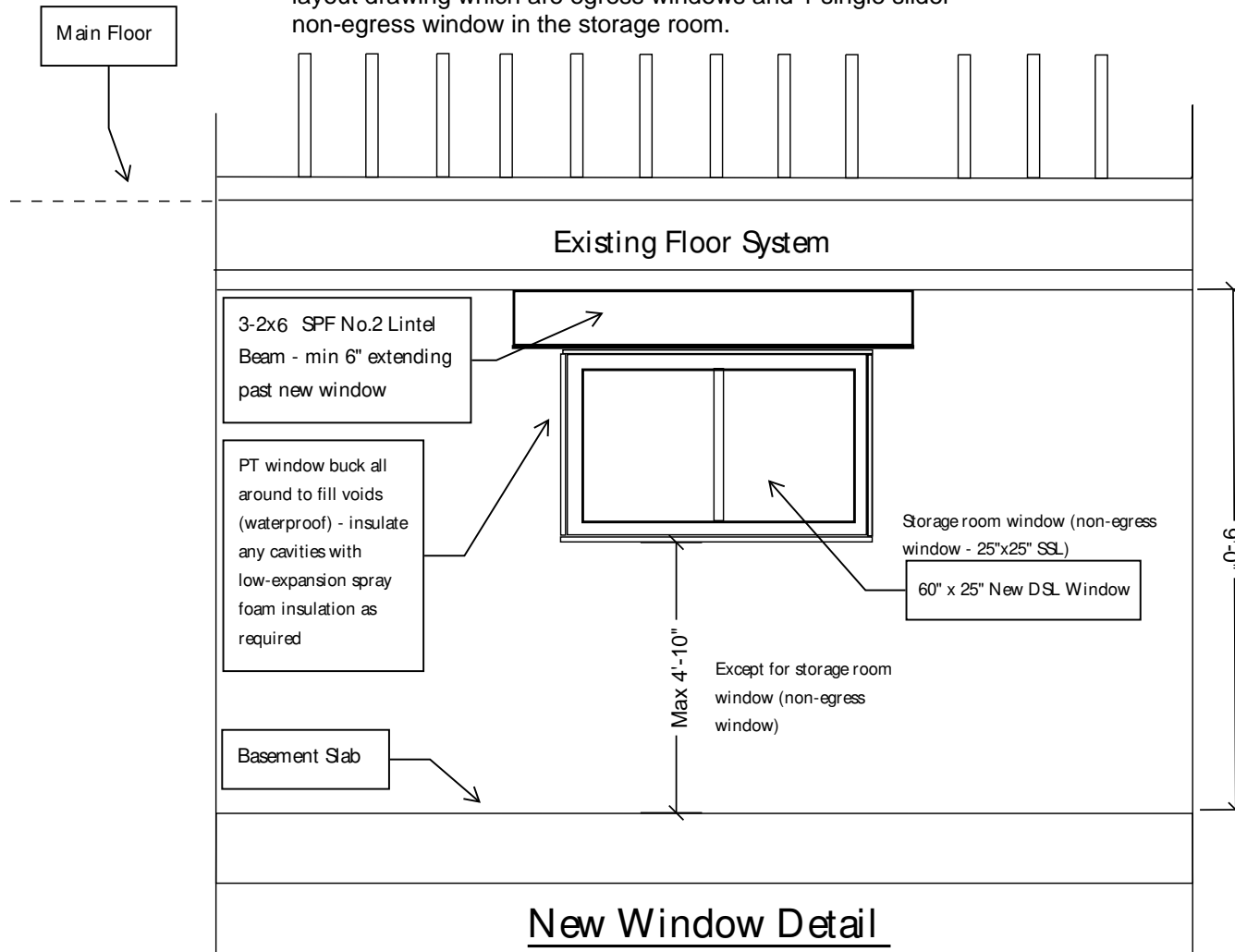


**SOFFIT NOTE**  
ENSURE UNVENTED SOFFITS ON ENCROACHING SIDEYARDS (TYP)

MAXIMUM PERCENTAGE AREA OF UNPROTECTED OPENINGS	
LIMITING DISTANCE 1.2m	
ALLOWABLE UNPROTECTED OPENINGS 7% (FOR EXPOSED BUILDING FACE OVER 100m <sup>2</sup> )	
EXPOSED BUILDING FACE:	1304 Sq. Ft.
WINDOWS:	77.7 Sq. Ft.
ACTUAL UNPROTECTED OPENINGS:	6.0%

REFER TO PAGE 7 FOR ALL GENERAL CONSTRUCTION NOTES

\* Detail applies to two additional windows as noted on the basement layout drawing which are egress windows and 1 single slider non-egress window in the storage room.



E: Info@altapermitanddesign.ca  
C: 403-879-3365

Engineer Stamp:

**REVISIONS**

NO.	REMARKS	DATE

**ADDRESS:**

767 Shawnee Dr SW, Calgary AB

**DATE:** 2026-04-24

**TOTAL AREA:** 1100 Sf

**SCALE** 1:50

**GENERAL**

- \* All work shall conform to the National Building Code of Canada (NBC2020) and local authority requirements.
- \* Contractor shall field verify all existing dimensions, wall thickness, and site conditions prior to commencing work.
- \* Notify Structural Engineer immediately if site conditions differ from assumptions or if significant cracks, voids, or deterioration are observed.
- \* Existing foundation wall assumed to be 200 mm (8") thick cast-in-place concrete unless noted otherwise.

**EXISTING CONDITIONS**

- \* Cast-in-place concrete foundation wall.
- \* Existing window opening approx. 60" wide x 25" high.
- \* Existing concrete lintel above opening to remain.
- \* Maximum Sill height to not exceed 4'-10" above finished floor.

**PROPOSED WORK**

- \* Sawcut and remove concrete to accommodate new window, ensure that temporary shoring is provided as required.
- \* Maintain full bearing of new lintel, install 3-2x6 PT Lintel and adhere to all waterproofing requirements.
- \* Install new 60" x 25" egress window.
- \* Provide infill at any void between lintel and new window head using pressure-treated wood framing and insulation.

**CONCRETE CUTTING & DEMOLITION**

- \* Sawcut full depth prior to removal.
- \* Verify wall thickness prior to cutting.
- \* Existing concrete to remain shall be safeguarded at all times. If damaged, the engineer shall be notified immediately.

**REINFORCEMENT**

- \* Locate existing reinforcement prior to cutting; avoid cutting where possible.
- \* Where reinforcement is cut, provide replacement reinforcing as directed by Structural Engineer.

**SUPPLEMENTAL REINFORCEMENT**

- \* Provide 10M dowels at each side of opening or as required to replace the number of removed bars
- \* Epoxy anchor into existing concrete with minimum 150 mm embedment.
- \* Extend bars minimum 300 mm past opening.
- \* Maintain minimum 50 mm concrete cover.

**WINDOW BUCK**

- \* Provide pressure-treated wood buck (min. 38 mm thick).
- \* Anchor to concrete @ 400 mm o.c. using concrete screws or epoxy anchors.

**INFILL ABOVE WINDOW**

- \* Provide PT wood infill framing between existing lintel and window head.
- \* Insulate cavity with low-expansion spray foam.
- \* Provide head flashing above window.

**WINDOW REQUIREMENTS**

- \* Window to meet egress requirements:
- \* Minimum clear opening area: 0.35 m<sup>2</sup> (3.77 ft<sup>2</sup>)
- \* Minimum dimension: 380 mm (15")
- \* Window to open without tools or special knowledge.
- \* Casement window recommended.

**WATERPROOFING**

- \* Restore dampproofing/waterproofing membrane.
- \* Patch parging as required.
- \* Seal perimeter with spray foam and exterior sealant.

**WINDOW WELL (IF APPLICABLE)**

- \* Minimum 760 mm projection and width.
- \* Provide ladder if depth exceeds 1100 mm.

Engineer Stamp:

REVISIONS

NO.	REMARKS	DATE

ADDRESS:

767 Shawnee Dr SW, Calgary AB

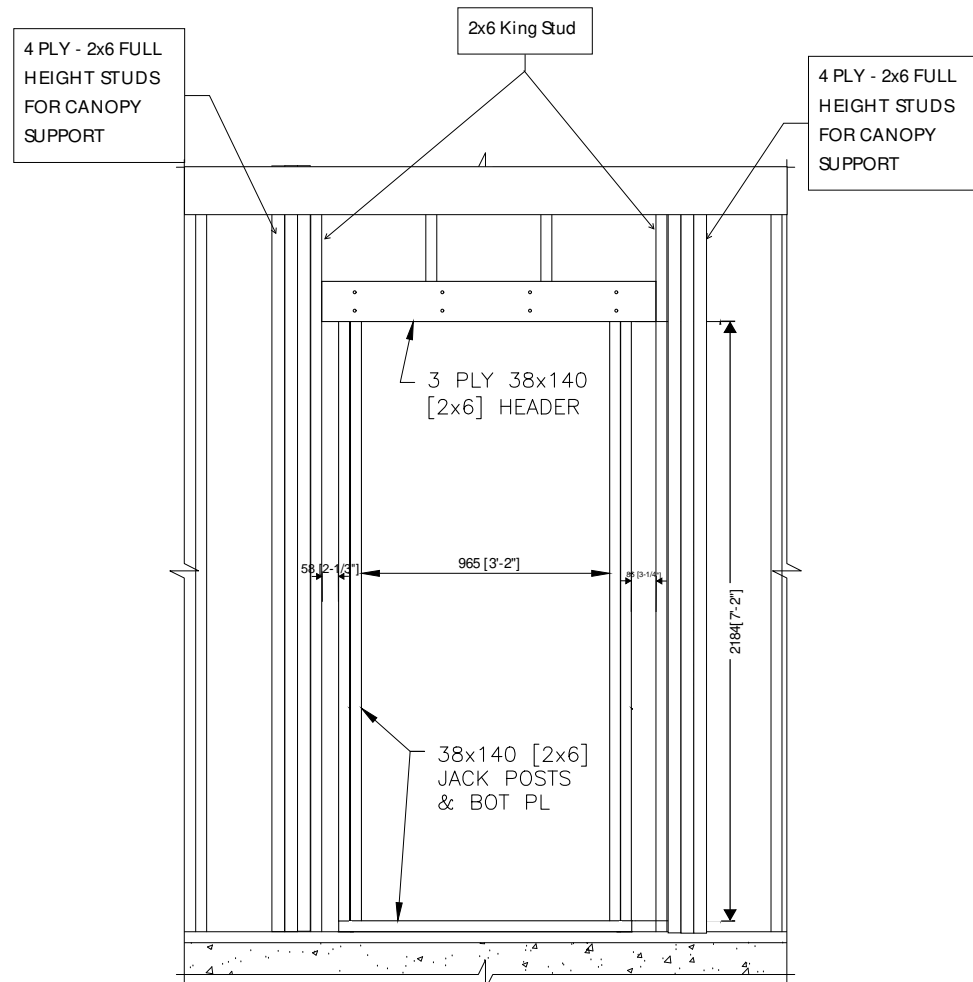
DATE: 2026-04-24

TOTAL AREA: 1100 SF

SCALE 1:50

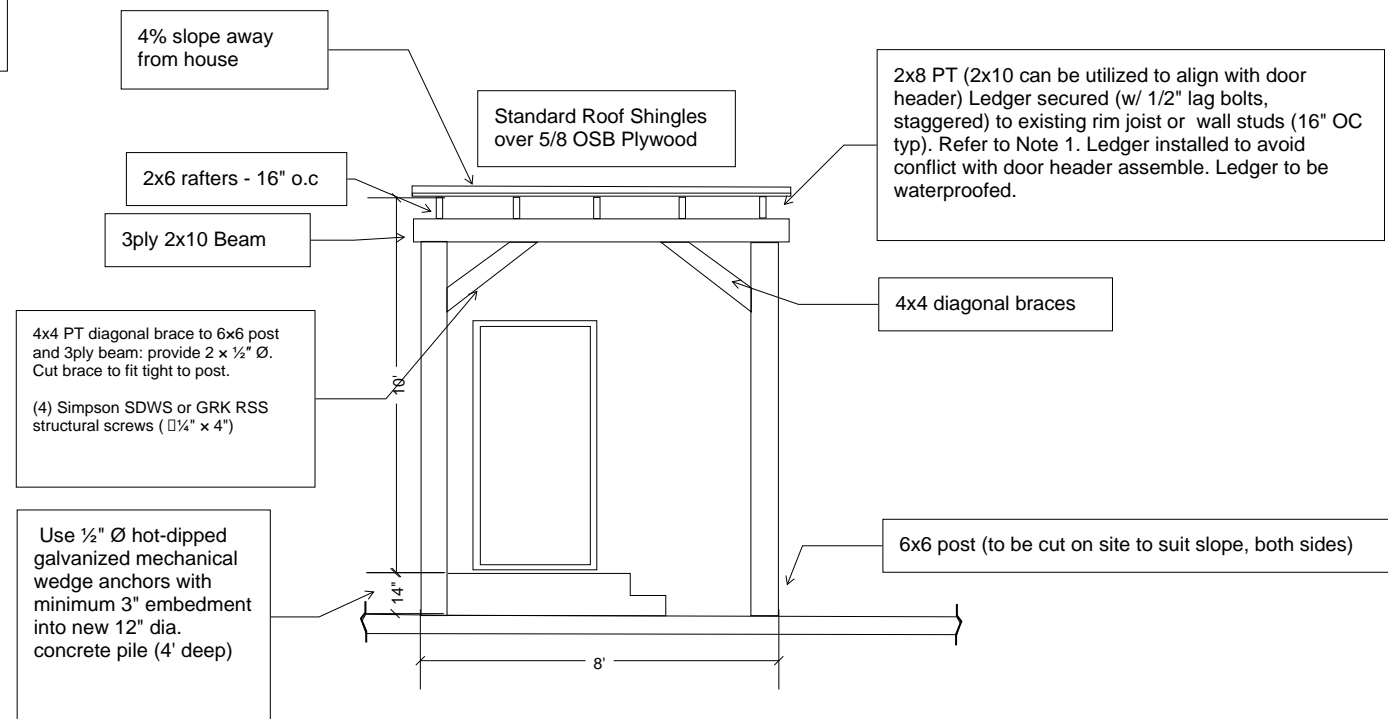
New Door & Canopy Detail

1 of 1

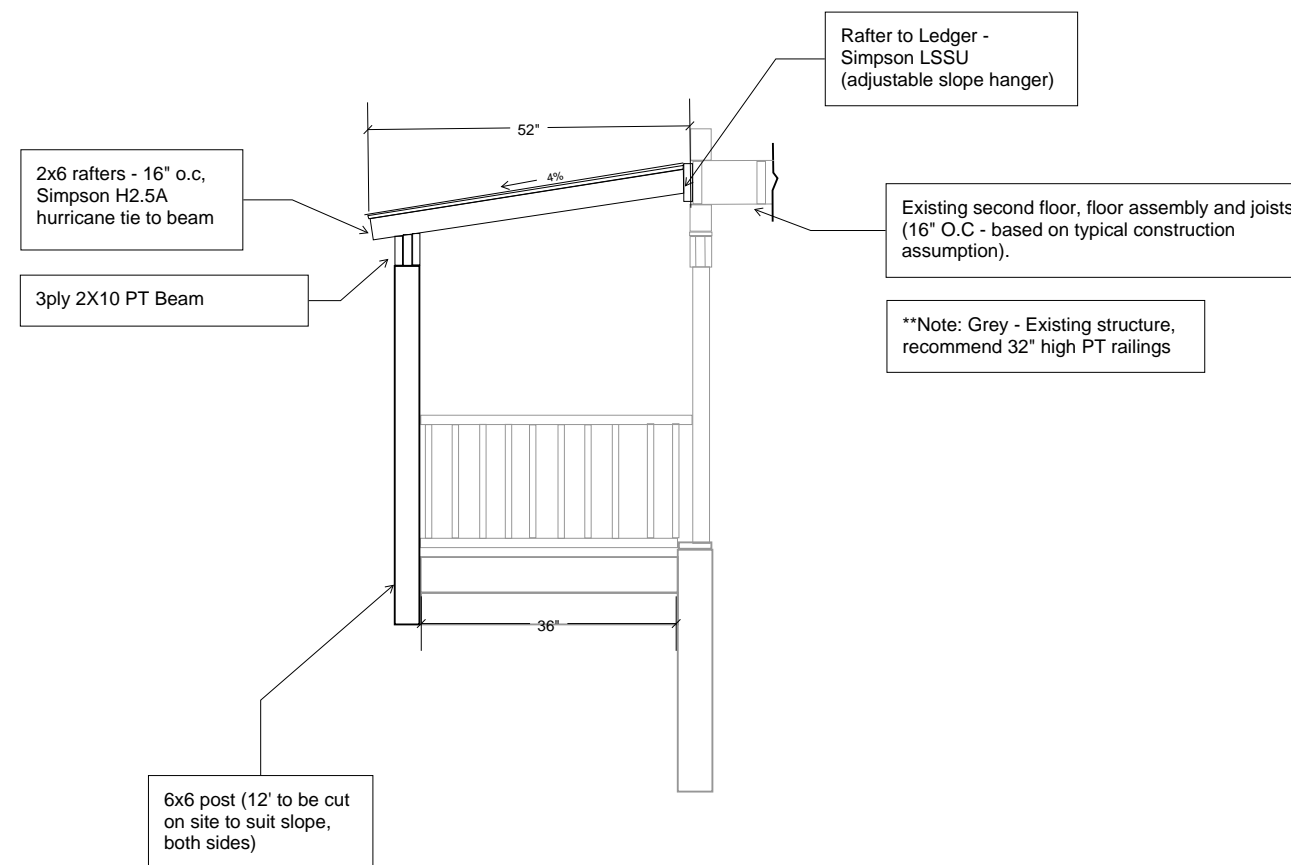


DETAIL 1  
SCALE 1:25

Above Grade Proposed Door Detail



Front Elevation Canopy Detail



Side Elevation Canopy Detail

GENERAL

- \* All work shall conform to the National Building Code of Canada (NBC2020) and local authority requirements, including setback requirements.
- \* Contractor shall field verify all existing dimensions, wall thickness, and site conditions prior to commencing work.
- \* Notify Structural Engineer immediately if site conditions differ from assumptions or if significant cracks, voids, or deterioration are observed.
- \* Existing foundation wall assumed to be 200 mm (8") thick cast-in-place concrete unless noted otherwise.
- \* Exterior-grade fire retardant treated plywood/OSB to be installed on the back and side faces of the canopy.