

DEVELOPMENT PERMIT - DRAWING LIST

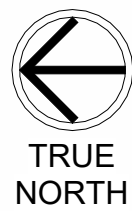
DP001	SITE INFORMATION
DP002	SURVEY/REFERENCE
DP101	EXISTING / PROPOSED - SITE PLANS
DP200	EXISTING FLOOR PLAN - LEVEL 01
DP201	PROPOSED FLOOR PLAN - LEVEL 01
DP202	ENLARGED FLOOR PLAN - LEVEL 01
DP400	NORTH / WEST BUILDING ELEVATIONS
DP600	RENDERINGS



project architect
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ACE CASINO 05-06-2026 DP SUBMISSION

25019
ACE CASINO BLACKFOOT
ADDRESS:
4040 BLACKFOOT TRAIL SE
CALGARY, ALBERTA, T2G 4E6
LEGAL DESCRIPTION:
PLAN 9810597,
BLOCK 1;
LOT 3



project architect

seal

consultant

permit

no.	rev / issued for	date
A	ISSUED FOR REVIEW	2026-05-03

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drawing title

EXISTING / PROPOSED - SITE
PLANS

sheet

DP101

drawn	scale
LF	As indicated
checked	project no.
JP	25019

PROJECT OUTLINE

DESCRIPTION	THIS PROJECT INVOLVES UPGRADES TO AN EXISTING MULTI-TENANT COMMERCIAL BUILDING LOCATED AT 4040 BLACKFOOT TRAIL SE, CURRENTLY CONTAINING A GAMING ESTABLISHMENT (CASINO), FOCUSED ON IMPROVING THE BUILDING'S EXTERIOR PRESENCE, ENTRY CONDITIONS, AND OVERALL SITE FUNCTIONALITY. THE PROPOSED DEVELOPMENT INCLUDES EXTERIOR FAÇADE IMPROVEMENTS AND MODIFICATIONS TO THE EXISTING ENTRANCE, INCLUDING RELOCATION OF DOOR OPENINGS WITHIN NON-STRUCTURAL WALL ASSEMBLIES. SITE IMPROVEMENTS INCLUDE RECONFIGURATION OF THE EXISTING PARKING LAYOUT TO ENHANCE CIRCULATION, ACCESSIBILITY, AND FUNCTIONALITY. THE PROJECT ALSO INCLUDES CONSOLIDATION OF ADJACENT TENANT SPACE WITHIN THE EXISTING BUILDING FOOTPRINT, ALLOWING THE EXISTING GAMING ESTABLISHMENT TO EXTEND WITHIN THE BUILDING. ALL WORK IS CONTAINED WITHIN THE EXISTING BUILDING AND SITE. NO ENLARGEMENT OR ADDITION TO THE BUILDING IS PROPOSED.
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ADDRESS & ZONING

MUNICIPAL ADDRESS	#103 - #104 4040 BLACKFOOT TRAIL SE, CALGARY, ALBERTA
LEGAL DESCRIPTION	LOTS 2 & 3, BLOCK 1, PLAN 981 0597
BYLAW	CITY OF CALGARY LAND USE BYLAW 1P2007
ZONING	I-C INDUSTRIAL - COMMERCIAL
EXISTING USES	GAMING ESTABLISHMENT — CASINO SELF STORAGE FACILITY
SETBACKS	FRONT = 6M SIDES & REAR = 1.2M

AREA CALCULATIONS - PARCEL

PARCEL AREA	210.011 SQ.FT / 19,510 SQ.M
GROSS FLOOR AREA	TOTAL BUILDING GFA: 148,020 SF - REFER TO LANDLORD SURVEY 2/ DP001
GFA BY USE	REFER TO LANDLORD SURVEY 2/ DP001
FLOOR AREA RATIO	MAX FAR PERMITTED (I-C) = 1.0 148,020 SF ÷ 210,011 SF = 0.70 (NO CHANGE)
BUILDING FOOTPRINT	EXISTING FOOTPRINT: = 9165 M2 (NO CHANGE)
LOT COVERAGE	LOT COVERAGE = 46% LOT COVERAGE (9117 M2/ 19510 M2 = 46%)

BUILDING INFORMATION

PERMITTED SIGNAGE USES	SIGN — CLASS A (ADDRESS SIGN) SIGN — CLASS B (FASCIA SIGN) SIGN — CLASS D (CANOPY SIGN OR PROJECTING SIGN)
PERMITTED USE AREAS	RETAIL AND CONSUMER SERVICE= 930 sq.m MAX RESTAURANT (LICENSED OR FOOD SERVICE ONLY) = 300 sq.m MAX EMPLOYEE OUTDOOR AREA: MINIMUM 1050 M
BUILDING HEIGHT	PERMITTED: 12M EXISTING: (NO CHANGE) REFER TO ELEVATIONS

PARKING

REQUIRED PARKING STALLS:	
REQUIRED STALL PER USE:	EXISTING USEABLE GFA: 4315 MF (46 453 SF) UNIT 104 USEABLE GFA: 678 MF (7316 SF) TOTAL GFA = 4994 MF (53574 SF) TOTAL PARKING REQUIRED: = PROPOSED MATCH EXISTING (NO CHANGE IN BUILDING OCCUPANCY)
EXISTING PARKING COUNT:	EXISTING MOTOR VEHICLE STALLS (PARKING STUDY MAY BE REQ) REGULAR PARKING STALLS = 405 STALLS BARRIER-FREE STALLS = 15 STALLS
PROPOSED PARKING COUNT:	PROPOSED MOTOR VEHICLE STALLS (PARKING STUDY MAY BE REQ) REGULAR PARKING STALLS = 415 STALLS (INCL. EV STALLS) BARRIER-FREE STALLS = 15 STALLS

GENERAL NOTES - EXISTING AND PROPOSED SITE PLAN

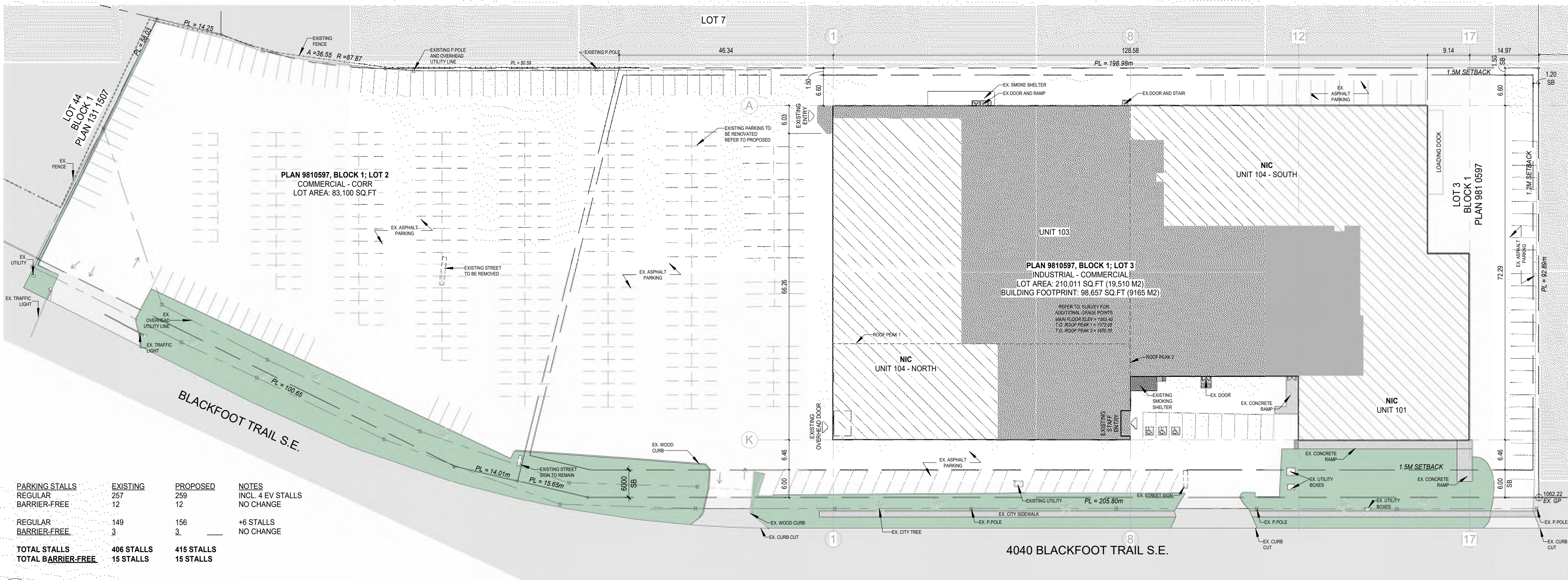
- REFER TO ARC SURVEYING LTD. REAL PROPERTY REPORT FOR EXISTING SITE CONDITIONS AND PROPERTY INFORMATION.
- ALL DRIVE AISLES, PARKING STALLS, CURBING, AND ACCESSIBLE PARKING AREAS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CALGARY STANDARD SPECIFICATIONS FOR ROADWORKS AND PARKING AREAS.

SITE PLAN LEGEND

	EXISTING ELEVATION AT PROPERTY LINES TO REMAIN
	EXISTING PARKING STALL TO REMAIN
	EXISTING PARKING STALL TO BE RELOCATED
	PROPOSED PARKING STALL
	PROPOSED EV CHARGING STATION
	EXISTING UTILITY OVERHEAD LINE AND POWER POLE
	EXISTING UTILITY BOX
	PROPOSED BOLLARD

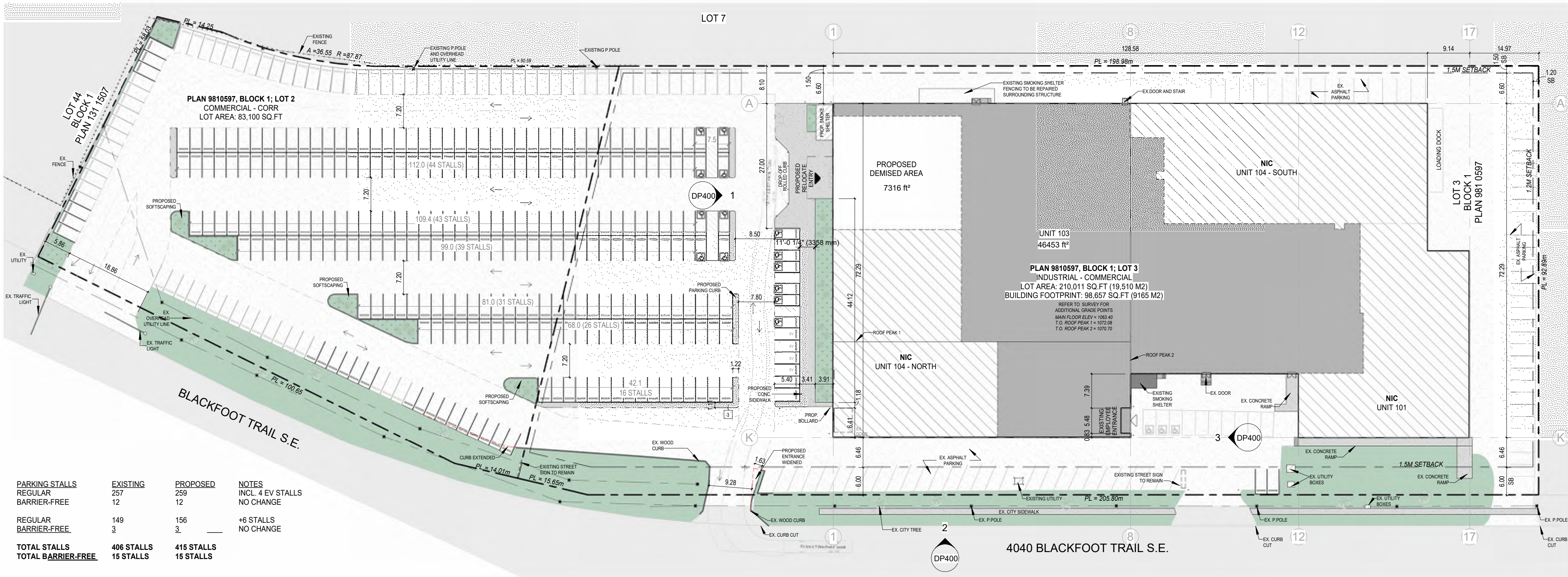
LANDSCAPE LEGEND

	EXISTING LANDSCAPE AREA TO REMAIN
	EXISTING ASPHALT TO REMAIN
	EXISTING CONCRETE TO REMAIN
	EXTENT OF PROPOSED CONCRETE SURFACE
	EXTENT OF PROPOSED SOFTSCAPE LANDSCAPE
	EXTENT OF CURB TO BE REMOVED



PARKING STALLS	EXISTING	PROPOSED	NOTES
REGULAR	257	259	INCL. 4 EV STALLS
BARRIER-FREE	12	12	NO CHANGE
REGULAR	149	156	+8 STALLS
BARRIER-FREE	3	3	NO CHANGE
TOTAL STALLS	406 STALLS	415 STALLS	
TOTAL BARRIER-FREE	15 STALLS	15 STALLS	

1 SITE PLAN - EXISTING
DP101 1" = 50'-0"



PARKING STALLS	EXISTING	PROPOSED	NOTES
REGULAR	257	259	INCL. 4 EV STALLS
BARRIER-FREE	12	12	NO CHANGE
REGULAR	149	156	+8 STALLS
BARRIER-FREE	3	3	NO CHANGE
TOTAL STALLS	406 STALLS	415 STALLS	
TOTAL BARRIER-FREE	15 STALLS	15 STALLS	

2 SITE PLAN - PROPOSED
DP101 1" = 50'-0"

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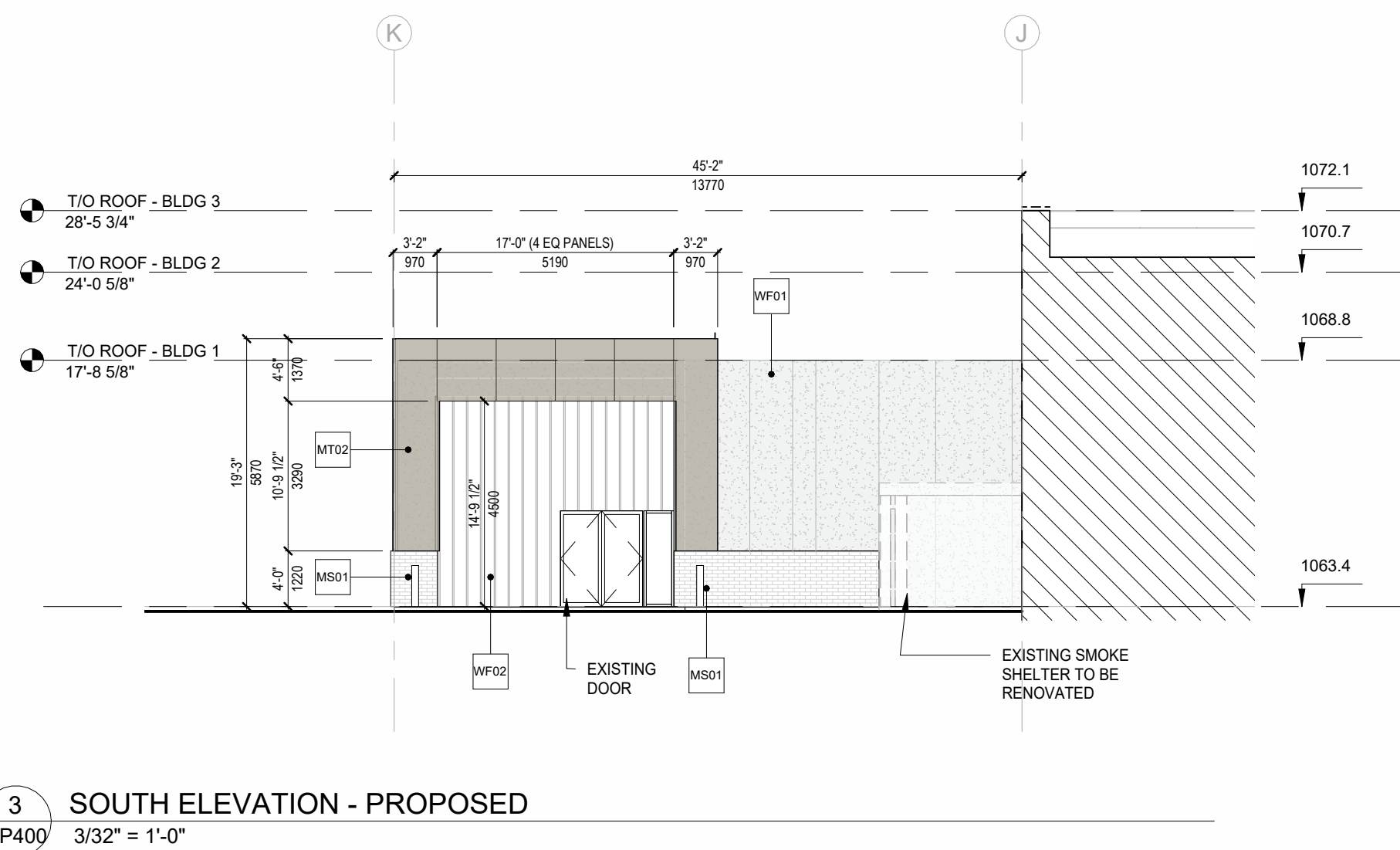
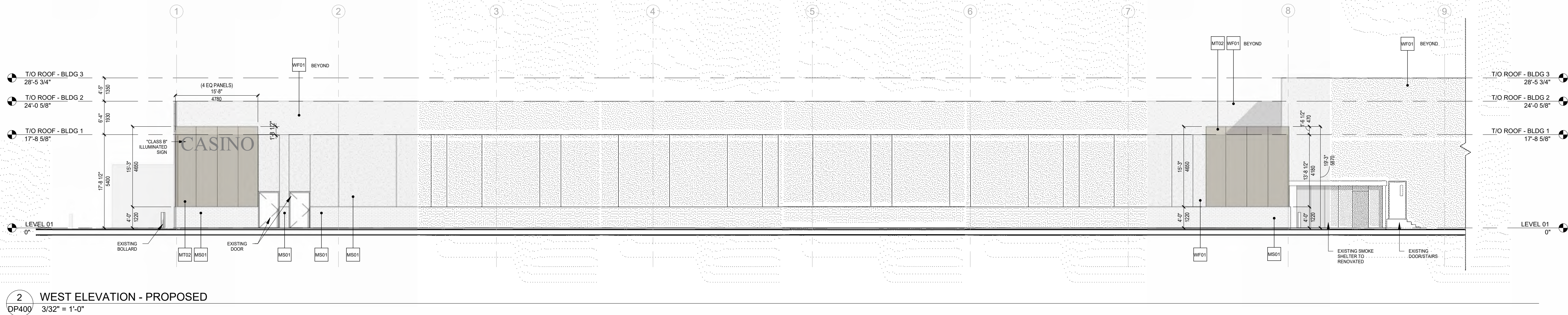
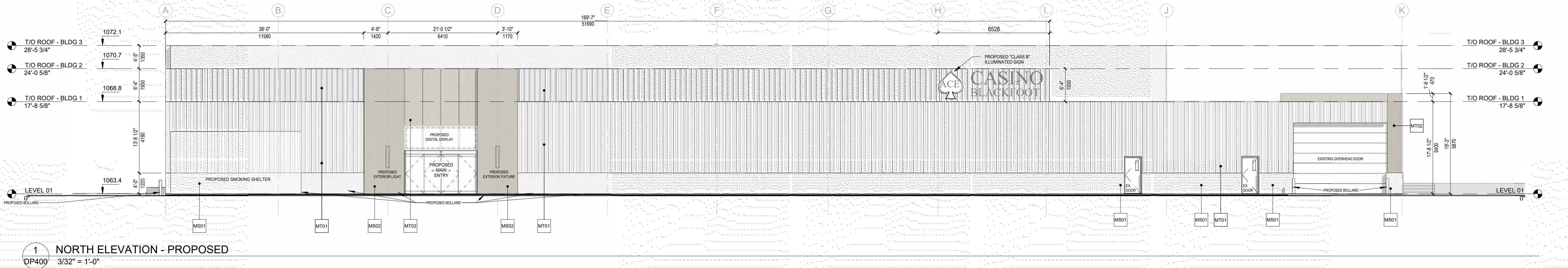
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NORTH / WEST BUILDING
ELEVATIONS

sheet

DP400

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LF	3/32" = 1'-0"
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EXTERIOR FINISH SCHEDULE

METAL FINISHES

- MT01 INTERLOCKING STEEL PANELS
COLOR: PEBBLE KAHKI OR STONE GREY
SUPPLIER: VICWEST
SPEC: AD SERIES - AD200 | AD200R
- MT02 OPTICAL ALUMINUM PANEL
COLOR: CHAMPAGNE
SUPPLIER: KPS (OMBRAE STUDIOS)
- MT03 ACM WALL PANEL
COLOR: TO MATCH MT02
BRAND: ALUCOBOND
SPEC: EASYFIX VERTICAL
NO EXTERIOR INSULATION

MASONRY FINISHES

- MS01 BRICK
LOCATION: WALL BASE
COLOR: EMPIRE
SUPPLIER: ASPEN BRICK & STONE)
- MS02 BRICK FACE
LOCATION: ENTRY WALL FINISH
COLOR: LIGHT GRAY BLEND BRICK
BRAND: ENDICOTT
SUPPLIER: ASPEN BRICK & STONE)

COMPOSITE FINISHES

- WF01 STUCCO WALL FINISH
COLOR: COLOR MATCH MT01
FINISH: SANDPEBBLE FINISH
SUPPLIER: TBD
- WF02 COMPOSITE WOOD
LOCATION: STAFF ENTRY
COLOR: TEAK
STYLE: VERTICAL SHIPLAP
SUPPLIER: NEW TECHWOOD
SPEC: UH67



NORTH FACADE - RENDERING



NORTH PARKING LOT FROM STREET - RENDERING



STAFF ENTRY- RENDERING

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