

EXTERIOR FINISHES:

- 1
- ASPHALT SHINGLES
- 2
- 8" ALUMINUM FASCIA
- 3
- HARDIE FINISH
- 4
- CONCRETE PARGING
- 5
- P.T.W. FRAMING

GARAGE FLOOR PLAN

SCALE: 1/4"=1'-0"

EXTERIOR FINISHES:

- 1
- ASPHALT SHINGLES
- 2
- 8" ALUMINUM FASCIA
- 3
- HARDIE FINISH
- 4
- CONCRETE PARGING
- 5
- P.T.W. FRAMING

FRONT ELEVATION - LANE

SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

- 1
- ASPHALT SHINGLES
- 2
- 8" ALUMINUM FASCIA
- 3
- HARDIE FINISH
- 4
- CONCRETE PARGING
- 5
- P.T.W. FRAMING

REAR ELEVATION

SCALE: 1/4" = 1'-0"

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

LEFT ELEVATION

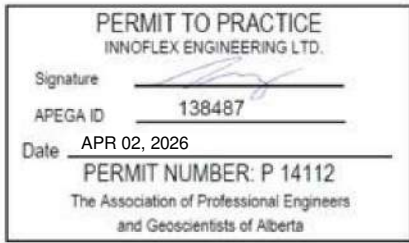
SCALE: 1/4" = 1'-0"

GARAGE WALL (VARIANCE SPV-003)

SCALE: NTS



GENERAL NOTES:



MUNICIPAL ADDRESS:

2 & 4 ROSSBURN CR. SW.
42 & 44 ROSSMERE RD.
SW., CALGARY, ALBERTA

PROJECT:

FOUR UNIT
ROWHOUSE

PROJECT NUMBER:

221-24

STATUS:

BP

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
ALL OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER
CONSULTANT DRAWINGS PRIOR TO STARTING
CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO
RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A
REGISTERED PROFESSIONAL.

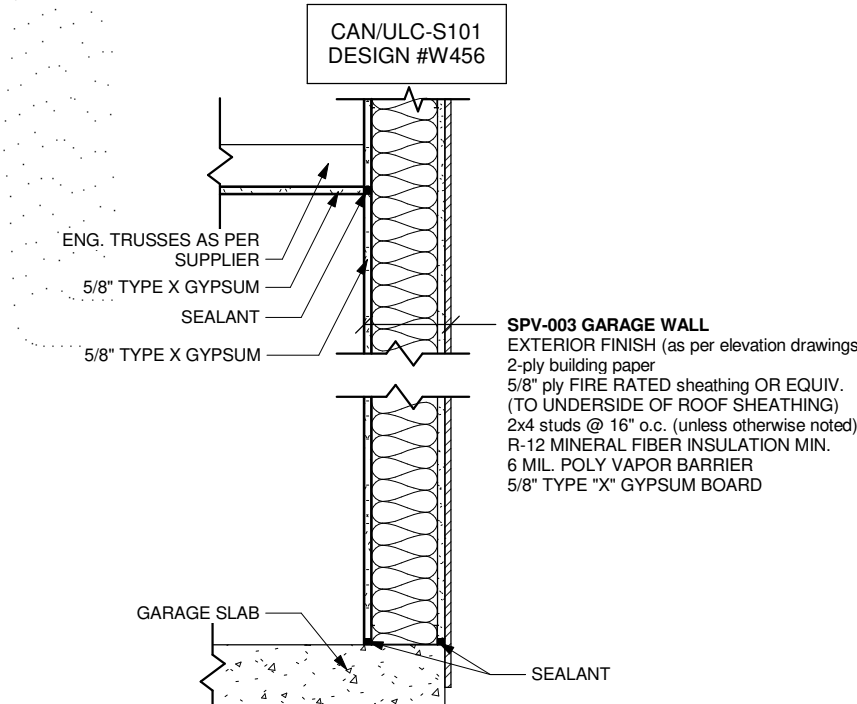
NO.	DATE(D/M/Y)	DETAIL	BY
01.	25/07/24	DP PLANS	D.L.
02.	05/02/25	ADDRESSING	AD.
03.	06/02/25	BP PLANS	S.W.
04.	--	--	--
05.	--	--	--
06.	--	--	--

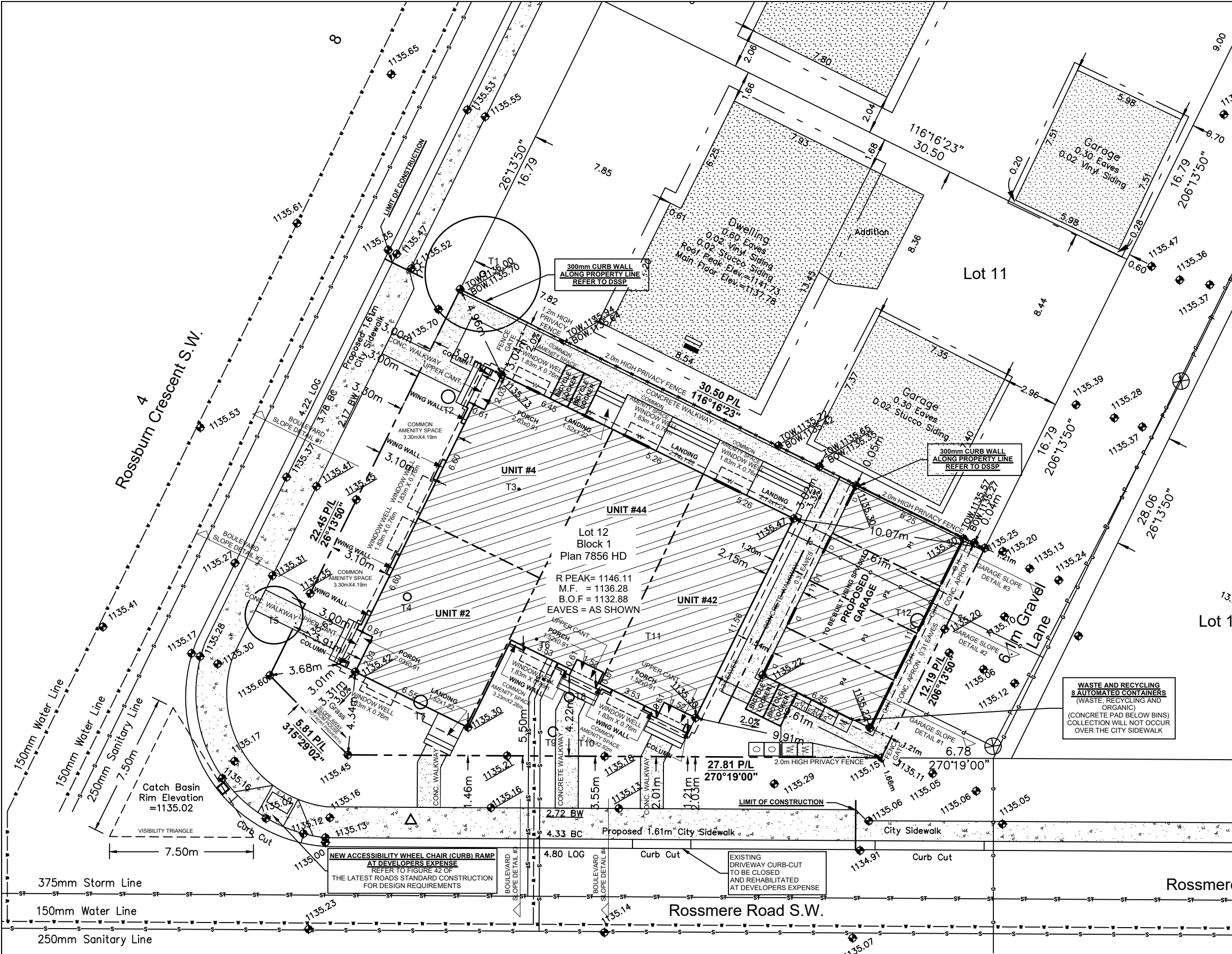
COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY JOHN TRINH &
ASSOCIATES INC. AND WERE CREATED FOR USE IN
A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE
USED BY, OR DISCLOSED TO, ANY OTHER PERSON
OR ORGANIZATION FOR ANY PURPOSE WITHOUT
THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT
EDITION OF THE ALBERTA BUILDING CODE AND ANY
OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND
PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY
ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER
TO BE RESOLVED BEFORE PROCEEDING





SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\blacksquare$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.

ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- denotes Fence
- denotes Sanitary Line
- denotes Storm Line
- denotes Water Line
- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T. Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows

- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall
'TOW' denotes Top of Wall
'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG

SCALE 1:200

LEGAL DESCRIPTION:

Lot 12
Block 1
Plan 7856 HD

MUNICIPAL ADDRESS:

2 & 4 Rosburn Cr SW.
42 & 44 Rossmere Rd SW.
Calgary, Alberta

LOT COVERAGE DETAIL:
(ROW HOUSE)

LOT SIZE: 585.268 SQ M
HOUSE SIZE: 246.162 SQ M
CANT.: 0.000 SQ M
COVERED PORCH: 6.410 SQ M
GARAGE: 68.812 SQ M
WINGWALL: 2.178 SQ M

TOTAL: 323.562/585.268
= 55.28%

TOTAL UNITS: 4
LOT SIZE: 585.268 SQ M (0.058527 ha)
DENSITY: 68 UNITS/ha

PARKING:
PARKING PROVIDED: 4 STALLS

FLOOR AREA RATIO
GROSS FLOOR AREA : 496.8455 SQ M
LOT SIZE: 585.268 SQ M
RATIO: 496.8455/585.268 = 0.85

SITE PLAN

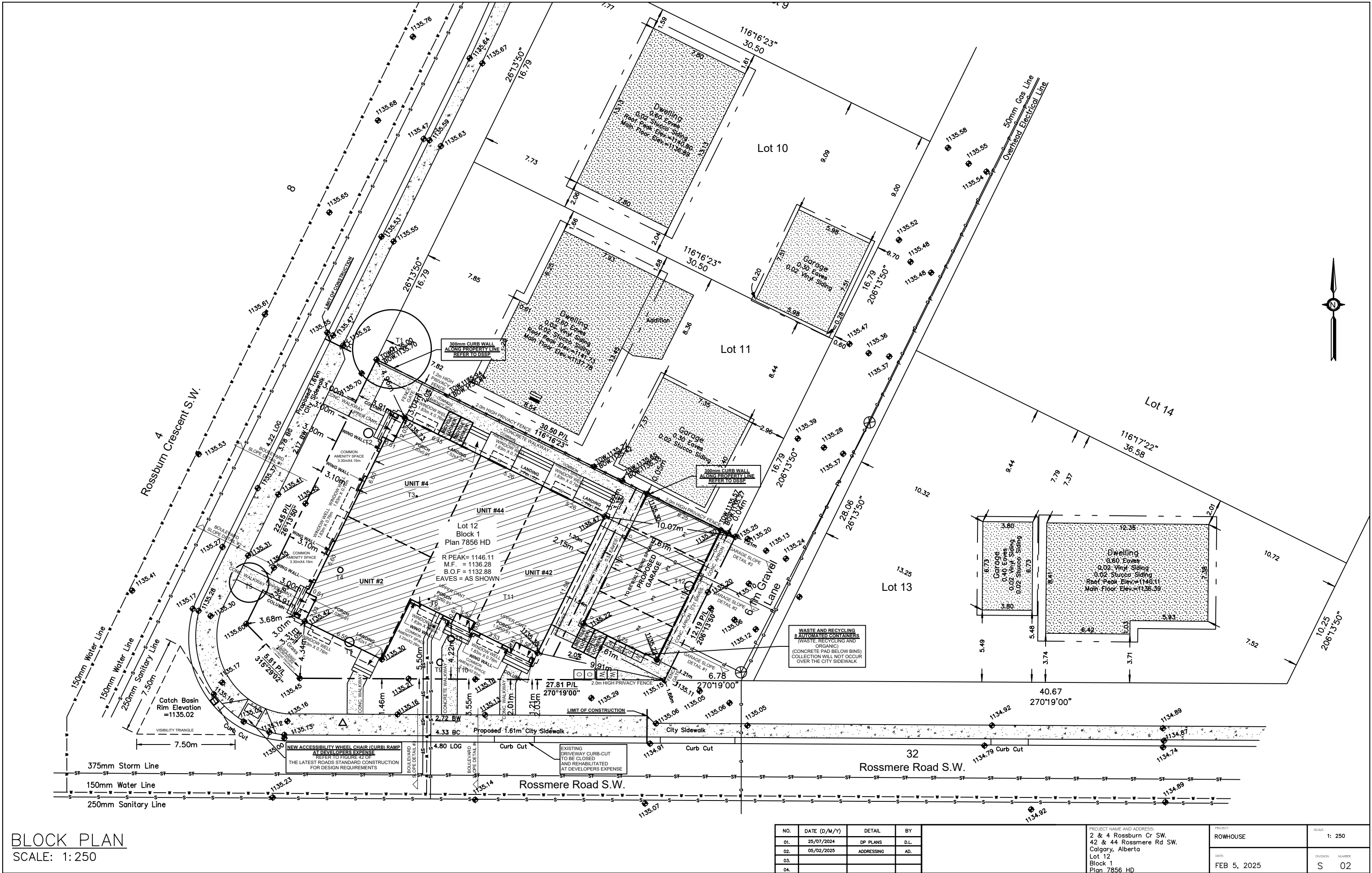
SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY
01.	25/07/2024	DP PLANS	D.L.
02.	05/02/2025	ADDRESSING	AD.
03.			
04.			

PROJECT NAME AND ADDRESS:
2 & 4 Rosburn Cr SW.
42 & 44 Rossmere Rd SW.
Calgary, Alberta
Lot 12
Block 1
Plan 7856 HD

PROJECT:
ROWHOUSE
DATE:
FEB 5, 2025

SCALE:
1: 200
DIVISION NUMBER:
S 01

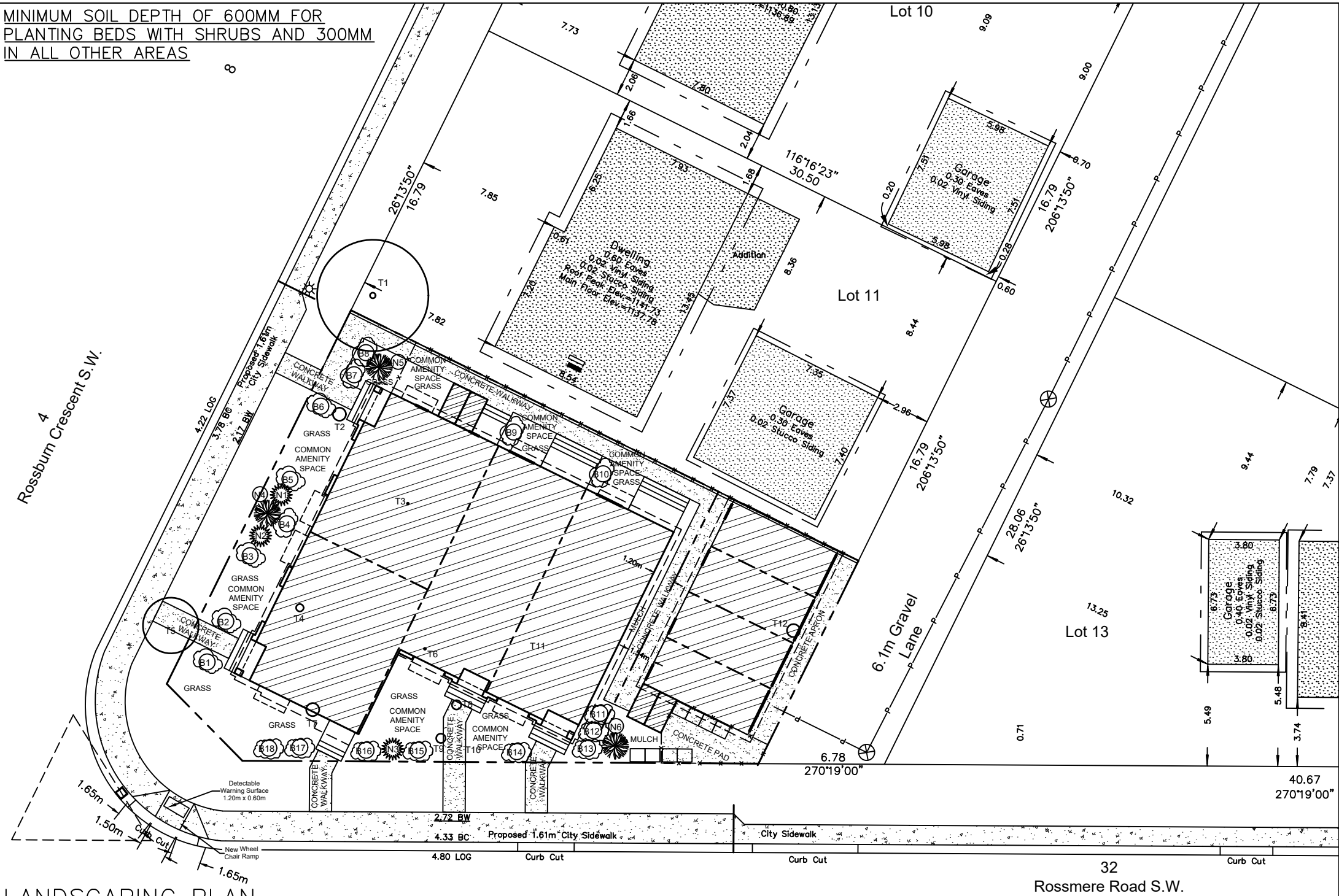


BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY
01.	25/07/2024	DP PLANS	D.L.
02.	05/02/2025	ADDRESSING	AD.
03.			
04.			

PROJECT NAME AND ADDRESS: 2 & 4 Rosburn Cr SW. 42 & 44 Rossmere Rd SW. Calgary, Alberta Lot 12 Block 1 Plan 7856 HD	PROJECT: ROWHOUSE	SCALE: 1: 250
	DATE: FEB 5, 2025	DIVISION NUMBER: S 02

MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS WITH SHRUBS AND 300MM IN ALL OTHER AREAS



LANDSCAPING PLAN
SCALE: NTS

TREE SCHEDULE:

Tree No.	Variety	Calliper (±)	Canopy (±)	Height (±)	Location	Disposition
T1	Deciduous Tree	0.30	6.00	8.00	In Adjacent Property	To Stay
T2	Coniferous Tree	0.70	9.00	22.00	In Subject Property	To be Removed
T3	Coniferous Tree	0.10	1.50	2.50	In Subject Property	To be Removed
T4	Deciduous Tree	0.40	8.00	10.00	In Subject Property	To be Removed
T5	Bush	—	3.00	2.50	In City Property	To be Removed
T6	Coniferous Tree	0.10	1.50	3.00	In Subject Property	To be Removed
T7	Coniferous Tree	0.70	9.00	22.00	In Subject Property	To be Removed
T8	Bush	—	0.50	0.50	In Subject Property	To be Removed
T9	Bush	—	0.50	0.50	In Subject Property	To be Removed
T10	Bush	—	3.00	1.00	In Subject Property	To be Removed
T11	Bush	—	1.00	2.00	In Subject Property	To be Removed
T12	Deciduous Tree	0.70	9.00	15.00	In Subject Property	To be Removed

PROPOSED TREE SCHEDULE

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N2	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N3	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N4	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N6	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
B1	Mugo Pine (Shrub)	—	0.61	0.61	In Subject Property	New
B2	Mugo Pine (Shrub)	—	0.61	0.61	In Subject Property	New
B3	Mugo Pine (Shrub)	—	0.61	0.61	In Subject Property	New
B4	Mugo Pine (Shrub)	—	0.61	0.61	In Subject Property	New
B5	Hawthorn (Shrub)	—	0.61	0.61	In Subject Property	New
B6	Hawthorn (Shrub)	—	0.61	0.61	In Subject Property	New
B7	Hawthorn (Shrub)	—	0.61	0.61	In Subject Property	New
B8	Hawthorn (Shrub)	—	0.61	0.61	In Subject Property	New
B9	Hawthorn (Shrub)	—	0.61	0.61	In Subject Property	New
B10	Hawthorn (Shrub)	—	0.61	0.61	In Subject Property	New
B11	Mugo Pine (Shrub)	—	0.61	0.61	In Subject Property	New
B12	Mugo Pine (Shrub)	—	0.61	0.61	In Subject Property	New
B13	Hawthorn (Shrub)	—	0.61	0.61	In Subject Property	New
B14	Lilac (Shrub)	—	0.61	0.61	In Subject Property	New
B15	Lilac (Shrub)	—	0.61	0.61	In Subject Property	New
B16	Lilac (Shrub)	—	0.61	0.61	In Subject Property	New
B17	Lilac (Shrub)	—	0.61	0.61	In Subject Property	New
B18	Lilac (Shrub)	—	0.61	0.61	In Subject Property	New

LANDSCAPING LEGEND

- denotes Deciduous Tree
----- denotes Shrubs
----- denotes Coniferous Tree

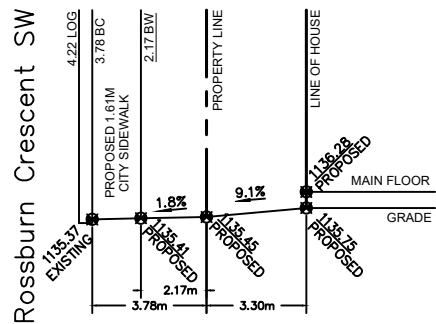
LANDSCAPE COVERAGE

LOT SIZE	= 585,268 SQ. M
LANDSCAPE AREA	= 210,946 SQ. M
HARD LANDSCAPE (CONC. WALKWAY)	= 58,641 SQ. M
SOFT LANDSCAPE (GRASS + MULCH)	= 152,305 SQ. M

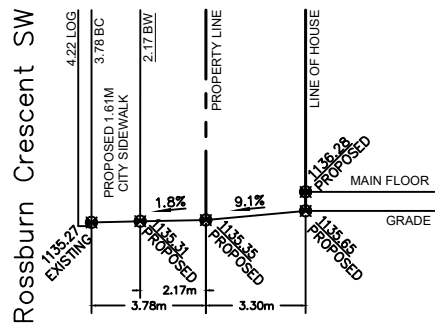
58.641 / 210.946 = 27.799% OF HARD LANDSCAPE
152.305 / 210.946 = 72.201% OF SOFT LANDSCAPE

UNDER GROUND IRRIGATION SYSTEM

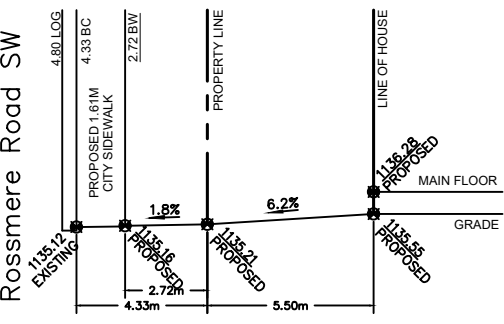
BOULEVARD SLOPE DETAIL 1



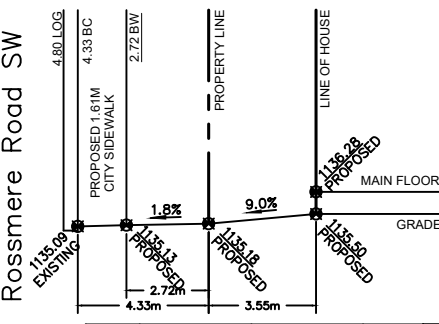
BOULEVARD SLOPE DETAIL 2



BOULEVARD SLOPE DETAIL 3



BOULEVARD SLOPE DETAIL 4



BOULEVARD SLOPE
SCALE: NTS

An Urban Forestry Technician must be on-site during excavation of the proposed building foundation in order to mitigate any damage to adjacent public trees. Contact Urban Forestry by phoning 311 at least three (3) business days in advance of excavation. If canopies or root systems are damaged to the point where the tree becomes unstable, then Urban Forestry will require their removal using an approved indemnified tree contractor at applicant's expense, plus compensation for the removed tree(s).

"All sodded areas are planted with a drought tolerant grass species".

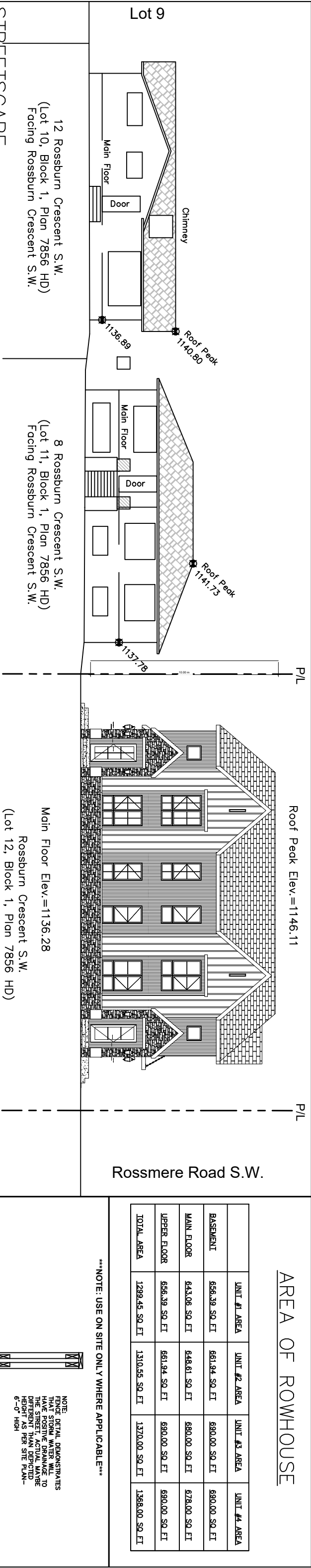
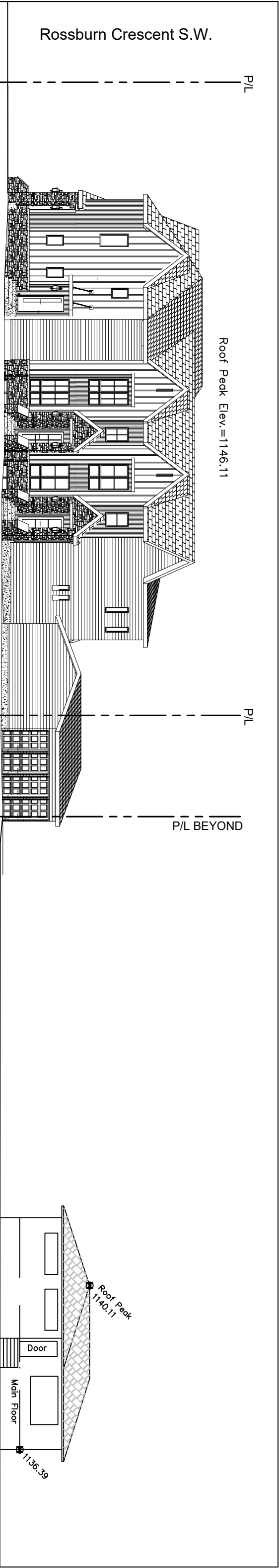
"All soft surfaced landscaped area will be irrigated by an underground irrigation system".

NOTE:
"If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".

NO.	DATE (D/M/Y)	DETAIL	BY
01.	25/07/2024	DP PLANS	D.L.
02.	05/02/2025	ADDRESSING	AD.
03.			
04.			

PROJECT NAME AND ADDRESS:
2 & 4 Rossburn Cr SW.
42 & 44 Rossmere Rd SW.
Calgary, Alberta
Lot 12
Block 1
Plan 7856 HP

PROJECT:	SCALE:
ROWHOUSE	AS SHOWN
DATE:	DIVISION NUMBER:
FEB 5, 2025	S 03

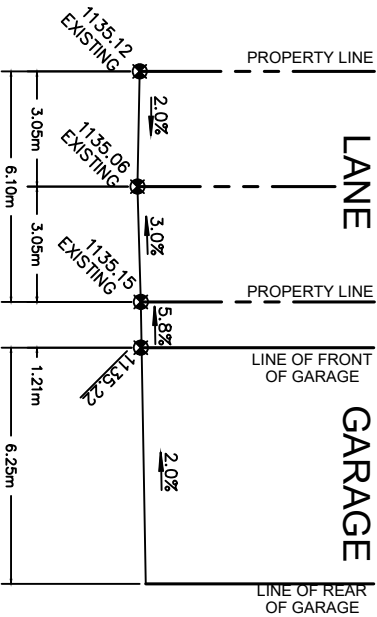


STREETSCAPE

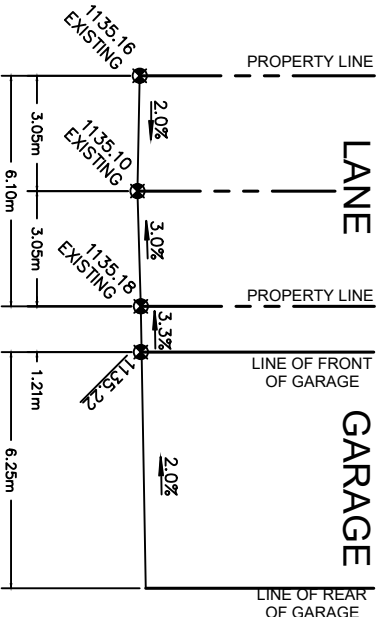
SCALE: 1:200

North West Streetscape

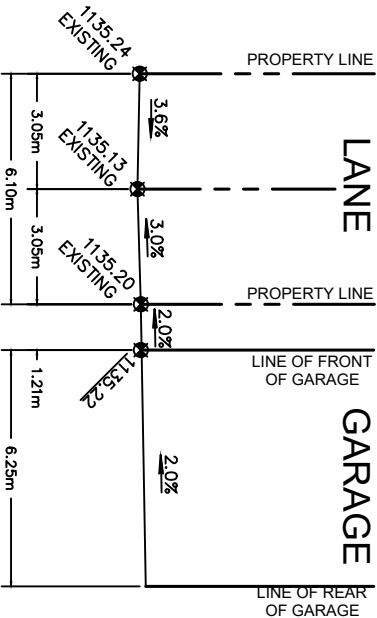
DRIVE WAY SLOPE DETAIL #1



DRIVE WAY SLOPE DETAIL #2



DRIVE WAY SLOPE DETAIL #3



DRIVEWAY SLOPE

SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY
01.	26/07/2024	DP PLANS	D.L.
02.	06/02/2025	ADDRESSING	M.
03.			
04.			

PROJECT NAME AND ADDRESS:

2 & 4 Rossmere Cr SW,
42 & 44 Rossmere Rd SW,
Calgary, Alberta
Lot 12
Block 1
Plan 7856 HD

SCALE:

ROWHOUSE

DATE:

FEB 5, 2025

AS SHOWN

DIVISION NUMBER:

S 04