



THE RISE - NAY DEVELOPMENT
RESIDENTIAL DEVELOPMENT

MUNICIPAL ADDRESS:
2607 & 2611 & 2615 37 Street SW, Calgary AB

LEGAL ADDRESS:
Lot 2-4 Inclusive, Block 3, Plan 2860 GR

DRAWING LIST

EXISTING SITE SURVEY

CIVIL

SP1 SITE SERVICING PLAN
SP2 SITE GRADING PLAN

LANDSCAPE

DPL10 LANDSCAPE PLAN
DPL11 TREE PROTECTION PLAN
DPL20 LANDSCAPE DETAIL

ARCHITECTURAL

DP001 BYLAW ANALYSIS & FAR CALCULATIONS
DP002 DESIGN NARRATIVE & CONTEXT PLAN
DP003 EXISTING SITE PHOTOS
DP100 SITE PLAN
DP101 VEHICLE SWEEP PATHS
DP200 PARKING LEVEL FLOOR PLAN
DP201 LEVEL 1 FLOOR PLAN
DP202 LEVEL 2-5 FLOOR PLAN
DP203 ROOF PLAN
DP401 EXTERIOR ELEVATION
DP402 EXTERIOR ELEVATION
DP501 BUILDING SECTION
DP502 BUILDING SECTION
DP600 WASTE & RECYCLING DETAILS, STAGING AND PICK UP

ELECTRICAL

ES1 SITE PLAN - LIGHTING, POWER & AUXILIARY
ES2 SITE PLAN - LIGHTING, POINT BY POINT

THE CITY OF CALGARY

PLAN
SHOWING A
DEVELOPMENT PERMIT SURVEY
AFFECTING
LOTS 2 to 4 INCLUSIVE, BLOCK 3, PLAN 2860 GR
ALL WITHIN THE
NE 1/4 SEC 12 TWP 24 RGE 2 W5M
S1Y1 Horvath Canada, A.L.S. 2025

NOTES
1. All dimensions are in metres unless otherwise stated.
2. All dimensions are to the centre of the lot unless otherwise stated.
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Standard 1:1000 Scale is indicated by:
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SYMBOL LEGEND
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ABBREVIATIONS
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SITE ADDRESS: 2007, 2011, & 2015 37
Street SW
PREPARED FOR: Ngy Developments

Encumbrances, Liens & Interests		
C of T Number 211 153 567 (Exempting Interest in Mines and Minerals)		
Registration No.	Encumbrance	Description
101 201 765	None	None

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LEGEND:		PLANT LEGEND:	
FEATURES			Blue Fox Willow
	GRASS		Three Lobed Spirea
	EXPOSED AGGREGATE CONCRETE		Ruby Carousel Barberry
	ROCK MULCH		Karl Foerster Feather Reed Grass
	BARK MULCH		Little Bluestem Grass
	BIKE RACK (QTY 4)		Autumn Joy Stonecrop

PLANT LIST: WITHIN PROPERTY

QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
24	Berberis thunbergii 'Ballone'	Ruby Carousel Barberry	Min. 600mm ht., Min. 4 major basal stems. Root Spread 300mm. - #2 cont.
11	Salix brachycarpa 'Blue Fox'	Blue Fox Willow	Min. 600mm ht., Min. 4 major basal stems. Root Spread 300mm. - #3 cont.
15	Spiraea trilobata	Three Lobed Spirea	Min. 600mm ht., Min. 4 major basal stems. Root Spread 300mm. - #3 cont.

ORNAMENTAL GRASSES

QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
114	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	Min. 200mm ht., #2 cont.
124	Schizachyrium scoparium	Little Bluestem Grass	Min. 200mm ht., #2 cont.

PERENNIALS

QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
41	Sedum spectabile 'Autumn Joy'	Autumn Joy Stonecrop	Min. 200mm ht., #1 ppt

NOTES:

1. ALL TREE AND SHRUB BEDS TO BE MULCHED WITH 75mm MULCH.
2. TREES NOT PLANTED IN BEDS SHALL BE SURROUNDED BY A TREE WELL TO A DEPTH OF 100MM AFTER PLANTING AND WATERING. ALL TREES TO BE MULCHED STARTING 50MM FROM THE ROOT FLARE (TRUNK) AND EXTENDING THE LENGTH OF HOLE.
3. ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
4. SEE CIVIL PLANS FOR ALL GRADING INFORMATION.

GENERAL NOTES:

1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR NURSERY STOCK.
2. WARRANTY ON ALL LANDSCAPE TO BE TWO YEARS FROM DATE OF ACCEPTANCE.
3. CONTRACTOR TO CO-ORDINATE WORK WITH ALL OTHER CONTRACTORS ON SITE.
4. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AT TIME OF CONSTRUCTION.
5. CONTRACTOR TO VERIFY ALL UNDERGROUND SERVICES PRIOR TO ANY WORK.
6. DURING CONSTRUCTION, ANY DAMAGE OCCURRING TO PUBLIC LANDS, RESULTING FROM ENCROACHMENT, WILL BE MADE GOOD AT TIME OF CONSTRUCTION.
7. ALL EXISTING TREES WITHIN 6.0m OF CONSTRUCTION TO BE PROTECTED WITH A TREE PROTECTION FENCE ALONG THE DRIPLINE.
8. NEW TREE LOCATIONS TO BE STAKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
9. TREES SHALL BE WATERED IN FOR THE WINTER TO ENSURE THAT THE ROOTS ARE FROZEN. TREES SHALL BE REGULARLY CHECKED IN WINTER TO ENSURE THAT ROOTS ARE STILL FROZEN. IF THE WINTER WEATHER VARIES TO PLUS TEMPERATURES WATERING OF THE TREES SHALL BE DONE BY WATER TRUCK TO ENSURE HEALTHY PLANT MATERIAL.
10. CONTRACTOR TO ENSURE ADEQUATE SUPPORT FOR ALL PLANT MATERIAL NOTED ON DRAWINGS.
11. ANY SUBSTITUTIONS OF PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE SUBSTITUTIONS BEING MADE.
12. ANY DAMAGE TO EXISTING HARD AND SOFT SURFACING TO BE MADE GOOD BY THE CONTRACTOR.
13. ALL TREE AND SHRUB BEDS TO BE MULCHED WITH 75mm BARK MULCH.
14. TREES NOT PLANTED IN BEDS SHALL BE SURROUNDED BY A TREE WELL TO A DEPTH OF 100MM AFTER PLANTING AND WATERING. ALL TREES TO BE MULCHED STARTING 50MM FROM THE ROOT FLARE (TRUNK) AND EXTENDING THE LENGTH OF HOLE.
15. SOIL DEPTHS FOR PLANT MATERIAL:
 - FOR TREES - 1200mm MIN
 - FOR SHRUBS - 600mm MIN
 - FOR PERENNIALS - 300mm MIN
16. ANY DAMAGE OCCURRING TO THE EXISTING CONSTRUCTION, BUILDINGS, VEGETATION, LANDSCAPING, PATHWAYS AND/OR OTHER SITE AMENITIES ON THE SITE, ADJACENT PRIVATE PROPERTY OR PUBLIC LANDS SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD, BY THE CONTRACTOR TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS.
17. ALL SITE GRADES SHALL MATCH EXISTING GRADES OF ADJACENT LANDS, WITH GRADING CONFINED TO THE SITE. SEE CIVIL PLAN FOR GRADING, CURB AND SERVICING INFORMATION.
18. THE CONTRACTOR SHALL OBTAIN, AT THE CONTRACTOR'S SOLE EXPENSE, ALL UTILITY LOCATES PRIOR TO COMMENCING WORK. ANY AND ALL DAMAGES TO UTILITIES, REGARDLESS OF WHETHER LOCATES WERE COMPLETED, SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD BY THE CONTRACTOR, TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS.
19. ANY DISCREPANCIES BETWEEN SITE CONDITION AND THOSE ON THE DRAWING TO BE REPORTED IMMEDIATELY TO THE CONSULTANT AT TIME OF CONSTRUCTION.

PLANTING NOTES

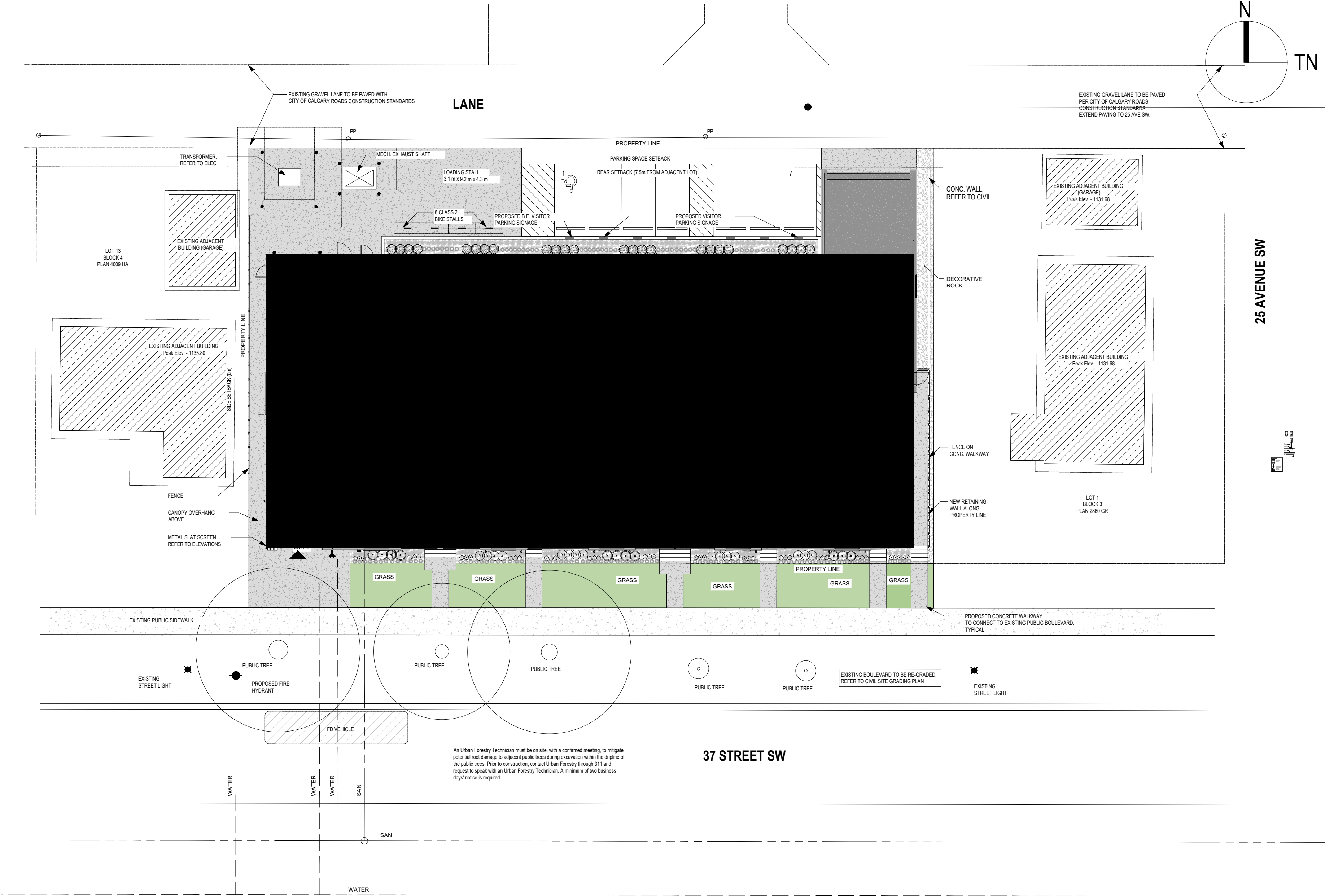
1. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY PARKS STANDARDS AND GUIDELINES (CURRENT EDITION).
2. THE OWNER'S REPRESENTATIVE WILL INSPECT PLANTS AT THE FOLLOWING STAGES; AT TIME OF DELIVERY PRIOR TO INSTALLATION, INSTALLED PLANTS BEFORE COMMENCEMENT OF MAINTENANCE PERIOD AND AT THE END OF MAINTENANCE PERIOD. NOTIFY OWNER'S REPRESENTATIVE 72 HOURS IN ADVANCE OF EACH REQUIRED INSPECTION. CONTRACTOR SHALL ENSURE REQUIRED PLANTS WILL BE AVAILABLE OR MEET SPECIFICATIONS BEFORE ARRANGING INSPECTION FOR SELECTION AND TAGGING OF PLANTS.
3. ALL PLANT MATERIAL TO BE DISEASE FREE AND TRUE TO FORM. SPECIMEN GRADE SINGLE STEM STOCK - UNLESS NOTED OTHERWISE, PLANTS WILL BE REJECTED IF: SOIL BALLS HAVE BEEN CRACKED OR BROKEN BEFORE OR DURING PLANTING OR WHEN BURLAP ROPES REQUIRED IN CONNECTION WITH THEIR TRANSPLANTING HAVE BEEN REMOVED. DO NOT USE PLANTS DAMAGED DURING CONTACT WITH EQUIPMENT, OR PLANTS THAT ARE WILTED, WIND BURNED OR STRESSED. CONTRACTOR TO REPLACE DAMAGED OR REJECTED PLANTS AT NO ADDITIONAL COST TO OWNER.
4. STAKE OUT LOCATIONS OF TREES, SHRUBS AND PLANTING BEDS. LOCATIONS OF ALL PLANTS SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE ON SITE BEFORE PLANTING. PLANTS INSTALLED WITHOUT REVIEW AND APPROVAL MAY REQUIRE TRANSPLANTING OR RELOCATION AS DIRECTED BY OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.
5. CONTRACTOR SHALL VERIFY THAT ALL MINIMUM CLEARANCES ARE PROVIDED BETWEEN PROPOSED TREES AND UNDERGROUND AND/OR OVERHEAD UTILITIES AS DEFINED BY THE LOCAL PARKS AND PLANNING DEPARTMENT.
6. PART OF PLANT MATERIAL INSTALLATION SHALL INCLUDE SUFFICIENT PROTECTION TO PREVENT BARK AND TREE DAMAGE DUE TO FORAGING ANIMALS AND ANCHORING SYSTEM TO PREVENT ROOT BREAKAGE DUE TO STRONG WINDS. LANDSCAPE ARCHITECT NOT RESPONSIBLE FOR ANY DAMAGES THAT INCUR DUE TO IMPROPER INSTALLATION.
7. ALL DEVELOPMENT AND CONSTRUCTION ACTIVITIES WITHIN 5 METERS OF EXISTING VEGETATION MUST BE SUPERVISED BY AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST.
8. ALL PRUNING OF EXISTING VEGETATION MUST BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.

LANDSCAPE REMEDIATION

1. ANY TURF AREAS DISTURBED DURING THE CONSTRUCTION PROCESS ARE TO BE AMENDED WITH A MINIMUM OF 300 MM DEPTH TOPSOIL AND SOD, AS PER THE CITY OF CALGARY DESIGN STANDARDS.
2. ANY PLANTING BEDS DISTURBED DURING CONSTRUCTION ARE TO BE AMENDED WITH A MINIMUM OF 450 MM DEPTH TOPSOIL AND A MINIMUM OF 150 MM DEPTH WOOD CHIP MULCH, AS PER THE CITY OF CALGARY DESIGN STANDARDS.
3. ANY PLANT MATERIAL DAMAGED DURING CONSTRUCTION IS TO BE REMOVED, DISPOSED OF, AND REPLACE BY THE CONTRACTOR. ANY REPLACEMENT PLANT MATERIAL MUST BE THE SAME SPECIES OF THE REMOVED ITEM.

GRADING NOTES:

1. REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING INFORMATION.
- SOD:
1. CERTIFIED NO. 1 CULTIVATED TURF FESCUE SOD; WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEALTHY GROWTH AND DELIVERED 24 HOURS FROM THE TIME OF CUTTING. SOD SHOWING SIGNS OF DETERIORATION DUE TO AGE OR LACK OF MOISTURE WILL BE REJECTED. SOD MUST BE FREE OF STONES, BURNS, DRY OR BARE SPOTS, TEARS AND DELIVERED MOIST, CUT IN STRIPS OF UNIFORM WIDTH AND THICKNESS.



1 LANDSCAPE PLAN - DP
DP L10 1 : 200

620, 333 11 Avenue SW
Calgary, AB T2R 1L9

hello@lolaarchitecture.ca
587.329.5671

PROJECT TEAM:

ARCHITECT:

LOLA ARCHITECTURE INC.

STRUCTURAL CONSULTANT:

TRL & ASSOCIATES

MECHANICAL CONSULTANT:

DBK ENGINEERING LTD

ELECTRICAL CONSULTANT:

DBK ENGINEERING LTD

CIVIL ENGINEERING:

JUBILEE ENGINEERING

LANDSCAPE:

PLANT STUDIO

CLIENT NAME

NAY DEVELOPMENT

CONSULTANT

pLant studio
landscape architecture + planning

SEAL

DRAWING HISTORY

NO.	DESCRIPTION	DATE
2.	ISSUED FOR DR1	2026-08-19
1.	ISSUED FOR DP	2026-05-07

PROJECT TITLE

37 WEST - NAY
DEVELOPMENTS

2607 & 2611 & 2615 37 ST SW
CALGARY, AB T3E 3B2

DRAWING TITLE

LANDSCAPE PLAN

DRAWN	ISSUE DATE
CK	
SCALE	REVIEWED
1 : 200	CK
2026-016	PROJECT NO.

DPL10



01 FRONT ELEVATION FROM 37 STREET SW

DESIGN NARRATIVE

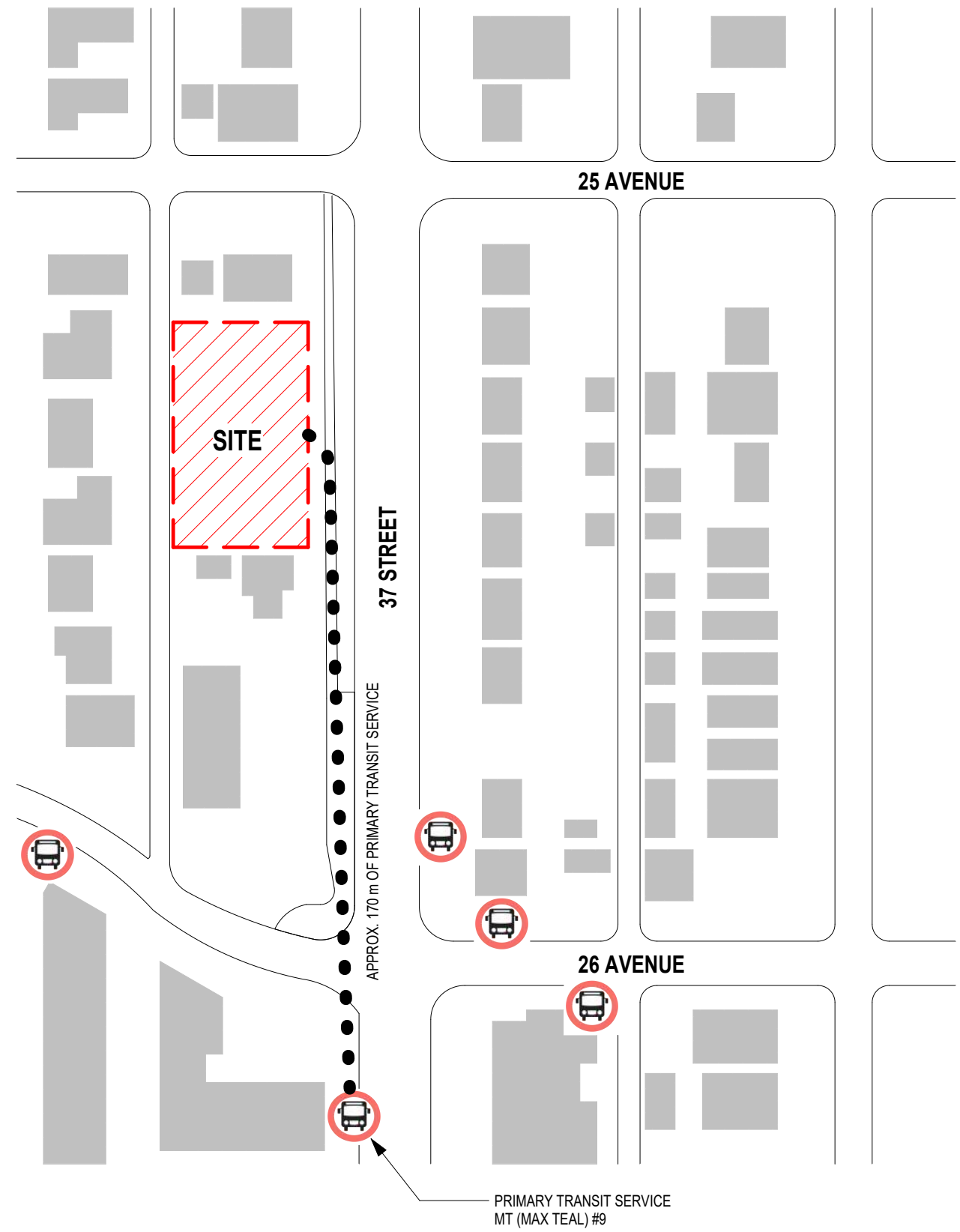
37 West is envisioned to be a five-storey development located at 2607, 2611, & 2615 37 ST SW, in the Glenbrook community. The proposed design offers units with at-grade access along 37th street and five storeys of dedicated residential above (77 residential suites total) with one level of underground parking.

The design intent is to provide Glenbrook with an elevated design that delivers a rich urban and pedestrian experience. High-end robust materials will upgrade the streetscape. Brick is used at grade on both the front and rear of the building as a strong material that has permanence and value, the metal panel entry and accents indicate the quality of construction. By minimizing the front setback, the development enriches the urban experience by activating the street.

The street façade is broken down by a vertical “strip” of dark cladding that creates the appearance of two buildings within one united façade, reducing the overall scale of the building. Care has been taken to minimize the height of the building as much as possible to keep the development at a human scale. The entry has been placed on the South-east corner to group the common and utility spaces within one area. This separates the private suites from the common spaces. Each unit has its own private amenity space in the form of a balcony.



02 AERIAL VIEW FROM SOUTHEAST



1 CONTEXT PLAN - PROXIMITY TO TRANSIT
DP002 N.T.S.

MATERIALS



MATERIAL 01
BRICK
COLOUR: LIGHT GREY



MATERIAL 02
FIBRE CEMENT PANEL
COLOUR: LIGHT BEIGE



MATERIAL 03
FIBRE CEMENT PANEL
COLOUR: DARK BROWN



MATERIAL 04
ACM PANEL
COLOUR: DARK BRONZE



03 VIEW FROM NORTHEAST ALONG 37 STREET SW

DRAWING HISTORY

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	2026-06-01

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT	2026-06-01

PROJECT TITLE

THE RISE - NAY
DEVELOPMENT

2607 & 2611 & 2615 37 ST SW
CALGARY, AB T3E 3B2
LOTS 2-4, BLOCK 3, PLAN 2860GR

DRAWING TITLE

DESIGN NARRATIVE & CONTEXT
PLAN

DRAWN	ISSUE DATE
LF/ SC	2026-06-01

SCALE	REVIEWED
As indicated	CHECKED BY

2026-016 PROJECT NO.

DP002



hello@lolaarchitecture.ca
587.329.5671

ARCHITECT:
LOLA ARCHITECTURE INC.

STRUCTURAL CONSULTANT:
TRL & ASSOCIATES

MECHANICAL CONSULTANT:
DBK ENGINEERING LTD

ELECTRICAL CONSULTANT:
DBK ENGINEERING LTD

CIVIL ENGINEERING:
JUBILEE ENGINEERING

LANDSCAPE:
PLANT STUDIO

NAY DEVELOPMENT



NAY
DEVELOPMENT

CONSULTANT

SEAL

[illegible]

PROJECT TITLE

THE RISE - NAY DEVELOPMENT

2607 & 2611 & 2615 37 ST SW
CALGARY, AB T3E 3B2
LOTS 2-4, BLOCK 3, PLAN 2860GR

DRAWING TITLE

SITE PLAN

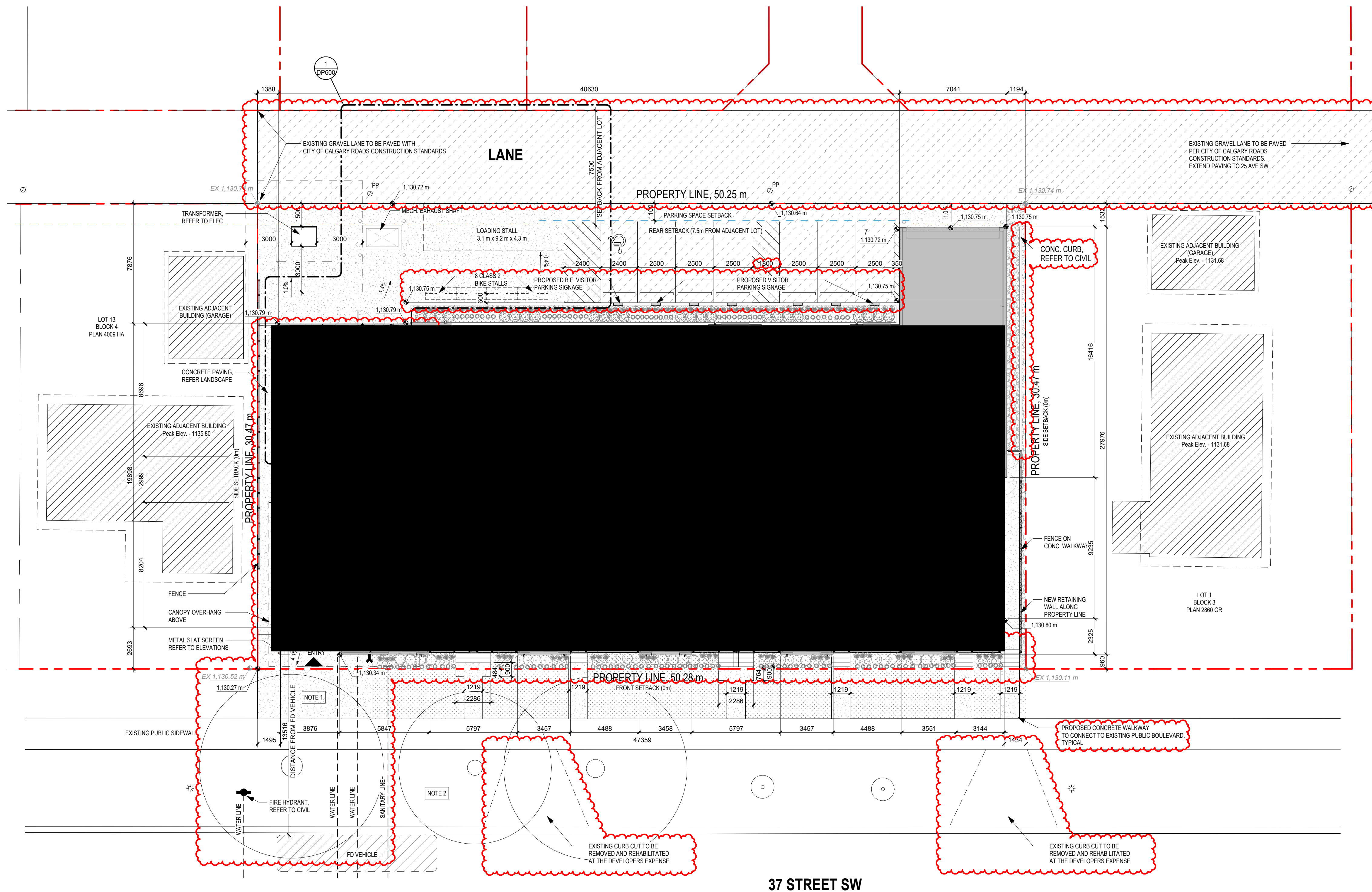
DRAWN	ISSUE DATE
LF/ SC	2026-08-19

SCALE	REVIEWED
As indicated	CHECKED BY

2026-016 PROJECT NO.

DP100

2026-08-20 1:47:30 PM
Autodesk Desktop/27 West - New Development/2026-016-27 West New B25 ARCH.d



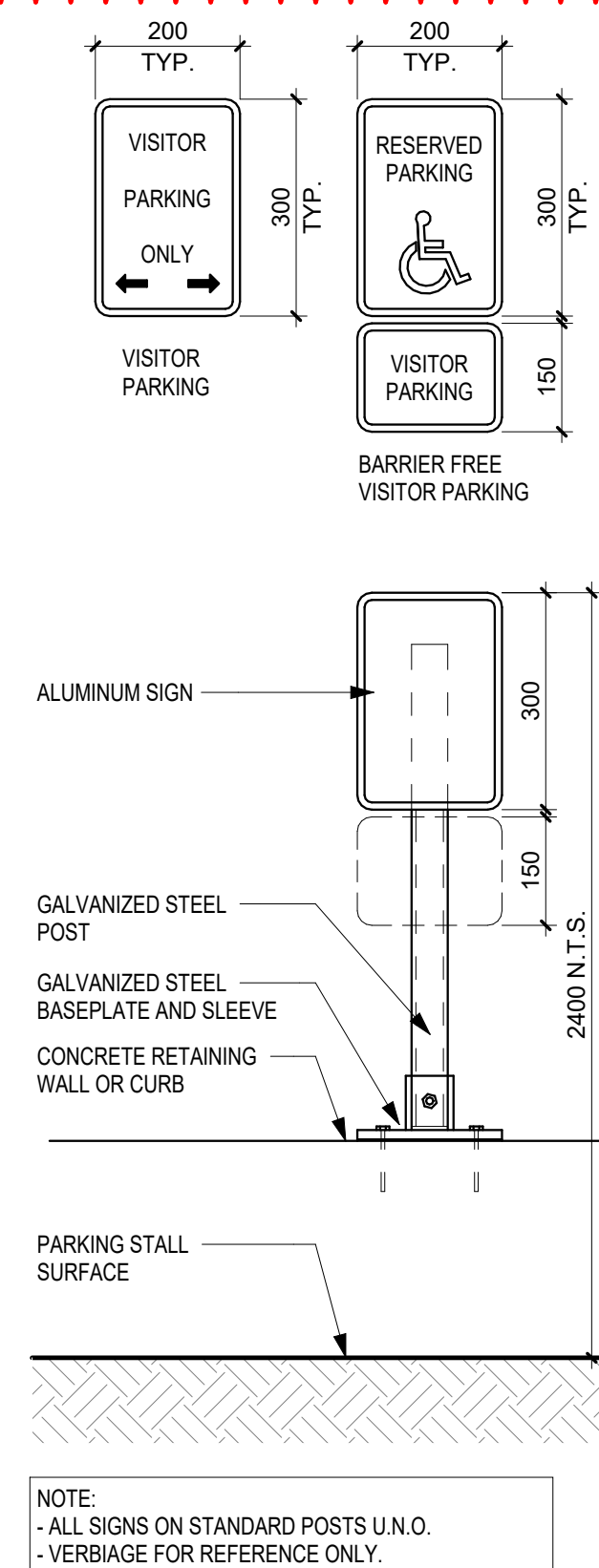
SITE PLAN LEGEND

	NEW BUILDING FOOTPRINT
	CONCRETE PAD/PAVING
	ASPHALT PAVING
	GRAVEL
	GRASS
	SHRUBS (REFER TO LANDSCAPE)
	TREES (REFER TO LANDSCAPE)
	EXISTING LIGHT POLE
	CONCRETE FILLED STEEL BOLLARD
	PRINCIPAL BUILDING ENTRANCE
	EXISTING GEODETIC
	PROPOSED GEODETIC
	NEW RETAINING WALL

NOTE:

1. EXISTING BOULEVARD TO BE RE-GRADED, REFER TO CIVIL SITE GRADING PLAN.
2. AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE, WITH A CONFIRMED MEETING, TO MITIGATE POTENTIAL ROOT DAMAGE TO ADJACENT PUBLIC TREES DURING EXCAVATION WITHIN THE DRIP LINE OF THE PUBLIC TREES. PRIOR TO CONSTRUCTION, CONTACT URBAN FORESTRY THROUGH 311 AND REQUEST TO SPEAK WITH AN URBAN FORESTRY TECHNICIAN. A MINIMUM OF TWO BUSINESS DAYS' NOTICE IS REQUIRED.

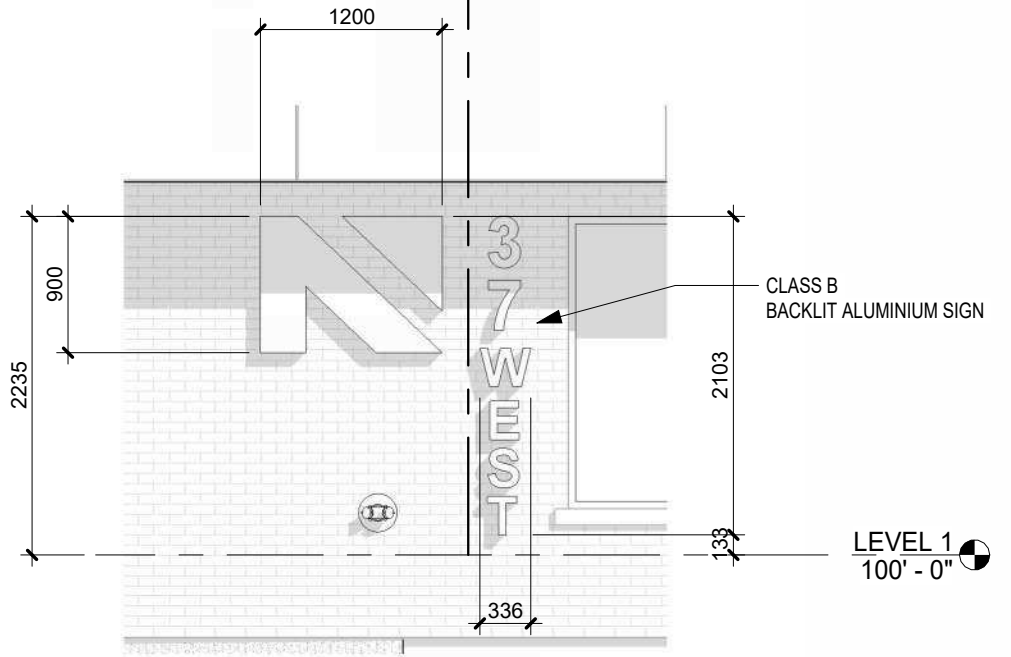
25 AVENUE SW



NOTE:
- ALL SIGNS ON STANDARD POSTS U.N.O.
- VERBIAGE FOR REFERENCE ONLY.

2 TYPICAL DETAIL - PARKING SIGNAGE
DP100 1 : 10

1 SITE PLAN - DP
DP100 1 : 150



NO.	DESCRIPTION	DATE
2	DR 01 RESPONSE	2026-08-19
1	DEVELOPMENT PERMIT	2026-06-01

