



*ARTISTIC RENDITION ONLY

7 EAGLE RIDGE PLACE SW

DP APPLICATION

MUNICIPAL ADDRESS
7 EAGLE RIDGE PLACE SW

LEGAL ADDRESS
LOT 30, BLOCK 1, PLAN 35661A

COMMUNITY
EAGLE RIDGE

DEVELOPMENT PERMIT NUMBER
N/A

BUILDING CLASSIFICATION
GROUP-C (RESIDENTIAL)

APPLICABLE BUILDING CODE
NATIONAL BUILDING CODE 2023 (AB EDITION)

TYPE OF CONSTRUCTION
COMBUSTIBLE (WOOD FRAMING)

FACING NUMBER OF STREETS
1

REQUIRED FIRE SUPPRESSION
NO

REQUIRED FIRE SEPARATIONS
NO

DRAWING NOTES

- Do not scale these drawings.
- The contractor is to verify all dimensions as required.
- Any discrepancies between drawings and existing conditions must be referred to the designer for adjustments before any work affected is begun.
- These drawings are not to be used for construction unless it has been marked "Issued for construction".
- The contractor is to comply with all building codes, ordinances and regulations.
- The design - drawings is the sole property of Rockwood Custom Homes.
- Any reproduction of these drawings or their design without written consent by Rockwood Custom Homes is prohibited.

THE UNRAU RESIDENCE ROCKWOOD.

PROJECT ADDRESS

LEGAL
LOT 30, BLOCK 1, PLAN 35661A

MUNICIPAL
7 EAGLE RIDGE PLACE S.W. CALGARY, AB

DRAWING INFO

DRAWN BY LD

SCALE AS NOTED

ISSUANCE SCHEDULE

FOR DP APPLICATION 07/MAY/2026

DRAWING LEGEND

- # GRID INDICATOR
- WH WALL ASSEMBLY TAG
- F# FLOOR ASSEMBLY TAG
- R# ROOF ASSEMBLY TAG
- 01-01 DOOR TAG
- WF01-01 WINDOW TAG
- ## SECTION INDICATOR
- ## A## DETAIL REFERENCE INDICATOR
- ### T/O MF SF BENCHMARK ELEVATION HGT REFERENCE
- BB-00P PROPOSED GRADES
- BB-00E EXISTING GRADES
- ## REVISION INDICATOR
- 6-12 ROOF SLOPE INDICATOR
- +0'0' CEILING HEIGHT INDICATOR
- Room Name ROOM TAG
- 16R-16R STAIR INFORMATION TAG
- N NORTH ARROW

GENERAL NOTES

-THE INTELLECTUAL PROPERTY CONSISTING OF THE DESIGN AND ARCHITECTURAL DOCUMENTS PREPARED BY ROCKWOOD CUSTOM HOMES ARE THE SOLE PROPERTY OF ROCKWOOD CUSTOM HOMES. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT, NO CHANGES, ALTERATIONS, ADDITIONS OR DELETIONS MAY BE MADE HERE TO EXCEPT BY ROCKWOOD CUSTOM HOMES UNLESS OTHERWISE DISCUSSED WITH ROCKWOOD CUSTOM HOMES. THIS SHALL NOT BE USED OR REPRODUCED BY ANYONE ON OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT WRITTEN CONSENT OF ROCKWOOD CUSTOM HOMES.

-ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR ON SITE.

-IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS TO COORDINATE THE WORK AND VERIFY ALL DIMENSIONS AND INSPECT CONDITIONS OF PRIOR BY ALL TRADES BEFORE PROCEEDING WITH ANY WORK. UNACCEPTABLE OR INCORRECT PRIOR WORK SHALL BE REPAIRED OR REPLACED BEFORE STARTING WORK. PROCEEDING WITH THE WORK SHALL CONSTITUTE ACCEPTANCE OF PRIOR WORK.

-ALL EXISTING CONSTRUCTION AND LANDSCAPE FEATURES THAT ARE TO REMAIN AS PART OF THE PROJECT SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE PERIOD OF CONSTRUCTION WORK. ANY DAMAGED CONSTRUCTION OR FEATURES SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE DESIGNER/CLIENT, WITH MATERIALS EQUIVALENT OR SUPERIOR TO THE ORIGINAL ITEM(S).

-THE EXISTING CONDITION INFORMATION INDICATED WHERE APPLICABLE IS BASED ON A SURVEY PROVIDED BY THE OWNER OR SUBCONTRACTOR AND OTHER DOCUMENTS PROVIDED BY THE OWNER. THE INFORMATION IS NOT GUARANTEED AS TO COMPLETENESS OR ACCURACY. THE CONTRACTOR SHALL BE OBLIGATED AS A MATTER OF COURSE TO VERIFY, BY FIELD MEASUREMENTS, ALL SURVEY INFORMATION GIVEN THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITIES INDICATED ON THE DRAWINGS ARE NOT GUARANTEED AND SHALL BE INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE STARTING ANY WORK.

-GRADING AND PAVING ADJACENT TO THE PERIMETER OF THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING AT A MINIMUM OF 1/2 INCH PER FOOT FOR GRADING AND 1/4 INCH PER FOOT FOR PAVING.

-ALL ELECTRICAL OUTLETS, COMPUTER AND TELEPHONE OUTLETS/JACKS, SWITCHES, PULL STATIONS, THERMOSTATS, AND ALL OTHER WALL MOUNTED ACCESSORIES SHALL BE ALIGNED VERTICALLY OR HORIZONTALLY WHEN IN CLOSE PROXIMITY. COORDINATION OF THIS ALIGNMENT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

ROOM LEGEND

NO.	FLR	ROOM
01	FF	HALLWAY
02	FF	MEDIA ROOM
03	FF	OFFICE
04	FF	BEDROOM #3 WIC
05	FF	BEDROOM #3
06	FF	BEDROOM #3 ENSUITE
07	FF	BEDROOM #4 ENSUITE
08	FF	BEDROOM #4
09	FF	BEDROOM #4 WIC
10	FF	MECHANICAL/STORAGE
11	FF	LAUNDRY ROOM
12	FF	GYM
13	FF	GOLF SIMULATOR
14	FF	MECHANICAL ROOM
16	FF	PANTRY
17	FF	COLD-STORAGE
101	MF	SHED
102	MF	GARAGE
103	MF	MUD ROOM
104	MF	HALLWAY
105	MF	JR. WARDROBE
106	MF	JR. ENSUITE
107	MF	JR. MASTER SUITE
108	MF	MASTER SUITE
109	MF	MASTER ENSUITE
110	MF	MASTER WARDROBE
111	MF	LAUNDRY
112	MF	KITCHEN
113	MF	GREAT ROOM
114	MF	DINING ROOM
115	MF	HEARTH ROOM
116	MF	PWDR. ROOM
117	MF	DEN/OFFICE
118	MF	FOYER
119	MF	STAIR HALL

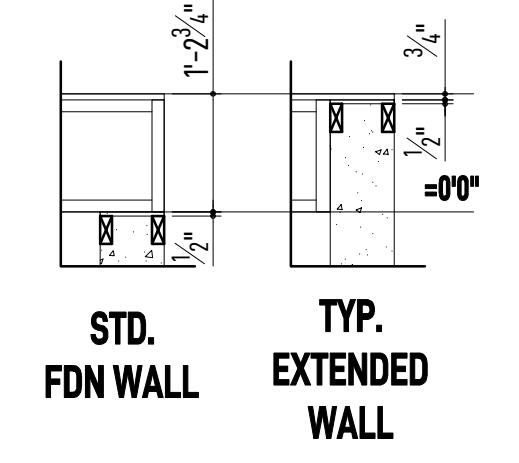
DP SET DRAWING LIST

SHEET	DRAWING TITLE
A0.1	PROJECT INFORMATION
A1.0	BLOCK PLAN
A1.1	SITE PLAN
A1.2	STREETSCAPE
A1.3	DRIVEWAY BLOCK PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A2.3	ELEVATIONS
A3.1	BASEMENT PLAN
A3.2	MAIN FLOOR PLAN
A5.0	WINDOW AND DOOR SCHEDULE

PROPOSED MATERIAL SCHEDULE

TAG	ITEM	MATERIAL	COLOR/FINISH	ADDITIONAL NOTES
01	MAIN FACADE (LIGHT)	ACRYLIC STUCCO	#10 WARM GREY	
02a	SECONDARY FACADE	FIBRE CEMENT BOARD AND BATTEN	#10 BROWN FLUTED BEAMS	NEW TECHWOOD COMPOSITE FLUTED BEAM BOARDS. COLOUR SAMPLE APPROVAL REQUIRED.
02b	SECONDARY FACADE	FIBRE CEMENT BOARD		
03a	MASONRY	TBD		FACADE APPLIED MASONRY: INDIANA LIMESTONE
03b	MASONRY CAP	CONCRETE PRECAST CAP		
04a	ROOFING 01	ASPHALT SHINGLES	BLACK	
04b	ROOFING 02	STANDING SEAM METAL	#10*2" STANDING SEAM SNAP-LOCK PANEL IN CHARCOAL. INTERIOR FOR THE METAL PORTION TO NOT BE A DEEP BLACK	
05	WINDOWS	METAL CLAD EXT	#10*2" MATCH METAL ROOF AND OTHER METAL ELEMENTS	#10*2" APPLIED BRICKMOULD ON ALL WINDOWS. SAME COLOR AS WINDOW UNIT
06	FRONT DOOR	WOOD	STAINED WOOD DOOR. INSPIRED BY CUSTOM STAIN "FAREWELL TALKIE"	#10*2" APPLIED BRICKMOULD. SAME COLOR AS DOOR UNIT
07	OTHER EXT DOORS	METAL/GLASS	CHARCOAL	#10*2" APPLIED BRICKMOULD. SAME COLOR AS DOOR UNIT
08	OVERHEAD GARAGE DOORS	METAL	CHARCOAL	IF POSSIBLE TO BE CONFIRMED INTENTION IS A "WOOD LOOK" FROM THE PANEL. #10*2" FROM PAINTED TO MATCH WINDOW/DOOR BRICKMOULD
09	TRIM + CAP	FIBRE CEMENT TRIM BOARD	ALL LURA SPECTRUM REVERSIBLE TRIM BOARD. PURE WHITE SW SW 7065 FOR AREAS TOUCHING SIDING AND BOARDS AND BATTEN. AND ANTIKILN SW 7064 FOR AREAS TOUCHING SIDING (SENO VARIES AS PER DETAILS)	ONLY USE SMOOTH SIDE EVERYWHERE
10	SHADOW BOARD TRIM	FIBRE CEMENT TRIM BOARD	#4 ALLURA SPECTRUM REVERSIBLE TRIM BOARD. PURE WHITE SW SW 7065 FOR AREAS TOUCHING SIDING AND BOARDS AND BATTEN.	ONLY USE SMOOTH SIDE EVERYWHERE
11	DOOR THRESHOLD/TOE KICK	FIBRE CEMENT TRIM BOARD	#4 ALLURA SPECTRUM REVERSIBLE TRIM BOARD. COLOR TO MATCH ADJACENT TRIM OR FINISH AS REQ'D	ONLY USE SMOOTH SIDE EVERYWHERE
13	FLASHING	PREFINISHED ALUMINUM	COLOR TO MATCH ADJACENT TRIM OR FINISH AS REQ'D	
14	EAVESTROUGH + DOWNSPOUT	PREFINISHED ALUMINUM	CHARCOAL TO MATCH ROOF AND OTHER METAL ELEMENTS	
15a	SOFFIT 01	PREFINISHED ALUMINUM	CHARCOAL TO MATCH ROOF AND OTHER METAL ELEMENTS	
15b	SOFFIT 02	WOOD T+G BOARD	#4" PINE TONGUE + GROOVE REAR WOOD STAINED. INSPIRED BY CUSTOM STAIN "FAREWELL TALKIE"	
16	FASCIA	MIRATEC TRIMBOARD	#10" TO #1" HIGH AS PER ELEV.	
17	PARGING	CEMENTITIOUS PARGING	LIGHT WARM GREY	
18	PATIO + EXTERIOR RISERS	CONCRETE	LIGHT WARM GREY	
19	PATIO COLUMN	WOOD CLAD BOX	WOOD STAIN. INSPIRED BY CUSTOM STAIN "FAREWELL TALKIE"	#10*2" FINISHED COLUMN DIMENSION. INTERNAL STRUCTURE TO BE DETERMINED BY ENGINEERING AS REQ'D
20	METAL COLUMN	WOOD CLAD BOX	WOOD STAIN. BLACK CHARCOAL COLOUR TO MATCH WINDOW FRAMES	#10*2" FINISHED BEAM DIMENSION. INTERNAL STRUCTURE TO BE DETERMINED BY ENGINEERING AS REQ'D
21	PATIO SCREENING	SUNCOAST RETRACTABLE SCREEN	COLOR OF METAL COMPONENTS TO MATCH ROOF AND OTHER METAL ELEMENTS AS CLOSE AS POSSIBLE	FASCIA BELOW CAP IS INTENDED TO BE FINISHED WITH PARGING
22	WALKWAY	CONCRETE	LIGHT WARM GREY	
23	WINDOW WELL/PLANTER	CONCRETE	FACADE APPLIED MASONRY: INDIANA LIMESTONE	FASCIA BELOW MASONRY IS INTENDED TO BE FINISHED WITH PARGING
24	METAL COLUMN	POWDER COATED METAL	BLACK/CHARCOAL COLOUR TO MATCH WINDOWS	#10*2" FABRICATED COLUMN AS PER ENG. AND FABRICATOR
25	CHIMNEY CAP	POWDER COATED METAL	TBD	SEE DETAIL

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STD. FDN WALL
TYP. EXTENDED WALL

*T/O FOUNDATION WALL (0'0") REFERS TO THE T/O 1/2" (MIN) PLYWOOD CAP AS PER ENG. T/O CONCRETE PORTION OF FOUNDATION WALL WILL BE REDUCED BY HEIGHT OF PLYWOOD CAP AS REQ'D

AREAS

FLOOR/LOCATION	SQFT
MAIN FLOOR	3776.07
2ND FLOOR	N/A
BASEMENT (TOTAL)	3535.35
TOTAL	7290
GARAGE	1123.12
COVERED REAR DECK	718.67
COVERED FRONT ENTRY	63.90

DRAWING TITLE

PROJECT INFO

SHEET NUMBER

A0.1

DATE ISSUED

08/MAY/2026

PROPOSED MATERIAL SCHEDULE

TAG	ITEM	MATERIAL	COLOR/FINISH	ADDITIONAL NOTES
01	MAIN FACADE (LIGHT)	ACRYLIC STUCCO	MED WARM GREY	
02a	SECONDARY FACADE	FIBRE CEMENT BOARD AND BATTEN	-PINK BROWN FLUTED SIDING	-MATCH WOOD COMPOSITE FLUTED SIDING BOARDS COLOUR SAMPLE APPROVAL REQUIRED.
02b	SECONDARY FACADE	FIBRE CEMENT BOARD		
03a	MASONRY	TBD		-FACADE APPLIED MASONRY, INDIANA LIMESTONE
03b	MASONRY CAP	CONCRETE PRECAST CAP		
04a	ROOFING 01	ASPHALT SHINGLES	BLACK	
04b	ROOFING 02	STANDING SEAM METAL	BLACK	-1"X12" STANDING SEAM SNAP LOCK PANEL W/ CHARCOAL FINISH INTENTIONAL FOR THE METAL PORTION TO NOT BE A DEEP BLACK
05	WINDOWS	METAL CLAD EXT		BROWN TO MATCH METAL ROOF AND OTHER METAL ELEMENTS
06	FRONT DOOR	WOOD		-STAINED WOOD DOOR, INSPIRED BY CUSTOM STAIN "FAIRVIEW TAUPE" -CHARCOAL METAL FRAME/SIDE LIGHTS
07	OTHER EXT DOORS	METAL/GLASS		
08	OVERHEAD GARAGE DOORS	METAL	CHARCOAL	
09	TRIM + CAP	FIBRE CEMENT TRIM BOARD		-ALL LUNA SPECTRUM REVERSIBLE TRIM BOARD (PURE WHITE OR DR 1005 FOR AREAS TOUCHING SIDING AND BOARD AND BATTEN) (MASONRY SW 7044 FOR AREAS TOUCHING SIDING) (SIDING VARIES AS PER DETAILS)
10	SHADOW BOARD TRIM	FIBRE CEMENT TRIM BOARD		-ALL LUNA SPECTRUM REVERSIBLE TRIM BOARD (PURE WHITE OR DR 1005 FOR AREAS TOUCHING SIDING AND BOARD AND BATTEN) (MASONRY SW 7044 FOR AREAS TOUCHING SIDING) (SIDING VARIES AS PER DETAILS)
11	DOOR THRESHOLD/TOE KICK	FIBRE CEMENT TRIM BOARD		-ALL LUNA SPECTRUM REVERSIBLE TRIM BOARD (PURE WHITE OR DR 1005 FOR AREAS TOUCHING SIDING AND BOARD AND BATTEN) (MASONRY SW 7044 FOR AREAS TOUCHING SIDING) (SIDING VARIES AS PER DETAILS)
13	FLASHING	PREFINISHED ALUMINUM		
14	EAVESTROUGH + DOWNSPOUT	PREFINISHED ALUMINUM		
15a	SOFFIT 01	PREFINISHED ALUMINUM		
15b	SOFFIT 02	WOOD T+G BOARD		
16	FASCIA	MIRATEC TRIMBOARD		
17	PARGING	CEMENTITIOUS PARGING	LIGHT WARM GREY	
18	PATIO + EXTERIOR RISERS	CONCRETE	LIGHT WARM GREY	
19	PATIO COLUMN	WOOD CLAD BOX	WOOD STAIN, INSPIRED BY CUSTOM STAIN "FAIRVIEW TAUPE"	-18"X18" FINISHED COLUMN DIMENSION, INTERNAL STRUCTURE TO BE DETERMINED BY ENGINEERING AS REQ'D.
20	PATIO BEAM	WOOD CLAD BOX	WOOD STAIN, BLACK/CHARCOAL COLOUR TO MATCH WINDOW FRAMES	-18"X18" FINISHED BEAM DIMENSION, INTERNAL STRUCTURE TO BE DETERMINED BY ENGINEERING AS REQ'D.
21	PATIO SCREENING	SUNCOAST RETRACTABLE SCREEN		-FACE BELOW CAP IS INTENDED TO BE FINISHED WITH PARGING
22	WALKWAY	CONCRETE	LIGHT WARM GREY	
23	WINDOW WELL/PLANTER	CONCRETE		-FACE BELOW MASONRY IS INTENDED TO BE FINISHED WITH PARGING
24	METAL COLUMN	POWDER COATED METAL	BLACK/CHARCOAL COLOUR TO MATCH WINDOWS	-18"X18" FABRICATED COLUMN AS PER ENG. AND FABRICATION
25	CHIMNEY CAP	TBD		-SEE DETAIL

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DRAWING NOTES

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ROCKWOOD.

PROJECT ADDRESS

LEGAL

LOT 30, BLOCK 1, PLAN 35661A

MUNICIPAL

7 EAGLE RIDGE PLACE S.W. CALGARY, AB

DRAWING INFO

DRAWN BY LD

SCALE AS NOTED

ISSUANCE SCHEDULE

FOR DP APPLICATION 07/MAY/2026

AREAS

FLOOR/LOCATION	SQFT
MAIN FLOOR	3776.07
2ND FLOOR	N/A
BASEMENT (TOTAL)	3535.35
TOTAL	7290
GARAGE	1123.12
COVERED REAR DECK	718.67
COVERED FRONT ENTRY	63.90

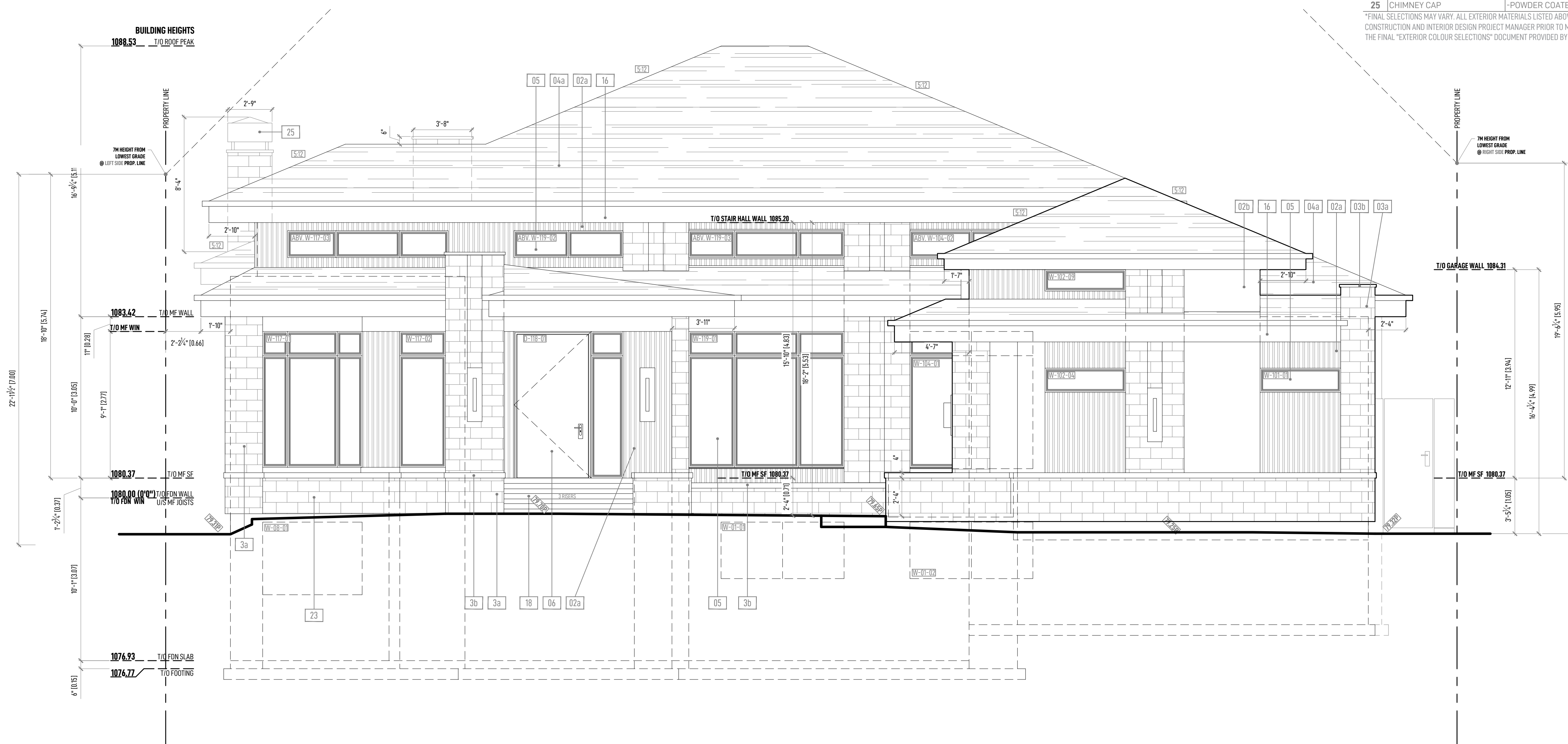
DRAWING TITLE

ELEVATIONS

SHEET NUMBER

A2.0

DATE ISSUED 08/MAY/2026



01 FRONT ELEVATION
SCALE: 1/4"=1'-0"

ENGINEERING NOTES

- Architectural drawings provided are for reference only. Verify all structural requirements with structural engineering and roof and floor layouts prior to start of construction. Refer to engineering documentation as req'd.
- Coordinate footings with structural engineering and ground works to avoid any foreseen conflicts as req'd.
- Ensure foundation wall heights and footing heights locations and dimensions are reviewed with the Rockwood Construction PM prior to start of construction.
- Inform the Rockwood Construction PM of any discrepancies or concerns prior to start of construction.

FRAMING NOTES

- All exterior and interior walls are 2x6 uno.
- Refer to engineering for any tall wall requirements.
- 9" Framed basement wall hgt typ uno.
- 10" Framed main floor wall hgt typ uno.
- 9" Framed 2nd floor wall hgt typ uno.
- 7" Doors on basement floor / 7" Framed openings on basement floor.
- 8" Doors on main floor + 2nd floor / 8" Framed openings on main floor + 2nd floor.
- Refer to window + door schedule and window + door manufacturers documentation for exact c.o. + installation requirements.

HVAC+PLUMBING+ELEC. NOTES

- Mechanical drops shown on plan are for reference only and will need to be reviewed and confirmed between applicable trades and the Rockwood Construction PM prior to start of construction.
- Site coordinate all HVAC/Plumbing/Electrical requirements ensuring compatibility with roof trusses and floor joists to avoid conflicts.
- Inform the Rockwood Construction PM of any discrepancies, conflicts or unforeseen requirements of HVAC/Plumbing/Electrical prior to start of construction or once issue has been discovered.

FINISHING NOTES

- Final selections may vary. All exterior materials as listed above for reference only and are required to be confirmed and finalized with the Rockwood Construction PM and Interior design P+ prior to manufacturing, purchasing or construction of any scope as req'd. please refer to the final "exterior colour selections" document provided by the ID PM.

PROPOSED MATERIAL SCHEDULE

TAG	ITEM	MATERIAL	COLOR/FINISH	ADDITIONAL NOTES
01	MAIN FACADE (LIGHT)	ACRYLIC STUCCO	MED WARM GREY	
02a	SECONDARY FACADE	FIBRE CEMENT BOARD AND BATTEN	-PINK BROWN FLUTED SIDING	-MATCH WOOD COMPOSITE FLUTED SIDING BOARDS COLOUR SAMPLE APPROVAL REQUIRED.
02b	SECONDARY FACADE	FIBRE CEMENT BOARD		
03a	MASONRY	TBD		-FACADE APPLIED MASONRY, INDIANA LIMESTONE
03b	MASONRY CAP	CONCRETE PRECAST CAP		
04a	ROOFING 01	ASPHALT SHINGLES	BLACK	
04b	ROOFING 02	STANDING SEAM METAL	-PINK STANDING SEAM SNAP LOCK PANEL W/ CHARCOAL UNINTENTIONAL FOR THE METAL PORTION TO NOT BE A DEEP BLACK	
05	WINDOWS	METAL CLAD EXT	BROWN TO MATCH METAL ROOF AND OTHER METAL ELEMENTS	2 1/2" APPL. BRICKMOLD ON ALL WINDOWS, SAME COLOUR AS WINDOW UNIT
06	FRONT DOOR	WOOD	-STAINED WOOD DOOR, INSPIRED BY CUSTOM STAIN "FAIRWEATHER TAUPÉ"	2 1/2" APPL. BRICKMOLD, SAME COLOUR AS DOOR UNIT
07	OTHER EXT DOORS	METAL/GLASS	CHARCOAL	3 1/2" APPL. BRICKMOLD, SAME COLOUR AS DOOR UNIT
08	OVERHEAD GARAGE DOORS	METAL	CHARCOAL	BRICKMOLD TO BE CONFIRMED WITH OWNER. A "WOOD LOOK" FOR THE PANEL. 3 1/2" TRIM PAINTED TO MATCH WINDOW DOOR BRICKMOLD.
09	TRIM + CAP	FIBRE CEMENT TRIM BOARD	ALLURA SPECTRUM REVERSIBLE TRIM BOARD PURE WHITE OR 100% FOR AREAS TOUCHING SIDING AND BOARD AND BATTEN UNDIMENSIONED SW 75% FOR AREAS TOUCHING SIDING (SIDING VARIES AS PER DETAILS)	-ONLY USE SMOOTH SIDE EVERYWHERE
10	SHADOW BOARD TRIM	FIBRE CEMENT TRIM BOARD	ALLURA SPECTRUM REVERSIBLE TRIM BOARD PURE WHITE OR 100% FOR AREAS TOUCHING SIDING AND BOARD AND BATTEN UNDIMENSIONED SW 75% FOR AREAS TOUCHING SIDING (SIDING VARIES AS PER DETAILS)	-ONLY USE SMOOTH SIDE EVERYWHERE
11	DOOR THRESHOLD/TOE KICK	FIBRE CEMENT TRIM BOARD	ALLURA SPECTRUM REVERSIBLE TRIM BOARD PURE WHITE OR 100% FOR AREAS TOUCHING SIDING AND BOARD AND BATTEN UNDIMENSIONED SW 75% FOR AREAS TOUCHING SIDING (SIDING VARIES AS PER DETAILS)	-ONLY USE SMOOTH SIDE EVERYWHERE
13	FLASHING	PREFINISHED ALUMINUM	CHARCOAL TO MATCH ROOF AND OTHER METAL ELEMENTS	
14	EAVESTROUGH + DOWNSPOUT	PREFINISHED ALUMINUM	CHARCOAL TO MATCH ROOF AND OTHER METAL ELEMENTS	
15a	SOFFIT 01	PREFINISHED ALUMINUM	CHARCOAL TO MATCH ROOF AND OTHER METAL ELEMENTS	
15b	SOFFIT 02	WOOD T+G BOARD	4" PINE TONGUE + GROOVE BOARD WOOD STAINED, INSPIRED BY CUSTOM STAIN "FAIRWEATHER TAUPÉ"	
16	FASCIA	MIRATEC TRIMBOARD	3" TO 4" HIGH AS PER ELEV.	
17	PARGING	CEMENTITIOUS PARGING	LIGHT WARM GREY	
18	PATIO + EXTERIOR RISERS	CONCRETE	LIGHT WARM GREY	
19	PATIO COLUMN	WOOD CLAD BOX	WOOD STAIN, INSPIRED BY CUSTOM STAIN "FAIRWEATHER TAUPÉ"	4" PINE FINISHED COLUMN DIMENSION, INTERNAL STRUCTURE TO BE DETERMINED BY ENGINEERING AS REQ'D.
20	PATIO BEAM	WOOD CLAD BOX	WOOD STAIN, BLACK/CHARCOAL COLOUR TO MATCH WINDOW FRAMES	4" PINE FINISHED BEAM DIMENSION, INTERNAL STRUCTURE TO BE DETERMINED BY ENGINEERING AS REQ'D.
21	PATIO SCREENING	SUNCOAST RETRACTABLE SCREEN	COLOR OF METAL COMPONENTS TO MATCH ROOF AND OTHER METAL ELEMENTS AS CLOSE AS POSSIBLE	-FACE BELOW CAP IS INTENDED TO BE FINISHED WITH PARGING
22	WALKWAY	CONCRETE	LIGHT WARM GREY	
23	WINDOW WELL/PLANTER	CONCRETE	FACADE APPLIED MASONRY, INDIANA LIMESTONE	-FACE BELOW MASONRY IS INTENDED TO BE FINISHED WITH PARGING
24	METAL COLUMN	POWDER COATED METAL	BLACK/CHARCOAL COLOUR TO MATCH WINDOWS	4" X 4" FABRICATED COLUMN AS PER ENG. AND FABRICATOR
25	CHIMNEY CAP	TBD		-SEE DETAIL

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LEGAL

LOT 30, BLOCK 1, PLAN 35664A

MUNICIPAL

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AREAS

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2ND FLOOR	N/A
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COVERED REAR DECK	718.67
COVERED FRONT ENTRY	63.90

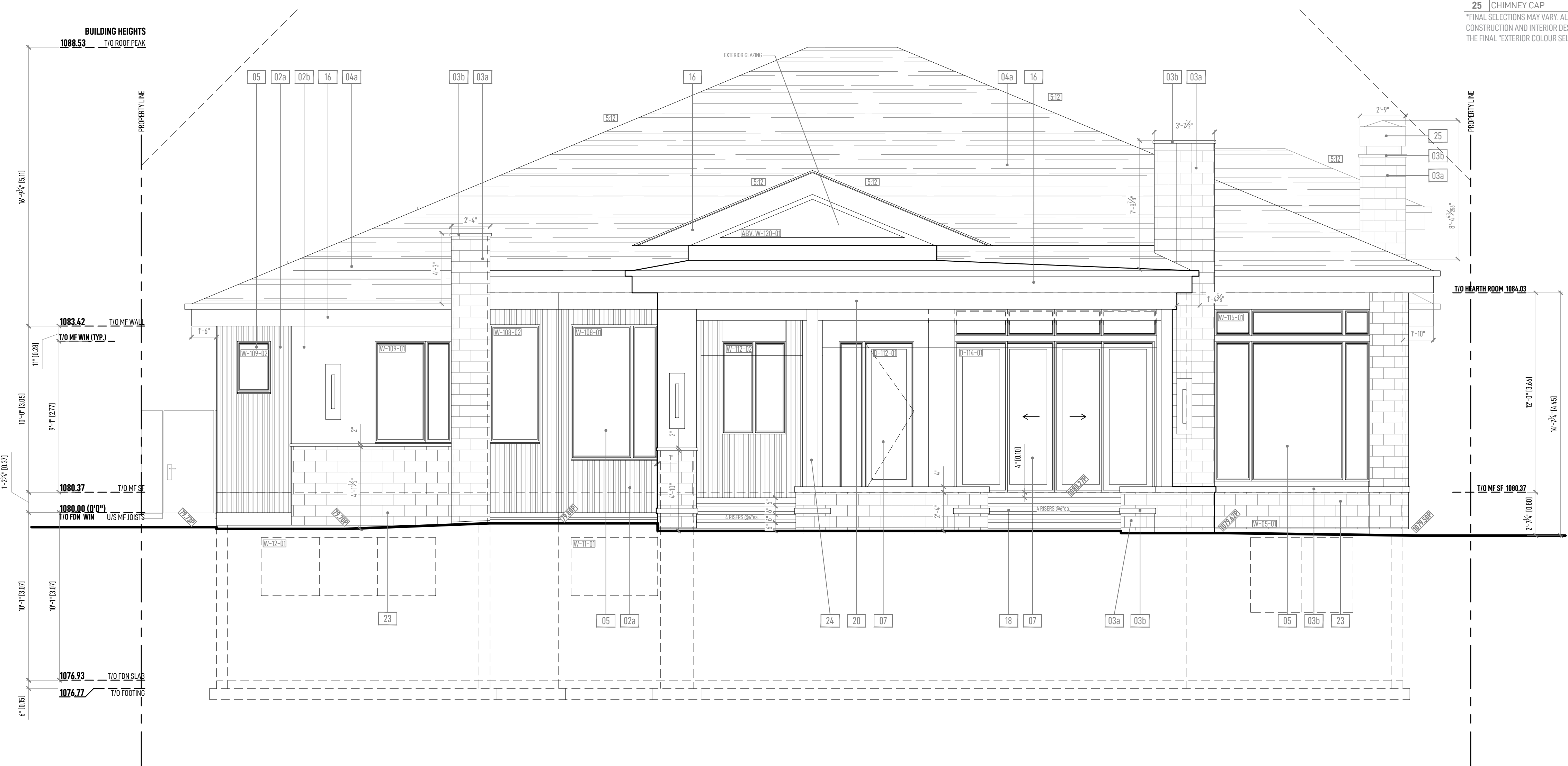
DRAWING TITLE

ELEVATIONS

SHEET NUMBER

A2.1

DATE ISSUED 08/MAY/2026



01 REAR ELEVATION
SCALE: 1/4"=10"

ENGINEERING NOTES

- Architectural drawings provided are for reference only. Verify all structural requirements with structural engineering and roof and floor layouts prior to start of construction. Refer to engineering documentation as req'd.
- Coordinate footings with structural engineering and ground works to avoid any foreseen conflicts as req'd.
- Ensure foundation wall heights and footing heights locations and dimensions are reviewed with the Rockwood Construction PM prior to start of construction.
- Inform the Rockwood Construction PM of any discrepancies or concerns prior to start of construction.

FRAMING NOTES

- All exterior and interior walls are 2x6 uno.
- Refer to engineering for any tall wall requirements.
- 9" Framed basement wall hgt typ uno.
- 10" Framed main floor wall hgt typ uno.
- 9" Framed 2nd floor wall hgt typ uno.
- 7" Doors on basement floor / 7 1/2" framed openings on basement floor.
- 8" Doors on main floor + 2nd floor / 8" framed openings on main floor + 2nd floor.
- Refer to window + door schedule and window + door manufacturers documentation for exact c.o. + installation requirements.

HVAC+PLUMBING+ELEC. NOTES

- All doors to have a min. of 6" clearance from framed open to any adjacent walls uno.
- Please ensure you are using the most current drawing set and refer to final interior design layouts to confirm any further changes to layout, framing, electrical and plumbing changes or any other specific requirements as outlined within that supplementary documentation. - Request current drawings as req'd and discuss any discrepancies with the Rockwood Construction PM.

FINISHING NOTES

- Mechanical drops shown on plan are for reference only and will need to be reviewed and confirmed between applicable trades and the Rockwood Construction PM prior to start of construction.
- Site coordinate all HVAC/Plumbing/Electrical requirements ensuring compatibility with roof trusses and floor joists to avoid conflicts.
- Inform the Rockwood Construction PM of any discrepancies, conflicts or unforeseen requirements of HVAC/Plumbing/Electrical prior to start of construction or once issue has been discovered.

DRAWING NOTES

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**THE UNRAU RESIDENCE
ROCKWOOD.**

PROJECT ADDRESS

LEGAL

LOT 30, BLOCK 1, PLAN 35661A

MUNICIPAL

7 EAGLE RIDGE PLACE S.W. CALGARY, AB

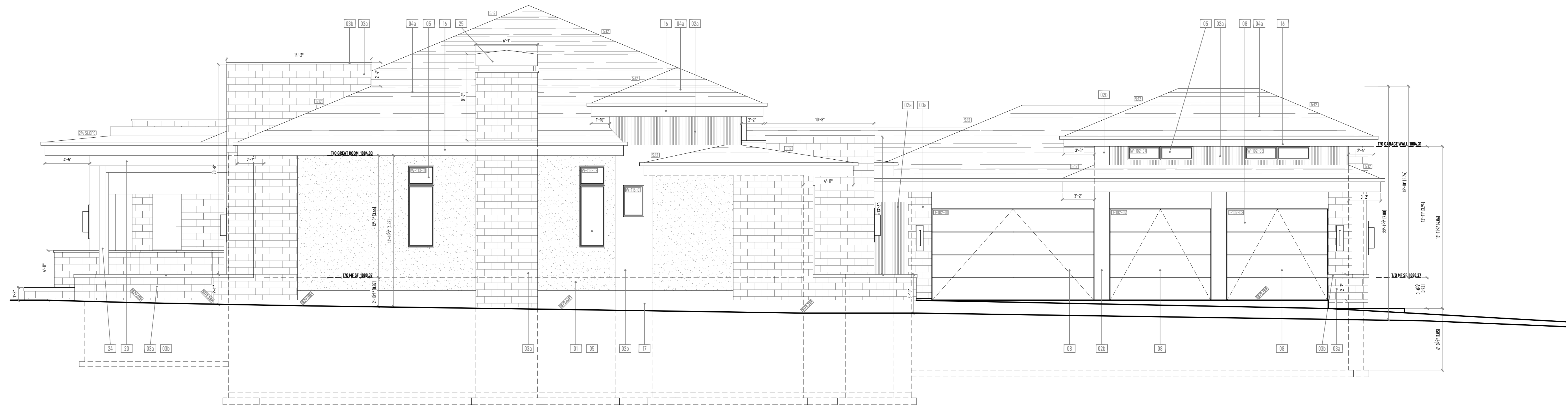
DRAWING INFO

DRAWN BY LD

SCALE AS NOTED

ISSUANCE SCHEDULE

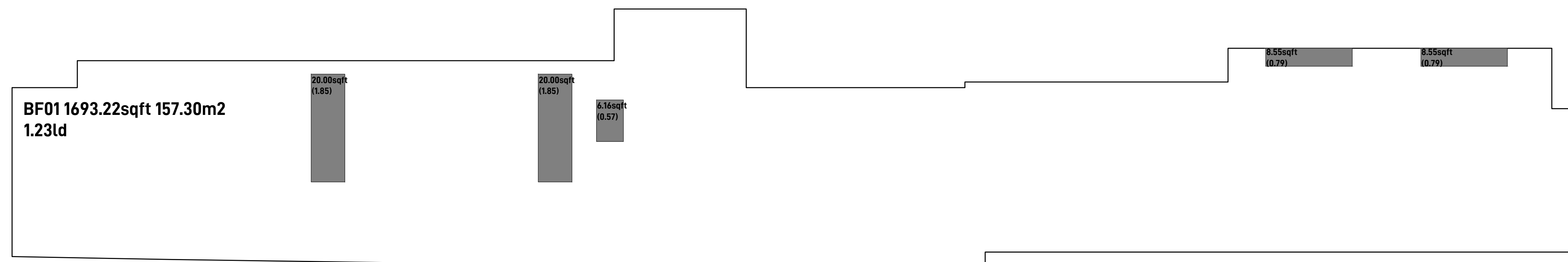
FOR DP APPLICATION 07/MAY/2026



01 LEFT SIDE (EAST) ELEVATION
SCALE: 1/4"=1'-0"

EAST SIDE YARD UPO CALCULATION

EAST SIDE YARD UPO CALCULATION	
	BF01
	MIN DISTANCE 1.23m
	Exposing Building Face
	Total Area: 157.30m ²
Total Overall Area of Exposing Building Face	157.30m ²
Maximum Total Area of Exposing Building Face Used in Table 9.10.15.4	OVER 100m ²
45 Min fire resistance rating	Not required
Type of cladding	No Limit
Permitted % of glazed openings	7.00%
Permitted aggregate area of glazed openings	11.01m ²
Total area of proposed openings	5.88m ² (3.73%)



AREAS

FLOOR/LOCATION	SQFT
MAIN FLOOR	3776.07
2ND FLOOR	N/A
BASEMENT (TOTAL)	3535.35
TOTAL	7290
GARAGE	1123.12
COVERED REAR DECK	718.67
COVERED FRONT ENTRY	63.90

DRAWING TITLE

ELEVATIONS

SHEET NUMBER

A2.2

DATE ISSUED 08/MAY/2026

ENGINEERING NOTES

- Architectural drawings provided are for reference only. Verify all structural requirements with structural engineering and roof and floor layouts prior to start of construction. Refer to engineering documentation as req'd.
- Coordinate footings with structural engineering and ground works to avoid any foreseen conflicts as req'd.
- Ensure foundation wall heights and footing heights locations and dimensions are reviewed with the Rockwood Construction PM prior to start of construction.
- Inform the Rockwood Construction PM of any discrepancies or concerns prior to start of construction.

FRAMING NOTES

- All exterior and interior walls are 2x6 uno.
- Refer to engineering for any tall wall requirements.
- 9" Framed basement wall** hgt typ uno.
- 10" Framed main floor wall** hgt typ uno.
- 9" Framed 2nd floor wall** hgt typ uno.
- 7" Doors on basement floor / 7 1/2" framed openings on basement floor.**
- 8" Doors on main floor + 2nd floor / 8" framed openings on main floor + 2nd floor.**
- Refer to window + door schedule and window + door manufacturers documentation for exact c.o. + installation requirements.

HVAC+PLUMBING+ELEC. NOTES

- All doors to have a min. of 6" clearance from framed open to any adjacent walls uno.
- Please ensure you are using the most current drawing set and refer to final interior design layouts to confirm any further changes to layout, framing, electrical and plumbing changes or any other specific requirements as outlined within that supplementary documentation. - Request current drawings as req'd and discuss any discrepancies with the Rockwood Construction PM.
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- Site coordinate all HVAC/Plumbing/Electrical requirements ensuring compatibility with roof trusses and floor joists to avoid conflicts.
- Inform the Rockwood Construction PM of any discrepancies, conflicts or unforeseen requirements of HVAC/Plumbing/Electrical prior to start of construction or once issue has been discovered.

FINISHING NOTES

- Final selections may vary. All exterior materials as listed above for reference only and are required to be confirmed and finalized with the Rockwood Construction PM and Interior design P+ prior to manufacturing, purchasing or construction of any scope as req'd. please refer to the final "exterior colour selections" document provided by the ID PM.

DRAWING NOTES

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**THE UNRAU RESIDENCE
ROCKWOOD.**

PROJECT ADDRESS

LEGAL

LOT 30, BLOCK 1, PLAN 35661A

MUNICIPAL

7 EAGLE RIDGE PLACE S.W. CALGARY, AB

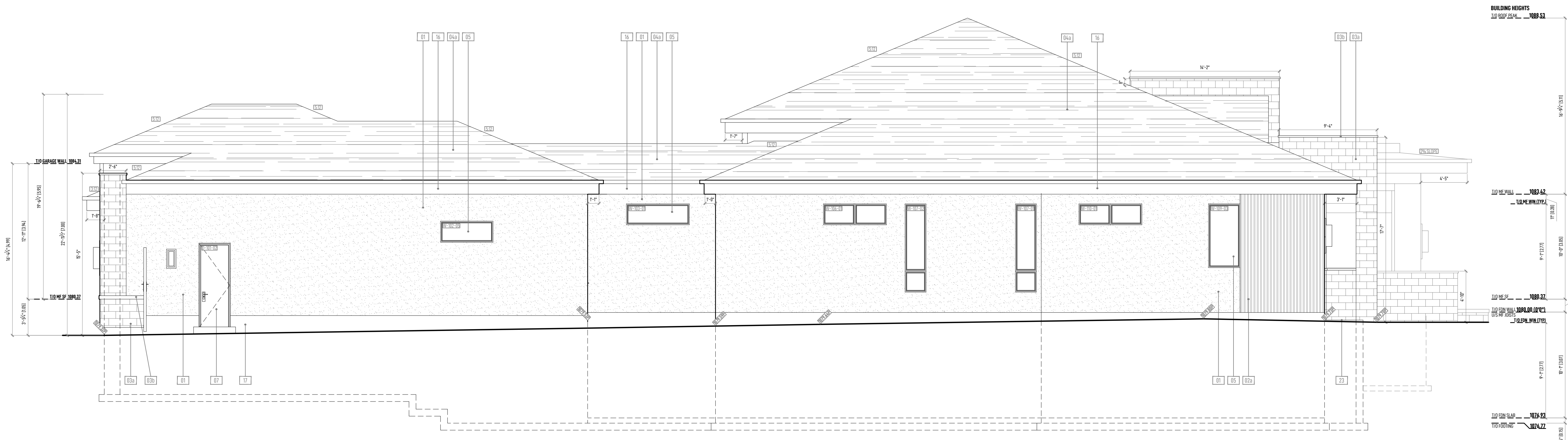
DRAWING INFO

DRAWN BY LD

SCALE AS NOTED

ISSUANCE SCHEDULE

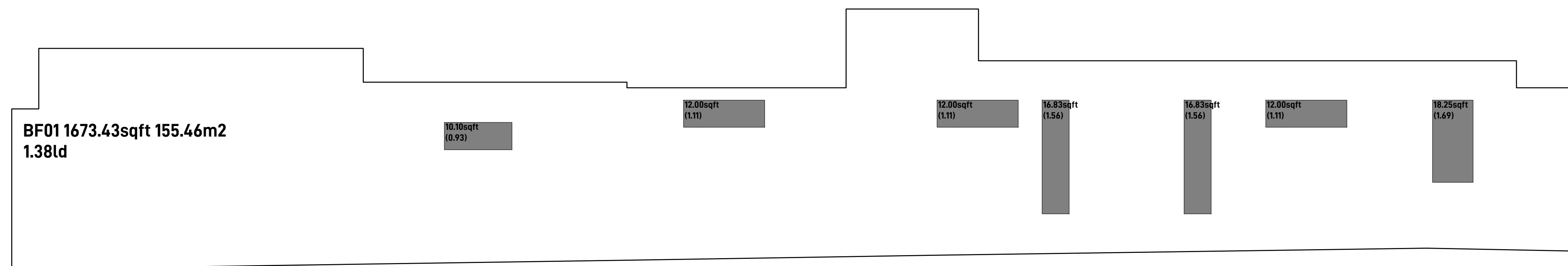
FOR DP APPLICATION 07/MAY/2026



01 RIGHT SIDE (WEST) ELEVATION
SCALE: 1/4"=10'

WEST SIDE YARD UPD CALCULATION

	BF01
	MIN DISTANCE 1.38m Exposing Building Face Total Area: 95.46m ²
Total Overall Area of Exposing Building Face	155.46m ²
Maximum Total Area of Exposing Building Face Used in Table 9.10.15.4	OVER 100m ²
45 Min fire resistance rating	Not required
Type of cladding	No Limit
Permitted % of glazed openings	7.00%
Permitted aggregate area of glazed openings	10.88m ²
Total area of proposed openings	9.11m ² (5.86%)



AREAS

FLOOR/LOCATION	SQFT
MAIN FLOOR	3776.07
2ND FLOOR	N/A
BASEMENT (TOTAL)	3535.35
TOTAL	7290
GARAGE	1123.12
COVERED REAR DECK	718.67
COVERED FRONT ENTRY	63.90

DRAWING TITLE

ELEVATIONS

SHEET NUMBER

A2.3

DATE ISSUED 08/MAY/2026

ENGINEERING NOTES

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- Coordinate footings with structural engineering and ground works to avoid any foreseen conflicts as req'd.
- Ensure foundation wall heights and footing heights locations and dimensions are reviewed with the Rockwood Construction PM prior to start of construction.
- Inform the Rockwood Construction PM of any discrepancies or concerns prior to start of construction.

FRAMING NOTES

- All exterior and interior walls are 2x6 uno.
- Refer to engineering for any tall wall requirements.
- 9"0"** Framed basement wall hgt typ uno.
- 10"0"** Framed main floor wall hgt typ uno.
- 9"0"** Framed 2nd floor wall hgt typ uno.
- 7"0"** Doors on basement floor / **7"6"** framed openings on basement floor.
- 8"0"** Doors on main floor + 2nd floor / **8"0"** framed openings on main floor + 2nd floor.
- Refer to window + door schedule and window + door manufacturers documentation for exact c.o. + installation requirements.

- All doors to have a min. of 6" clearance from framed open to any adjacent walls uno.
- Please ensure you are using the most current drawing set and refer to final interior design layouts to confirm any further changes to layout, framing, electrical and plumbing changes or any other specific requirements as outlined within that supplementary documentation. -Request current drawings as req'd and discuss any discrepancies with the Rockwood Construction PM.

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AREAS + LOT COVERAGE

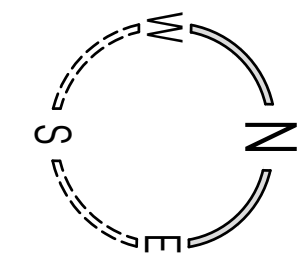
LOT AREA	1508.57 m ² (16238.15 SQFT)
ALLOWABLE COVERAGE @ 45%	678.85 m ² (7307.16 SQFT)
PROPOSED COVERAGE	521.92 m ² (5646.9m)
HOUSE + GARAGE FOOTPRINT	4899.19 SQFT
COVERED FRONT ENTRANCE	63.90 SQFT
COVERED REAR PATIO	718.67 SQFT
TOTAL FOOTPRINT	521.92 m ² (5647.84 SQFT)
TOTAL DEVELOPED ABOVE GRADE	3776.67 SQFT
TOTAL DEVELOPED	7311.42 SQFT

ELEVATIONS

TOP OF FOOTING	1024.77
TOP OF MAIN FLOOR SUB FLOOR	1080.37
TOP OF 2ND FLOOR SUB FLOOR	N/A
TOP OF ROOF PEAK	1088.53
FRONT GRADE	1079.31
REAR GRADE	1073.58
GARAGE SLAB @ FRONT	1079.70
GARAGE SLAB @ BACK	1079.70

SETBACKS

SETBACK	PERMITTED	PROVIDED
FRONT SETBACK	3.00m	3.27m
REAR SETBACK	2.50m	15.66m
SIDE SETBACK	1.20m	1.23m
SIDE SETBACK	1.20m	1.38m



LEGEND

ELEVATIONS ARE SHOWN THUS: 1080.00 METERS (GEOIDIC)
 DISTANCES ARE IN METERS AND DECIMALS THERE OF UNLESS NOTED OTHERWISE
 ELEVATIONS ARE REFERRED TO AS A GEOIDIC DATUM
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT

ABBREVIATIONS

CANT = CANTILEVER
 ENC = ENCLOSURES
 BW = BACK OF WALKWAY
 BW = BOTTOM OF WALL
 TW = TOP OF WALL
 CONC = CONCRETE
 RET = RETAINING
 BOC = BACK OF CURB

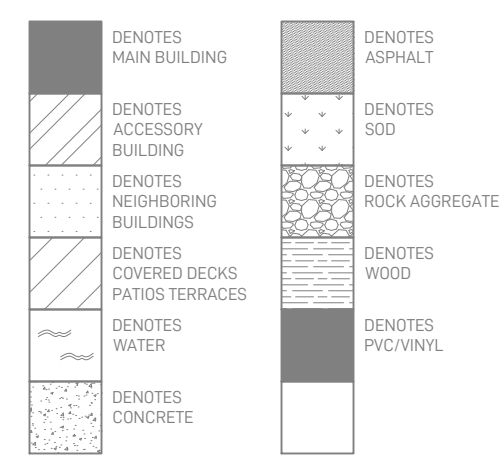
ABBREVIATIONS

PROPOSED GRADES
 EXISTING GRADES

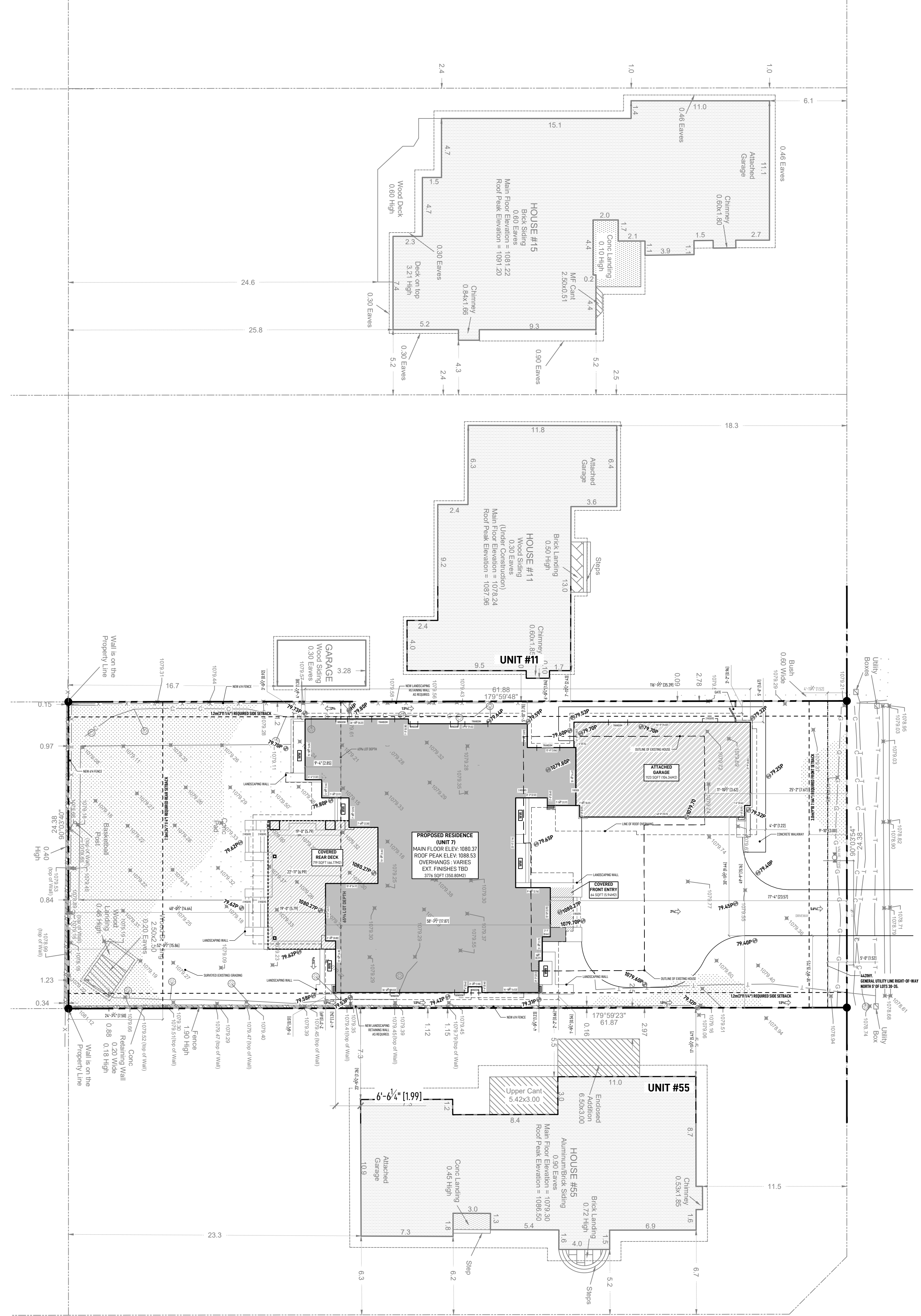
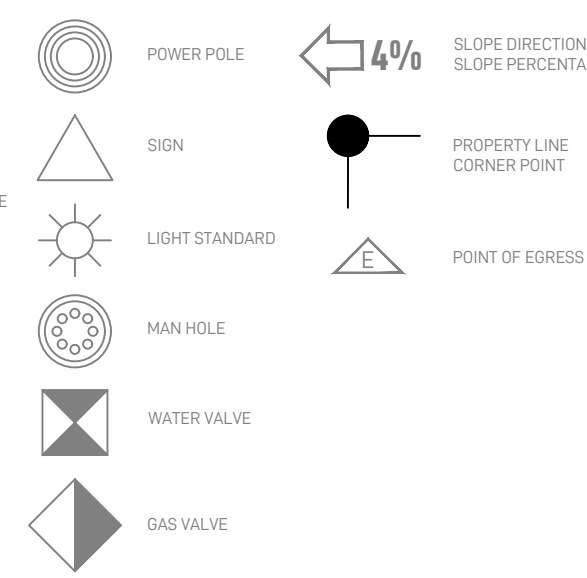
LINE TYPES

BUILDING OUTLINE
 PROPERTY LINE
 SETBACKS FROM PROPERTY LINE
 FENCING
 SANITARY LINE
 STORM LINE
 WATER LINE
 GAS LINE
 ELECTRICAL LINE
 PHONE/CABLE LINE

HATCHES



SYMBOLS



03 BLOCK PLAN
 SCALE: 1:200

DRAWING NOTES

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**THE UNRAU RESIDENCE
 ROCKWOOD.**

PROJECT ADDRESS

LEGAL
 LOT 30, BLOCK 1, PLAN 3566/IA

MUNICIPAL
 7 EAGLE RIDGE PLACE S.W. CALGARY, AB

DRAWING INFO

DRAWN BY LD
SCALE AS NOTED

ISSUANCE SCHEDULE

FOR DP APPLICATION 07/MAY/2026

AREAS

FLOOR/LOCATION	SQFT
MAIN FLOOR	3776.07
2ND FLOOR	N/A
BASEMENT (TOTAL)	3535.35
TOTAL	7290
GARAGE	1123.12
COVERED REAR DECK	718.67
COVERED FRONT ENTRY	63.90

DRAWING TITLE

BLOCK PLAN

SHEET NUMBER

A1.0

DATE ISSUED 08/MAY/2026

AREAS + LOT COVERAGE	
LOT AREA	1508.57 m ² (16238.15 SQFT)
ALLOWABLE COVERAGE @ 45%	678.85 m ² (7307.16 SQFT)
PROPOSED COVERAGE	521.92 m ² (5646.94 SQFT)
HOUSE + GARAGE FOOTPRINT	4899.19 SQFT
COVERED FRONT ENTRANCE	63.91 SQFT
COVERED REAR PATIO	718.67 SQFT
TOTAL FOOTPRINT	521.92 m ² (5646.94 SQFT)
TOTAL DEVELOPED ABOVE GRADE	3776.07 SQFT
TOTAL DEVELOPED	3711.42 SQFT

ELEVATIONS	
TOP OF FOOTING	1076.77
TOP OF MAIN FLOOR SUB FLOOR	1080.37
TOP OF 2ND FLOOR SUB FLOOR	N/A
TOP OF ROOF PEAK	1088.53
FRONT GRADE	1079.31
REAR GRADE	1079.58
GARAGE SLAB @ FRONT	1079.70
GARAGE SLAB @ BACK	1079.70

SETBACKS		
SETBACK	PERMITTED	PROVIDED
FRONT SETBACK	3.00m	1.67m
REAR SETBACK	2.50m	15.66m
SIDE SETBACK	1.20m	1.23m
SIDE SETBACK	1.20m	1.38m

LEGEND	
ELEVATIONS ARE SHOWN THUS: 1080.37 METERS (GEOIDIC)	
DISTANCES ARE IN METERS AND DECIMALS THERE OF UNLESS NOTED OTHERWISE	
ELEVATIONS ARE REFERRED TO AS A GEOIDIC DATUM	
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH X HEIGHT	

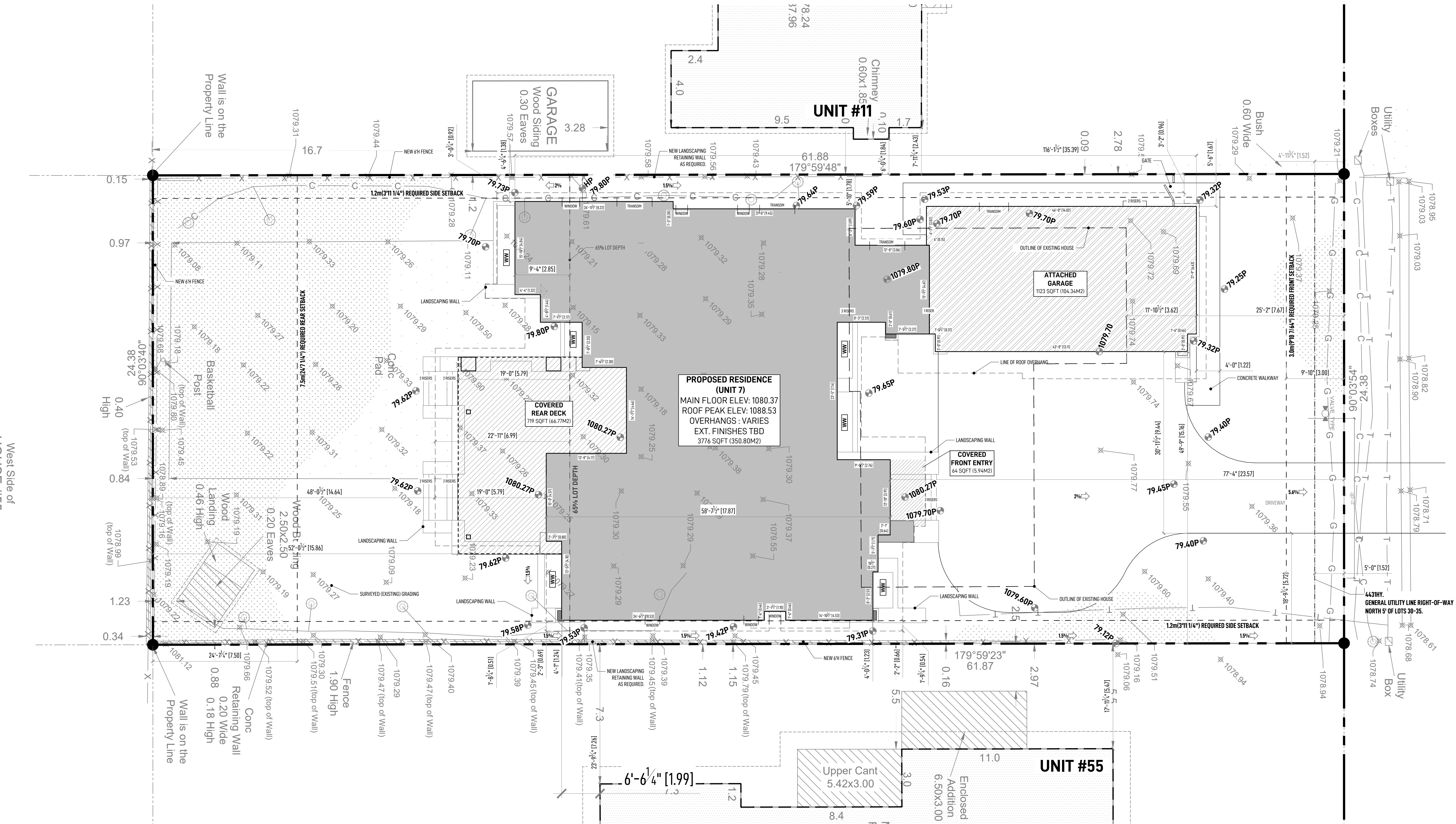
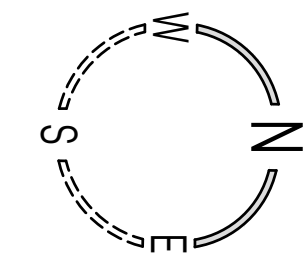
ABBREVIATIONS	
CANT = CANTILEVER	
ENC = ENCLOSURES	
BW = BACK OF WALKWAY	
BOW = BOTTOM OF WALL	
TOW = TOP OF WALL	
CONC = CONCRETE	
RET = RETAINING	
BOC = BACK OF CURB	

ABBREVIATIONS	
PROPOSED GRADES	1080.37
EXISTING GRADES	1079.58

LINE TYPES	
---	BUILDING OUTLINE
- - -	PROPERTY LINE
- · - · -	SETBACKS FROM PROPERTY LINE
- · - · -	FENCING
- · - · -	SANITARY LINE
- · - · -	STORM LINE
- · - · -	WATER LINE
- · - · -	GAS LINE
- · - · -	ELECTRICAL LINE
- · - · -	PHONE/CABLE LINE

HATCHES	
[Hatch]	DENOTES MAIN BUILDING
[Hatch]	DENOTES ACCESSORY BUILDING
[Hatch]	DENOTES NEIGHBORING BUILDINGS
[Hatch]	DENOTES COVERED DECKS
[Hatch]	DENOTES PATIOS/TERRACES
[Hatch]	DENOTES WATER
[Hatch]	DENOTES CONCRETE
[Hatch]	DENOTES ASPHALT
[Hatch]	DENOTES SAND
[Hatch]	DENOTES ROCK AGGREGATE
[Hatch]	DENOTES WOOD
[Hatch]	DENOTES PRECAST

SYMBOLS	
[Symbol]	POWER POLE
[Symbol]	SIGN
[Symbol]	LIGHT STANDARD
[Symbol]	MAN HOLE
[Symbol]	WATER VALVE
[Symbol]	GAS VALVE
[Symbol]	SLOPE DIRECTION + SLOPE PERCENTAGE
[Symbol]	PROPERTY LINE CORNER POINT
[Symbol]	POINT OF EGRESS



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THE UNRAU RESIDENCE ROCKWOOD.

PROJECT ADDRESS

LEGAL
LOT 30, BLOCK 1, PLAN 35661A

MUNICIPAL
7 EAGLE RIDGE PLACE S.W. CALGARY, AB

DRAWING INFO

DRAWN BY LD

SCALE AS NOTED

ISSUANCE SCHEDULE

FOR DP APPLICATION 07/MAY/2026

AREAS

FLOOR/LOCATION	SQFT
MAIN FLOOR	3776.07
2ND FLOOR	N/A
BASEMENT (TOTAL)	3535.35
TOTAL	7290
GARAGE	1123.12
COVERED REAR DECK	718.67
COVERED FRONT ENTRY	63.90

DRAWING TITLE

SITE PLAN

SHEET NUMBER

A1.1

DATE ISSUED 08/MAY/2026

01 SITE PLAN
SCALE: 1:100

AREAS + LOT COVERAGE	
LOT AREA	1508.57 m ² (16238.15 SQFT)
ALLOWABLE COVERAGE @ 45%	678.85 m ² (7307.16 SQFT)
PROPOSED COVERAGE	521.92 m ² (5646m)
HOUSE + GARAGE FOOTPRINT	4899.9 SQFT
COVERED FRONT ENTRANCE	63.90 SQFT
COVERED REAR PATIO	718.67 SQFT
TOTAL FOOTPRINT	521.92 m ² (5647.84 SQFT)
TOTAL DEVELOPED ABOVE GRADE	3776.07 SQFT
TOTAL DEVELOPED	1311.42 SQFT

ELEVATIONS	
TOP OF FOOTING	1026.77
TOP OF MAIN FLOOR SUB FLOOR	1050.37
TOP OF 2ND FLOOR SUB FLOOR	N/A
TOP OF ROOF PEAK	1088.53
FRONT GRADE	1079.31
REAR GRADE	1079.58
GARAGE SLAB @ FRONT	1079.70
GARAGE SLAB @ BACK	1079.70

SETBACKS		
SETBACK	PERMITTED	PROVIDED
FRONT SETBACK	3.00m	3.27m
REAR SETBACK	2.50m	15.60m
SIDE SETBACK	1.20m	1.23m
SIDE SETBACK	1.20m	1.38m

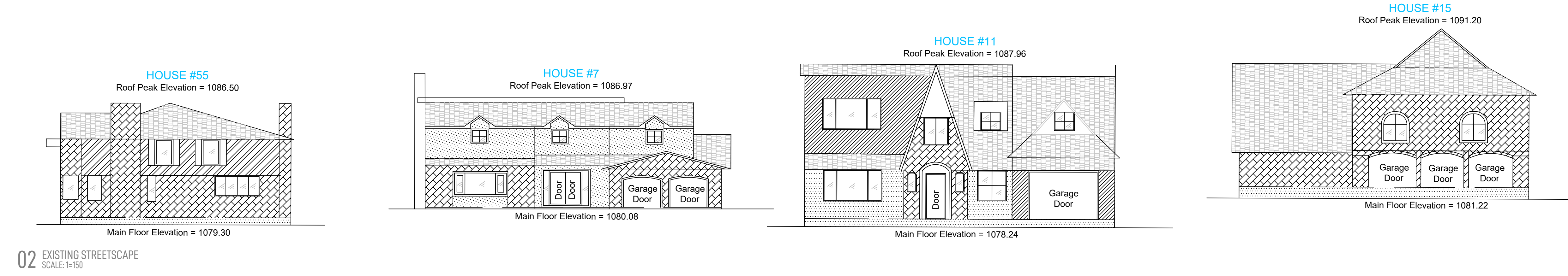
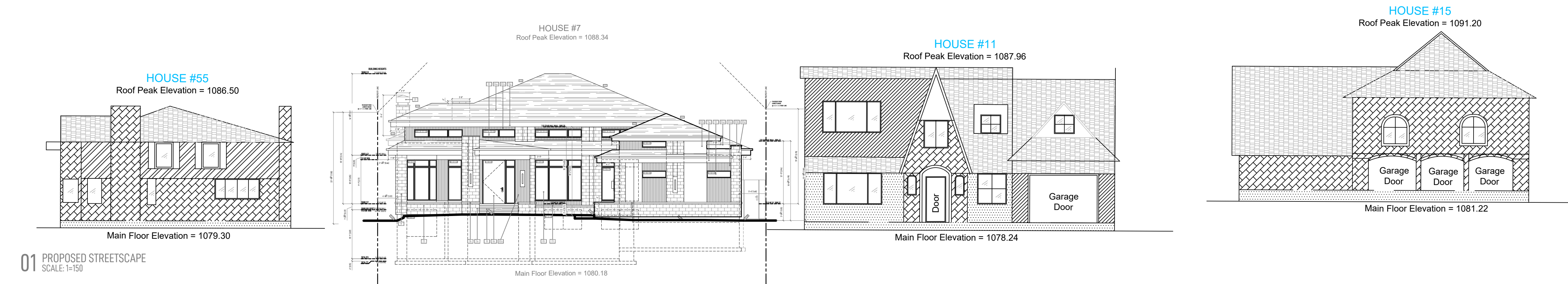
LEGEND	
ELEVATIONS ARE SHOWN IN METERS AND DECIMALS THERE OF UNLESS NOTED OTHERWISE	
ELEVATIONS ARE REFERRED TO AS A GEODETIC DATUM	
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT	

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TOW = TOP OF WALL	
C/NC = CONCRETE	
RET = RETAINING	
BOC = BACK OF CURB	

LINE TYPES	
	BUILDING OUTLINE
	PROPERTY LINE
	SETBACKS FROM PROPERTY LINE
	FENCING
	SANITARY LINE
	STORM LINE
	WATER LINE
	GAS LINE
	ELECTRICAL LINE
	PHONE/CABLE LINE

HATCHES	
	DENOTES MAIN BUILDING
	DENOTES ACCESSORY BUILDING
	DENOTES NEIGHBORING BUILDINGS
	DENOTES COVERED DECKS
	DENOTES PATIOS/TERRACES
	DENOTES WATER
	DENOTES CONCRETE
	DENOTES ASPHALT
	DENOTES SAND
	DENOTES ROCK AGGREGATE
	DENOTES WOOD
	DENOTES POLYVINYL

SYMBOLS	
	POWER POLE
	SIGN
	LIGHT STANDARD
	MAN HOLE
	WATER VALVE
	GAS VALVE
	PROPERTY LINE CORNER POINT
	POINT OF EGRESS



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**THE UNRAU RESIDENCE
ROCKWOOD.**

PROJECT ADDRESS

LEGAL
LOT 30, BLOCK 1, PLAN 35661A

MUNICIPAL
7 EAGLE RIDGE PLACE S.W. CALGARY, AB

DRAWING INFO

DRAWN BY LD

SCALE AS NOTED

ISSUANCE SCHEDULE

FOR DP APPLICATION 07/MAY/2026

AREAS

FLOOR/LOCATION	SQFT
MAIN FLOOR	3776.07
2ND FLOOR	N/A
BASEMENT (TOTAL)	3535.35
TOTAL	7290
GARAGE	1123.12
COVERED REAR DECK	718.67
COVERED FRONT ENTRY	63.90

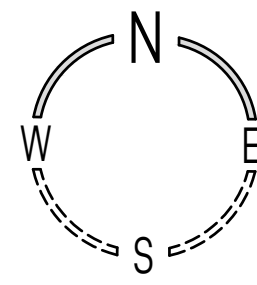
DRAWING TITLE

**STREETSCAPE +
SITE PHOTOS**

SHEET NUMBER

A1.2

DATE ISSUED 08/MAY/2026



01 EAGLE RIDGE PLACE SW DRIVEWAY BLOCK PLAN
SCALE: 1=400

DRAWING NOTES

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PROJECT ADDRESS

LEGAL
LOT 30, BLOCK 1, PLAN 35661A

MUNICIPAL
7 EAGLE RIDGE PLACE S.W. CALGARY, AB

DRAWING INFO

DRAWN BY LD

SCALE AS NOTED

ISSUANCE SCHEDULE

FOR DP APPLICATION 07/MAY/2026

AREAS

FLOOR/LOCATION	SQFT
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2ND FLOOR	N/A
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TOTAL	7290
GARAGE	1123.12
COVERED REAR DECK	718.67
COVERED FRONT ENTRY	63.90

DRAWING TITLE

DRIVEWAY BLOCK PLAN

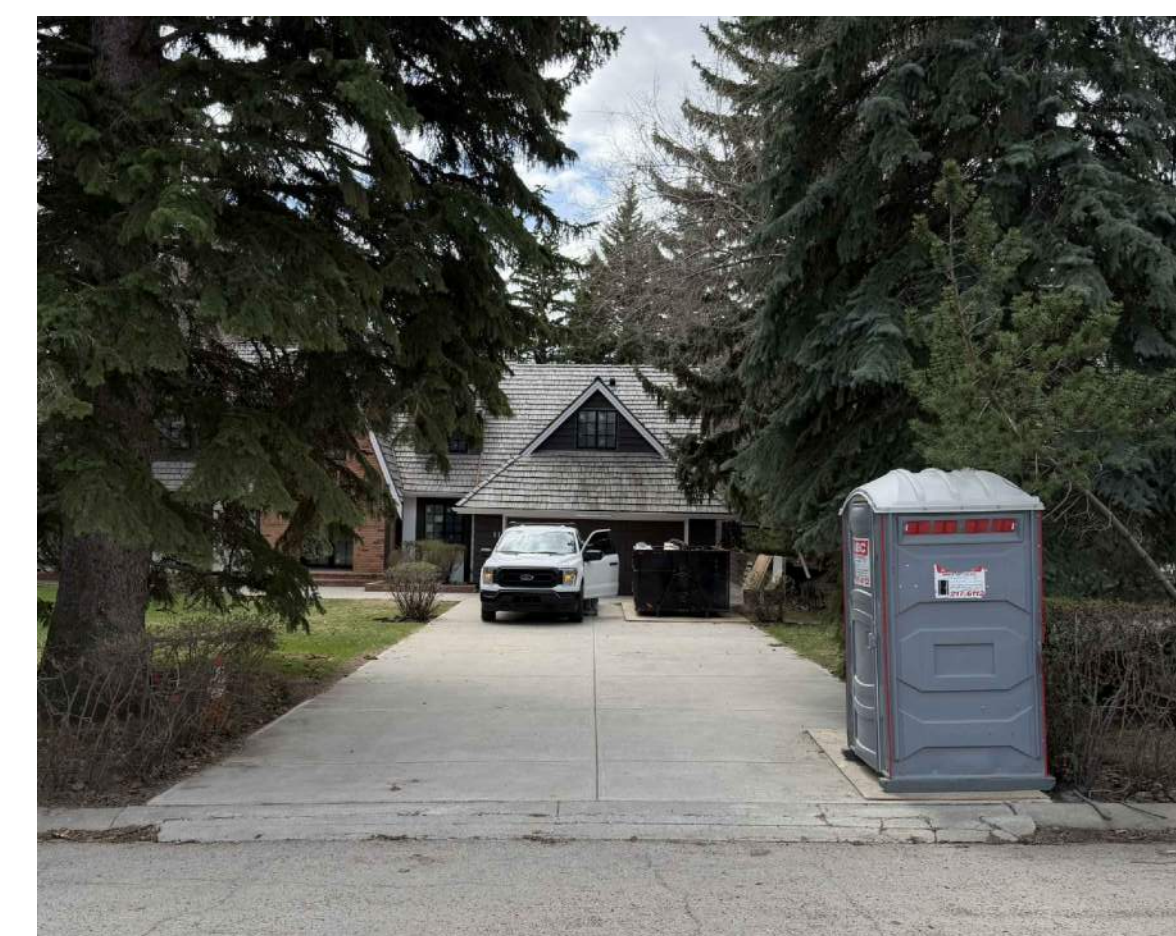
SHEET NUMBER

A1.3

DATE ISSUED 08/MAY/2026



01 7 EAGLE RIDGE PLACE SW
DEVELOPMENT PARCEL - CURRENT STATE



02 11 EAGLE RIDGE PLACE SW



03 15 EAGLE RIDGE PLACE SW



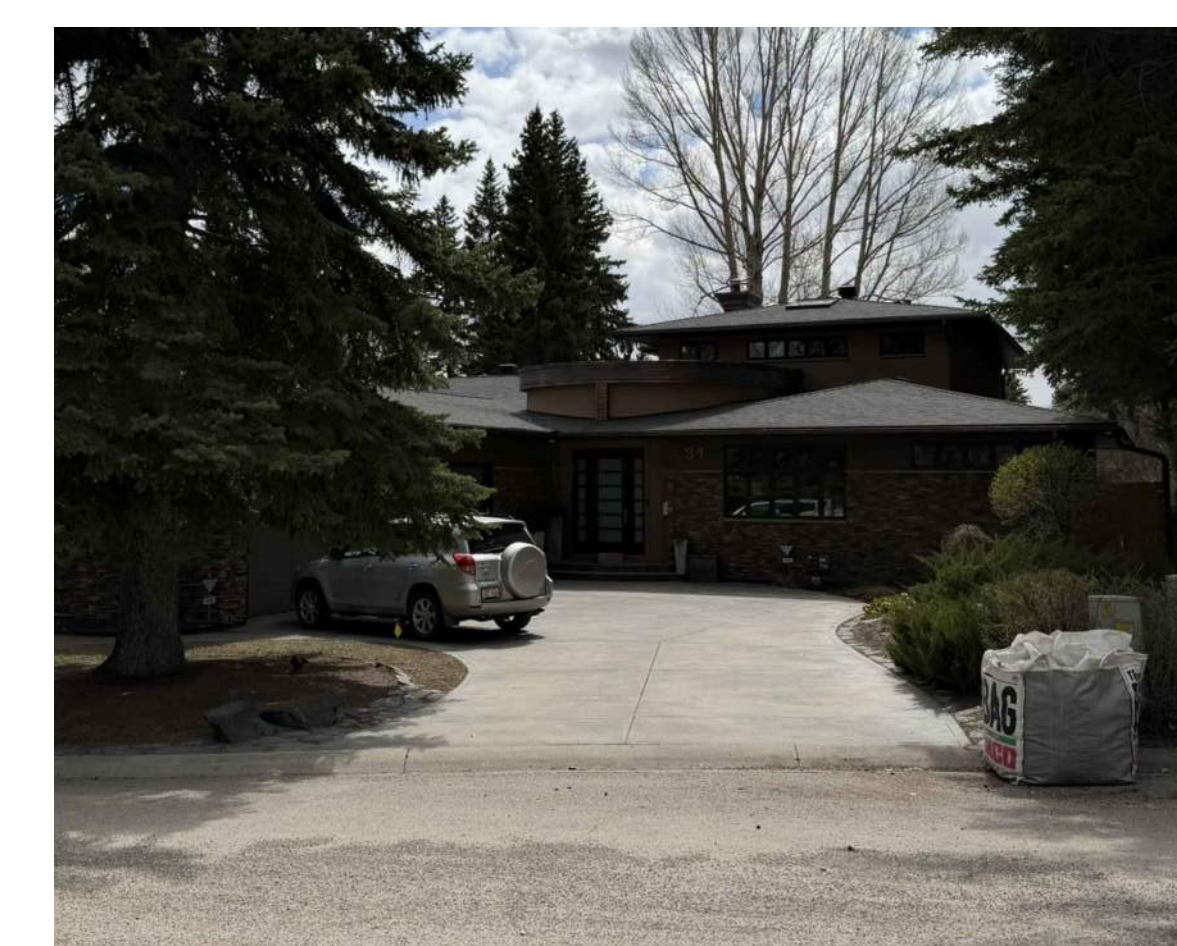
04 19 EAGLE RIDGE PLACE SW



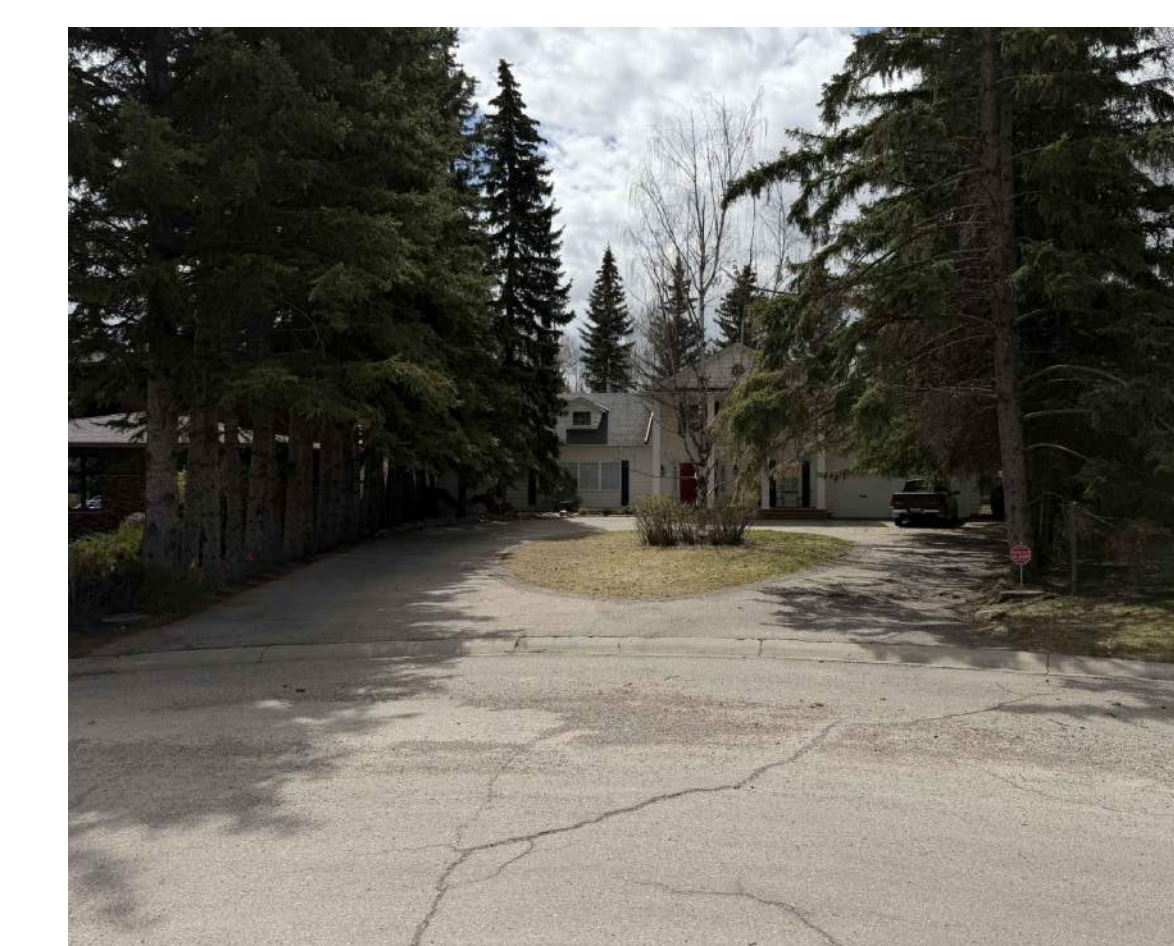
05 23 EAGLE RIDGE PLACE SW



06 27 EAGLE RIDGE PLACE SW



07 31 EAGLE RIDGE PLACE SW



08 35 EAGLE RIDGE PLACE SW