



37 WEST - NAY DEVELOPMENT
RESIDENTIAL DEVELOPMENT

MUNICIPAL ADDRESS:
2607 & 2611 & 2615 37 Street SW, Calgary AB

LEGAL ADDRESS:
Lot 2-4 Inclusive, Block 3, Plan 2860 GR

DRAWING LIST

EXISTING SITE SURVEY

CIVIL

SP1 SITE SERVICING PLAN
SP2 SITE GRADING PLAN

LANDSCAPE

DPL10 LANDSCAPE PLAN
DPL11 TREE PROTECTION PLAN
DPL20 LANDSCAPE DETAIL

ARCHITECTURAL

DP001 BYLAW ANALYSIS & FAR CALCULATIONS
DP002 DESIGN NARRATIVE & CONTEXT PLAN
DP003 EXISTING SITE PHOTOS
DP100 SITE PLAN
DP200 PARKING LEVEL FLOOR PLAN
DP201 LEVEL 1 FLOOR PLAN
DP202 LEVEL 2-5 FLOOR PLAN
DP203 ROOF PLAN
DP401 EXTERIOR ELEVATION
DP402 EXTERIOR ELEVATION
DP501 BUILDING SECTION
DP502 BUILDING SECTION
DP600 WASTE & RECYCLING DETAILS, STAGING AND PICK UP

ELECTRICAL

ES1 SITE PLAN - LIGHTING, POWER & AUXILIARY
ES2 SITE PLAN - LIGHTING, POINT BY POINT

AMENDED DRAWINGS

DP NoDate Received

DP2026-02732JUN 02 2026

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

THE CITY OF CALGARY

PLAN
SHOWING A
DEVELOPMENT PERMIT SURVEY

AFFECTING
LOTS 2 to 4 INCLUSIVE, BLOCK 3, PLAN 2860 GR

ALL WITHIN THE
NE 1/4 SEC 12 TWP 24 RGE 2 W5M

BT: Horvath, Canada, A.L.S. 2025

SCALE: 1/8" = 10'-0"

NOTES:
1. This plan is for the development of the subject property.
2. All dimensions shown are in feet and inches.
3. All dimensions shown are to the center of the lot.
4. All dimensions shown are to the center of the lot.
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Standard Notes and Abbreviations:
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SYMBOL LEGEND:
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ABBREVIATIONS:
1. All dimensions shown are in feet and inches.
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SITE ADDRESS: 2807, 2811, & 2815 37
Street SW
PREPARED FOR: New Developments

Encumbrances, Liens & Interests		
C of T Number 221 153 567 (Excluding Interest in Mines and Minerals)		
This search date: February 20th, 2025		
Registration No.	Encumbrance	Description
No. 1000000000		

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AMENDED DRAWINGS
DP No. Date Received
DP2026-02732 JUN 02 2026
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ABOVE DEVELOPMENT PERMIT NO.

SURVEYED BETWEEN FEBRUARY 20th AND FEBRUARY 20th, 2025
CONVEYED CORRECTLY FROM 1st Party TO 2nd Party

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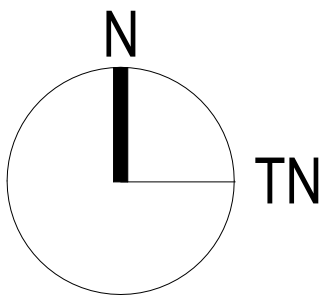
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1	DEVELOPMENT PERMIT	2026-06-01
NO.	DESCRIPTION	DATE

**37 WEST - NAY
DEVELOPMENT**

2607 & 2611 & 2615 37 ST SW
CALGARY, AB T3E 3B2
LOTS 2-4, BLOCK 3, PLAN 2860GR

SITE PLAN

DRAWN	ISSUE DATE
LF/ SC	2026-06-01

SCALE	REVIEWED
As indicated	CHECKED BY

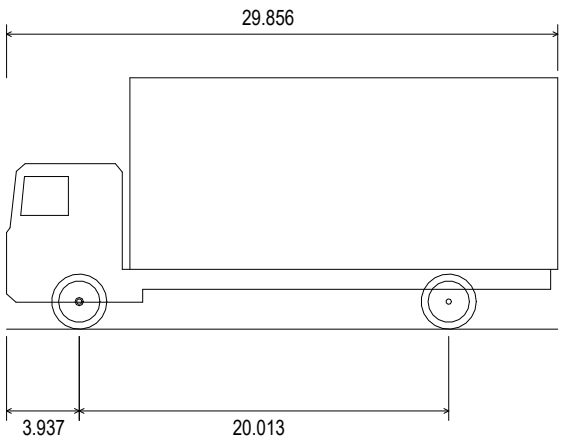
2026-016 PROJECT NO.

DP100

SITE PLAN LEGEND

	NEW BUILDING FOOTPRINT
	CONCRETE PAD/PAVING
	ASPHALT PAVING
	GRAVEL
	GRASS
	SHRUBS (REFER TO LANDSCAPE)
	TREES (REFER TO LANDSCAPE)
	EXISTING LIGHT POLE
	CONCRETE FILLED STEEL BOLLARD
	PRINCIPAL BUILDING ENTRANCE
	EXISTING GEODETIC
	PROPOSED GEODETIC
	NEW RETAINING WALL

SU-9 TRUCK USED IN SIMULATION



SU9 - SINGLE UNIT OR BUS	
OVERALL LENGTH	29.856m
OVERALL WIDTH	8.530m
OVERALL BODY HEIGHT	13.615m
MIN BODY GROUND CLEARANCE	1.460m
TRACK WIDTH	8.530m
LOCK-TO-LOCK TIME	4.00s
CURB-TO-CURB TURNING RADIUS	41.995m

PASSENGER CAR USED IN SIMULATION

P - PASSENGER CAR	
OVERALL LENGTH	5.8m
OVERALL WIDTH	2.1m
OVERALL BODY HEIGHT	1.3m
MIN BODY GROUND CLEARANCE	0.358m
TRACK WIDTH	2.1m
LOCK-TO-LOCK TIME	4.00s
CURB-TO-CURB TURNING RADIUS	7.3m

25 AVENUE SW

37 STREET SW

1

DP100

SITE PLAN - DP

1 : 150

ISSUED FOR 30% REVIEW

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	2026-06-01



